



Agenda
Subdivision & Development Appeal Board
Hearing
January 6, 2022 at 2:00 p.m.
Electronic Hearing Via Zoom

1. Call to Order (SDAB Clerk)
2. Appointment of Chairperson and Vice Chair for 2022 Term
3. Adoption of Agenda
4. Adoption of Minutes
 - a) September 16, 2021 Appeal Hearing Meeting PL20200328
 - b) September 16, 2021 Business Meeting
5. Appeal Hearing
PL20210357
135 Cougar Point Road
Lot 35, Block 1, Plan 901 1889
Application for a New Detached Dwelling
The appeal is that a decision has not been made by the Development Authority for Development Permit Application No. PL20210357 within the legislated timeframes outlined in the Municipal Government Act (MGA).
6. Other Business
None
6. Adjournment

TOWN OF CANMORE
MINUTES
Subdivision and Development
Appeal Board Hearing
Electronic via Zoom
September 16, 2021, at 2:00 p.m.

MEMBERS PRESENT

Public Representatives: Graham Lock (Chairperson), Greg Birch and Michelle Cooze
Councillor Representative: None
Recording Secretary/Clerk: Jolene Noël

MEMBERS ABSENT

Public Representatives: Sean Krausert and Harry Scott
Councillor Representative: Vi Sandford

ADMINISTRATION STAFF PRESENT

Lauren Miller, Marcus Henry, Katy Bravo-Stewart and Jane Dean.

CALL TO ORDER

Clerk Noel called the meeting to order at 2:00 p.m.

VOTE FOR CHAIRPERSON

As per section 9.2 of the Town of Canmore Bylaw 2019-06 Subdivision and Development Appeal Board, and this being the first meeting of the calendar year, a Chair and Vice Chair are to be elected.

It was moved by Mr. Birch that Mr. Lock be nominated as Chairperson for the term. Mr. Lock accepted the nomination.

MOTION CARRIED
UNANIMOUSLY

VOTE FOR VICE CHAIRPERSON

It was moved by Ms. Cooze that Mr. Birch be nominated as Vice Chairperson for the term. Mr. Birch accepted the nomination.

MOTION CARRIED
UNANIMOUSLY

ADOPTION OF HEARING MEETING AGENDA

It was moved by the Chairperson that the agenda of September 16, 2021 be adopted as presented.

MOTION CARRIED
UNANIMOUSLY

APPEAL

PL20210215

Development Permit – Visitor Accommodation (10 Units). Variances to maximum building height, minimum front yard setback, required loading stall and building entrance

Lot 2, Block 65, Plan 1095F

706 10 Street

Appeal against an approval by the Canmore Planning Commission

Minutes approved by: _____

APPELLANT INTRODUCTION AND OPPORTUNITY FOR ANY OBJECTIONS

The Appellant K. Gordon Schultz and his wife, K. Coreen Schultz identified themselves to the Board.

The Chairperson asked the Appellant if they had any objections to the Board Members present hearing the appeal. There were no objections.

The Chairperson asked the Appellant if they received a copy of the agenda package that was distributed to the Board and if they have any concerns with any of the information provided. There were no objections.

HEARING OUTLINE

The Chairperson outlined the hearing process for all present.

There were no objections from the Appellant or anyone in the audience.

PRESENTATION OF THE STATUTORY REQUIREMENTS OF THE APPEAL

Ms. Miller presented the application, appeal date timelines and requirements.

The Chairperson noted that the statutory requirements of the appeal had been satisfied.

The Board proceeded with the hearing.

ADMINISTRATION'S PRESENTATION OF THE APPLICATION AND DECISION

Ms. Miller gave a verbal and visual presentation detailing the application. Ms. Miller responded to questions from the Board.

APPELLANTS PRESENTATION OF THE APPLICATION AND DECISION

The Appellant, Mr. Schultz, provided a verbal presentation to the Board referring to his written submission.

Mr. Schultz answered questions from the Board.

THOSE SPEAKING IN FAVOUR OF THE APPEAL

Andrew Osborne of 711 Mallard Alley spoke in favour of the appeal and answered questions from the Board.

Robin Gardiner of 719 Mallard Alley spoke in favour of the appeal and answered questions from the Board.

Janice Barbour of 709 Mallard Alley spoke in favour of the appeal and answered questions from the Board.

Doug Proll and Sylvian Lippert of 727 Mallard Alley spoke in favour of the appeal and answered questions from the Board.

Michael Shugarman of 705 Mallard Alley spoke in favour of the appeal and answered questions from the Board.

Phillip van der Merwe of 705 Mallard Alley spoke in favour of the appeal and there were no questions from the Board.

Melissa Jay of unit 109, 705 10 Street spoke to the Board in favour of the appeal, there were no questions from the Board.

Bill Lawes of 725 Mallard Alley spoke to the Board in favour of the appeal, there were no questions from the Board.

Minutes approved by: _____

CORRESPONDENCE RECEIVED IN FAVOUR OF THE APPEAL

There were three (3) written submissions received in favour of the appeal from Janet Amy of 2C, 733 Mallard Alley, Douglas Proll & Sylviane Lippert of 727 Mallard Alley and Janice Barbour of 709 Mallard Alley.

APPLICANT'S PRESENTATION OF THE APPLICATION AND DECISION

Mr. Russill provided a verbal and visual presentation to the Board. The Applicant answered questions from the Board.

THOSE SPEAKING IN OPPOSITION TO THE APPEAL

None.

CORRESPONDENCE RECEIVED IN OPPOSITION TO THE APPEAL

None.

THOSE SPEAKING NEITHER IN FAVOUR NOR IN OPPOSITION OF THE APPEAL

None.

CORRESPONDENCE RECEIVED NEITHER IN FAVOUR NOR IN OPPOSITION REGARDING THE APPEAL

None.

COMMENTS/CLARIFICATION BY ADMINISTRATION

The Town Administration provided closing remarks to the Board.

COMMENTS/CLARIFICATION BY THE APPELLANT

Mr. Schultz provided concluding remarks to the Board.

COMMENTS/CLARIFICATION BY THE APPLICANT

Mr. Russill provided concluding remarks to the Board.

FAIR HEARING

The Chairperson asked if the Appellant felt that they had received a fair hearing.
The Appellant agreed that they had.

The Chairperson asked if the Applicant felt that they had received a fair hearing.
The Applicant agreed that they had.

The Chairperson announced this portion of the hearing closed and that, in accordance with the provincial legislation, the Board is required to hand down its decision within 15 days from today's date. No decision is binding until the Board issues a written decision.

ADJOURNMENT

The Chairperson moved that the public hearing of November 19, 2020, be adjourned at 5:04 p.m.

MOTION CARRIED
UNANIMOUSLY

Minutes approved by: _____

UNAPPROVED

Chair

Katy Bravo Stewart, SDAB Clerk

Minutes approved by: _____



UNAPPROVED

TOWN OF CANMORE
MINUTES
Subdivision and Development
Appeal Board
Business Meeting
Electronic via Zoom
September 16, 2021

MEMBERS PRESENT

Public Representatives: Graham Lock (Chairperson), Greg Birch and Michelle Cooze.
Councillor Representative: None.
Recording Secretary/Clerk: Jolene Noël

MEMBERS ABSENT

Public Representatives: Sean Krausert and Harry Scott
Councillor Representative: Vi Sandford

ADMINISTRATION STAFF PRESENT

Lauren Miller, Katy Bravo-Stewart and Jane Dean

1. CALL TO ORDER

The Chairperson called the meeting to order at 5:05 p.m.

2. ADOPTION OF BUSINESS MEETING AGENDA

The Chairperson moved that the agenda of the September 16, 2021 Business Meeting be adopted as presented.

MOTION CARRIED
UNANIMOUSLY

3. ADOPTION OF MINUTES

a) The Chairperson moved that the minutes of December 15, 2020, PL20200328 Hearing be adopted as presented.

MOTION CARRIED
UNANIMOUSLY

b) The Chairperson moved that the minutes of the December 15, 2020, Business Meeting be adopted as presented.

MOTION CARRIED
UNANIMOUSLY

4. NEXT SCHEDULED BUSINESS MEETING

Unknown

5. OTHER BUSINESS

a) Refund of application fee for PL20210215

The Chairperson moved that the Board deny the request to refund the application fee to the Appellant because the current bylaw in effect does not allow such refunds.

MOTION CARRIED
UNANIMOUSLY

Minutes approved by: _____

UNAPPROVED

6. ADJOURNMENT

The Chairperson moved that the meeting be adjourned at 5:10 p.m.

MOTION CARRIED
UNANIMOUSLY

Chair

Katy Bravo Stewart, SDAB Clerk

Minutes approved by: _____

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated.

PROPERTY INFORMATION			
Municipal Address 135 Cougar Point Road, Canmore, AB, T1W 1A1		Development Permit/Subdivision Application File Number PL20210357	
APPELLANT INFORMATION			
Name of Appellant Megan & Tyler Cowan		Agent Name (If applicable) Arbus Mountain Homes Inc.	
Mailing Address (for notification purposes) FOIP			
City	Province	Postal Code	
Phone Number (Day) 403-869-6200		Email dale@arbusmtnhomes.com	
<input checked="" type="checkbox"/> The appellant/agent, gives authorization for electronic communication by the Clerk, using the email provided on this Notice of Appeal			

APPEAL AGAINST (Check one box only. For multiple appeals you must submit separate Notice of Appeal forms)


Development Permit	Subdivision Application	Stop Order
<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input checked="" type="checkbox"/> Refusal	<input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<input type="checkbox"/> Stop Order

REASONS FOR APPEAL Section 678 and 686 of the *Municipal Government Act* requires that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (attach a separate page if required)

DP application was filed September 20, 2021 and fees paid September 22, 2021. Development Authority has advised Applicant that it has concerns with the application. Applicant asked Development Authority to issue refusal to allow an appeal to proceed on October 13, 2021 and again on October 22, 2021. The last correspondence the Applicant received from the Development Authority was on November 13, 2021. As per section 684 of the MGA, the Applicant has deemed the permit request refused by the Development Authority and is hereby seeking an appeal.

FOIP Notification: This personal information is being collected under the authority of the Municipal Government Act (MGA) and the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the Municipal Records Officer at municipal.clerk@canmore.ca. Please note, the Municipal Clerk's Office should **only** be contacted regarding FOIP inquires.

Signature of appellant/agent 	Date (MM/DD/YYYY) 06/12/2021
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FOR OFFICE USE ONLY			
Fee Paid <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Date appeal received December 7, 2021	Final date of appeal January 7, 2022	Hearing Date/Time <input type="checkbox"/> 2 P.M. <input type="checkbox"/> Evening To be determined.

Katy Bravo-Stewart

From: Tyler Cowan [FOIP]
Sent: December 24, 2021 10:26 AM
To: Katy Bravo-Stewart
Cc: Eric Bjorge; Marcus Henry; Dale Hildebrand; Megan Ferguson
Subject: Withdrawal of Appeal PL20210357 135 Cougar Point Road

Follow Up Flag: Follow up
Flag Status: Completed

Categories: UPCOMING SDAB

Hello Katy,

We have decided to withdraw our appeal as we have come to a time extension agreement with the T.O.C D.A on this matter that allows us to properly address what would have been appealed. This is our formal written withdrawal, please let me know if you need anything else.

Regards,

Tyler & Megan Cowan



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1

December 15, 2021

Canmore Subdivision and Development Appeal Board
Delivered via email

Dear Sir/Madam,

**Re: Appeal PL20210357 - Request for Postponement
Lot 35, Block 1, Plan 9011889
135 Cougar Point Road**

The Town of Canmore's Planning & Development Department is hereby requesting a postponement of the above noted SDAB hearing to **February 17, 2022**.

Due to the timing of the appeal submission and the limited staff availability during the holidays in late December and early January, Administration does not have the capacity to prepare the necessary materials in time for an early January hearing.

The requested postponement would allow Administration time to circulate public notices of the revised hearing date, and prepare materials for the Board's consideration

Your review and consideration of this request is greatly appreciated.

A handwritten signature in blue ink, appearing to read "Lauren Miller".

Lauren Miller, RPP, MCIP, AICP
Manager, Planning & Development

Town of Canmore
902 7th Avenue
Canmore, Alberta T1W 3K1
Phone: 403.678.1500 | Fax: 403.678.1534
www.canmore.ca



December 16, 2021

Dear Sir/Madam

RE: **Subdivision & Development Appeal Board Hearing
PL20210357
135 Cougar Point Road
Lot 35, Block 1, Plan 901 1889
Application for a New Detached Dwelling**
The appeal is that a decision has not been made by the Development Authority for Development Permit Application No. PL20210357 within the legislated timeframes outlined in the Municipal Government Act (MGA).

Please be advised that the Subdivision & Development Appeal Board will hear this an appeal on **January 6th, 2022 at 2:00 p.m.** During the COVID-19 pandemic, SDAB hearings are being held electronically and are still livestreamed at canmore.ca/webcast

As the Appellant, you have the opportunity to make a verbal presentation to the board and/or provide a written submission to the Board. We will be in contact with you to provide instruction and log in information.

Written and verbal submissions will be accepted. Anyone wishing to make a verbal submission at the hearing must contact the SDAB clerk at katy.bravostewart@canmore.ca *before* the hearing is called to order to register and receive log-in information.

Anyone wishing to file a written submission may send it by email to sdab@canmore.ca. Drop off or mail to the Civic Centre, 902 7 Avenue Canmore AB T1W 3K1 Attention: SDAB Clerk. Please note that staff is limited at the Civic Center, it is encouraged to drop off or email rather than mail. **The deadline for written submission is Thursday, December 30th, 2021 @ 12:00PM.**

Any correspondence/comments provided will be part of the public record and may be released to the general public. The appeal file is available for public inspection via email request to sdab@canmore.ca.

Should you have any questions or require further information, please contact the SDAB Clerk at 403.678.1549 or katy.bravostewart@canmore.ca.

Kind regards,

Katy Bravo Stewart
Clerk
Subdivision & Development Appeal Board

Attachment 1: SDAB Hearing procedure

PROCEDURE FOR SUBDIVISION & DEVELOPMENT APPEAL BOARD HEARING

PLEASE NOTE: ALL DOCUMENTS PRESENTED AT THIS HEARING ARE PUBLIC DOCUMENTS

1. Chairperson declares the Subdivision & Development Appeal Board Public Hearing to order
2. Introduction of the Board members and Clerk.
3. Motion to adopt the agenda
4. Introduction of Town Administration.
5. Introduction of appeal by Development Officer.
6. Appellant introduction and opportunity for any objections to the Board members.
7. Administration will make a presentation.
8. Then the Appellant or their agent will speak in favour of the appeal.
9. Followed by others speaking in favour of the appeal, and any correspondence in favour of the appeal.
10. Then those speaking in opposition to the appeal, and any correspondence in opposition to the appeal.
11. Lastly, those speaking neither in favour nor in opposition to the appeal, and any related correspondence.
12. At any time, the Board may ask for clarification by any of the persons speaking to the appeal.
13. The Board may then ask for a short recess if necessary.

14. To close, Administration will be asked if they wish to provide any clarification or closing remarks.
15. Followed by any clarification or closing remarks from the Appellant.
16. The Appellant will be asked if they feel they have had a fair hearing.
17. The board would then close the public portion of the hearing (meeting is adjourned), go in camera (private), and review all the information provided. **The Board will then provide a written decision within 15 days following this hearing.**
18. The purpose of the hearing is for the Appellant and affected parties to provide the Board with information to the appeal. **The Board must base its decision on planning merits.** Affected persons will be given an opportunity to speak.
19. Please ensure that all comments are directed to the Board. In addition, all comments be of proper decorum and be succinct; if another person has already made a point, simply state that you agree with the point and continue.
20. If any person presenting is referring to a written document, including a map, photographs or a report, a copy of those documents must be left with the Clerk.

Town of Canmore
902 7th Avenue
Canmore, Alberta T1W 3K1
Phone: 403.678.1500 | Fax: 403.678.1534
www.canmore.ca



December 16th, 2021

Our Reference: PL20210357

Subdivision and Development Appeal Board Hearing

Dear Sir/Madam

This letter serves as notification that the following property is subject to an appeal to be heard by the Subdivision and Development Appeal Board (SDAB). The details are as follows:

Development Permit – New Single Detached Dwelling

Address: 135 Cougar Point Road
Legal Description: Lot 35, Block 1 Plan 901 1889
Appeal Matter: The appeal is that a decision has not been made by the Development Authority for Development Permit Application No. PL20210357 within the legislated timeframes outlined in the Municipal Government Act (MGA).

As an adjacent property owner, or as a potentially affected person, you have the opportunity to present in-person and/or provide a written submission to the Board.

Virtually: **Date:** January 6th, 2022
 Time: 2:00pm
 Location: Zoom Meeting livestreamed via canmore.ca/webcast
 Registration: sdab@canmore.ca

In-Writing: **Subject:** SDAB Hearing – PL20210357
 Deadline: December 30th, 2021 @ 12:00pm
 Drop Off: Reception, Canmore Civic Centre, 902 7th Avenue, Canmore
 Email: sdab@canmore.ca

Please note: Any submissions received after the deadline will not be presented to the Board for review until the hearing. Should you provide a written submission after the deadline, digital copies will be distributed to each SDAB member before the hearing commences. Should a written submission include complex and/or extensive information, the Board may postpone the hearing to fully consider the submission. **Any correspondence/comments provided will be part of the public record and may be released to the general public.**

The appeal file is available for public inspection upon request to sdab@canmore.ca. The SDAB hearing procedure and circulation map is attached for your reference. Additional information is available upon written request. Should you have any questions or require further information, please contact the Board Clerk – Katy Bravo Stewart, at 403.678.1549 or sdab@canmore.ca.

Kind regards,

Katy Bravo Stewart
Clerk - Subdivision & Development Appeal Board

Attachment 1: SDAB Hearing procedure.

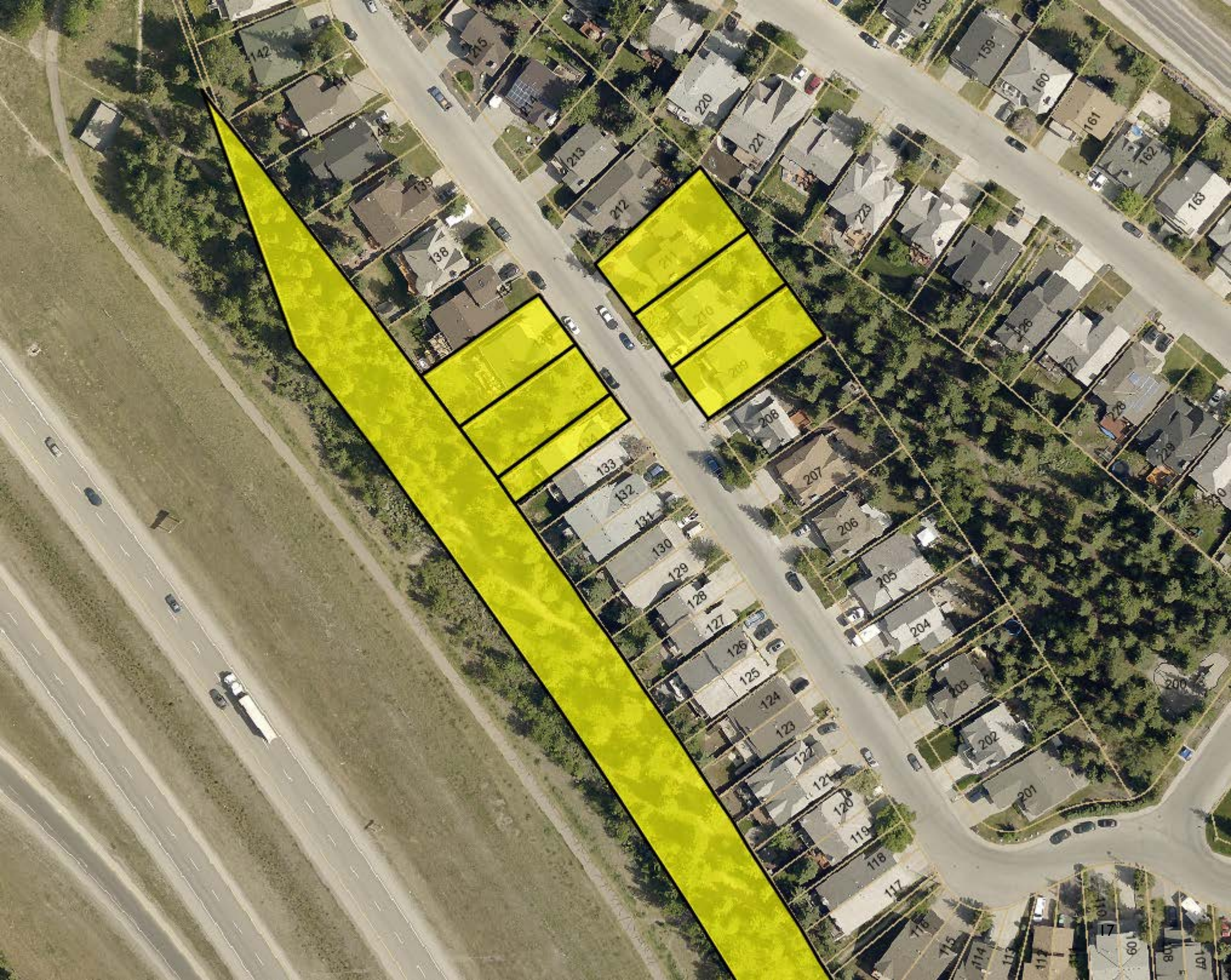
Attachment 2: Circulation map.

PROCEDURE FOR SUBDIVISION & DEVELOPMENT APPEAL BOARD HEARING

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Town of Canmore

902 7th Avenue

Canmore, Alberta T1W 3K1

Phone: 403.678.1500 | Fax: 403.678.1534

www.canmore.ca



December 31, 2021

MEMO to SDAB Board,

RE: **Subdivision & Development Appeal Board Hearing**

PL20210357

135 Cougar Point Road

Lot 35, Block 1, Plan 901 1889

Application for a New Detached Dwelling

The appeal is that a decision has not been made by the Development Authority for Development Permit Application No. PL20210357 within the legislated timeframes outlined in the Municipal Government Act (MGA).

Please be advised of the following:

- **Submissions:** There have been no submissions of support or non-support of the subject appeal.
- **Application Background:** Note that the background information contained in the package was collected by the Clerk. The background is in no relation to either parties', the Appellant or Administration's, presentation. As per the Clerks duties, all relative information regarding the subject appeal is to be presented before the Board.

Katy Bravo Stewart

Clerk, Subdivision & Development Appeal Board

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated. The submission of scanned or photographed application forms with handwritten information may slow the processing of your application.

PROPERTY INFORMATION			
Municipal Address 135 Cougar Point Road, Canmore, AB, T1W 1A1			
Legal Address Lot/Unit: 35 Block: 1 Plan: 9011889		Existing Use of Land/Building Raw Land (Residential Area)	

DEVELOPMENT INFORMATION			
Please indicate which checklist you have referenced to form this submission: single family home			
Proposed Development/Use(s) single family home			
Total Proposed Gross Floor Area (m ²) 259.7	Number of Residential Units one	Number of Commercial Units zero	Property Size (Hectares). New construction <u>only</u> . 0.04943

PUBLIC TREE DISCLOSURE	
Is there existing Town Trees (Public Tree) within 6m of the construction area, this would include the "Road Right-of-Way" between the private property line and roadway?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
If yes , a Tree Protection Plan Agreement is required to be submitted as part of this application. For more information on the requirements of submitting your Tree Protection Plan Agreement or obtaining a Tree Assessment for the removal of a Town Tree, please contact the Town of Canmore Parks Department at 403.678.1599 or Parks@canmore.ca .	
Additional information regarding the Town of Canmore Tree Protection Bylaw can be found on the Town Website .	

APPLICANT INFORMATION	
Name Arbus Mountaun Homes Inc.	Phone 403-869-6200
E-mail dale@arbusmtnhomes.com	
Mailing Address 17 MacDonald Place, Canmore AB T1W 2N1	

OWNER INFORMATION (if different than applicant)	
Name Megan and Tyler Cowan	Phone FOIP
E-mail FOIP	
Mailing Address FOIP	

DECLARATION

I/We declare that I am/We are the owner of the land descr bed above or authorized to act on behalf of the registered owner(s). I/We have reviewed all of the information supplied to the Town with respect to an application and it is true and accurate to the best of my/our knowledge. I/We understand that the Town of Canmore will rely on this information in its evaluation of the application. Any decision made by the Town of Canmore based on inaccurate information may be cancelled at any time. I/We give authorization for electronic communication, using the email provided on this application form.

By signing below, I/We confirm to have carefully read this declaration and agree to the terms within.

Signature of Applicant <i>Dale Hildebrand</i> <small>○ Vn3n8m4yWQZZM4zZQtpEGA==</small>	Date Sep 19, 2021, 10:03 AM CEST
Signature of Owner <i>Tyler Cowan</i> <small>○ lUVNDsuJFNQYFsar5HNBWA==</small>	Date Sep 19, 2021, 09:05 AM MDT
<i>Megan Cowan</i> <small>○ Ju3gXgoz0GbyqW1MN1qMIQ==</small>	Sep 19, 2021, 09:04 AM MDT

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PAYMENT

Until the applicable permit fees have been paid in full to the Town of Canmore, the Town will not commence the review of your application. Town staff will contact you upon receipt of the application to arrange for the applicable fee(s) to be paid.

SITE PLAN

LEGAL DESCRIPTION ZONE R1

LOT 35, BLOCK 1, PLAN 9011889

MUNICIPAL ADDRESS

135 COUGAR POINT, CANMORE

PREPARED FOR

RUDDOCK

LOWEST TOF 20.837

SANITARY SEWER 20.037 :
3.5 m INSIDE PROP. LINE.

MAX. ROOF ELEV. 31.57 (FRONT)
31.53 (BACK)

HOUSE:
 ROOF ELEV. _____
 MAIN FLOOR _____
 BASEMENT SLAB _____
 TOF _____

GARAGE
 SLAB _____ (at entrance)

DATUM: ASCM 214759
 (add 1300.00 for GEODETIC)

GRADES:
 Existing 9.99 Design 9.99

Existing to be changed 9.99

APPROXIMATE DRIVEWAY GRADE:
 calculated as a straight line slope along the centerline of the driveway between the garage entrance and the curb or back of walk is shown thus \rightarrow

LOT AREA 494 m²
 FOOTPRINT _____ m², _____ %

NOTE: Distances and elevations are in metres.

SCALE = 1:200

NOTE: Frost wall depth to be determined by builder.

DESIGN DATE 4/12/00

ALBERTA LAND SURVEYOR

STAKEOUT CALCULATIONS

DATE _____

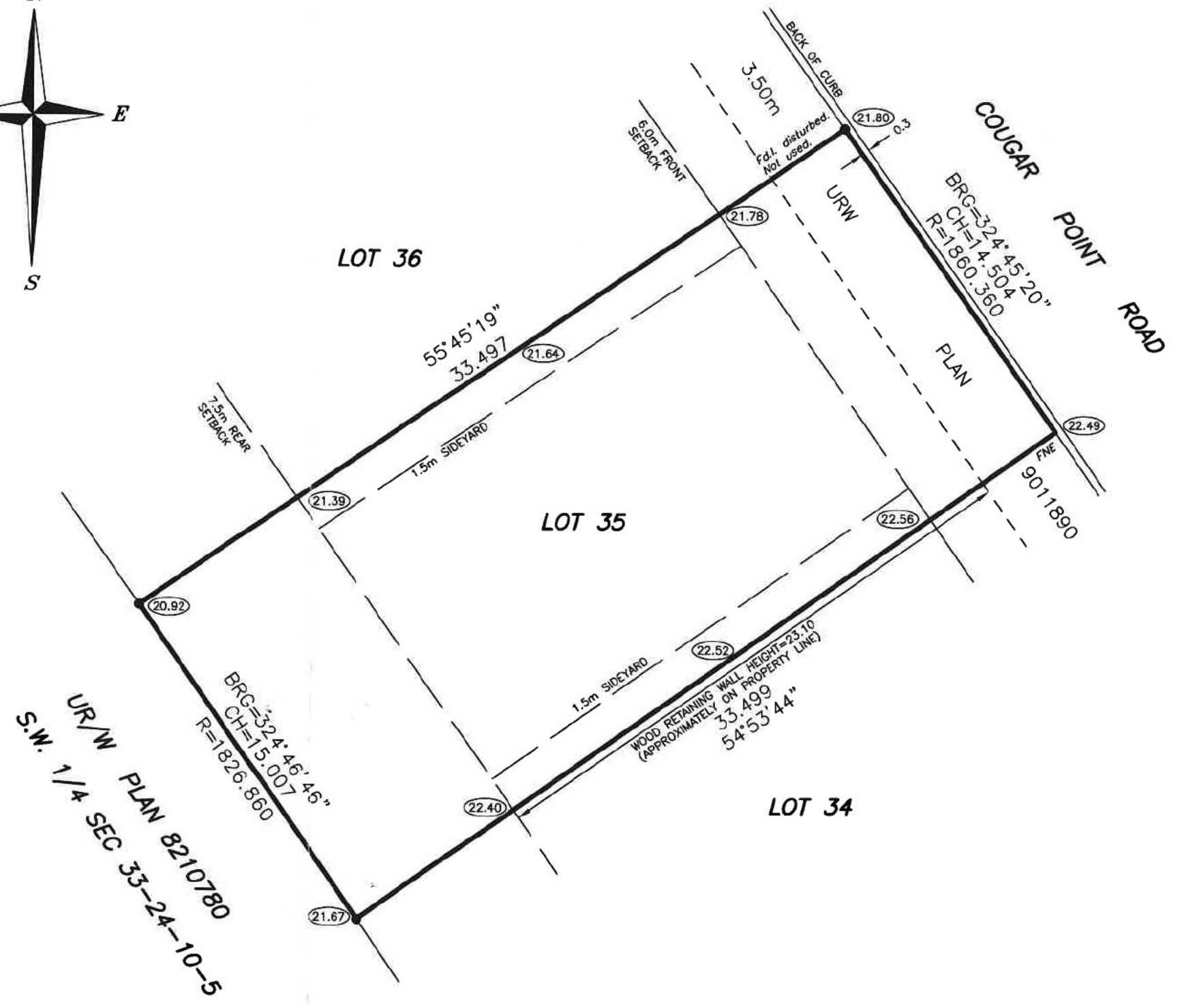
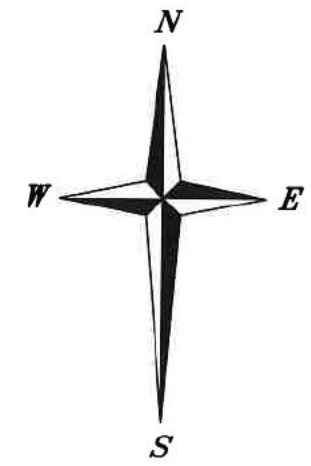
STAKED _____ DATE _____

RPR _____ DATE _____

RPR CALCULATIONS

DATE _____

NOTE: The builder is responsible to ensure that driveway grades do not exceed 10%, and that they conform to the Town of Canmore Engineering Design Standards.



ALPINE
 LAND SURVEYS LIMITED

UNIT 2B, 110
 KANANASKIS WAY
 CANMORE, AB
 T1W 2X2
 678-6363

FILE: 00-265 00-265S.DWG
 DATE PLOTTED: 4/12/00

PROJECT DATA

OUTSIDE OF 10 MINUTE RESPONSE TIME

LOT 35
 BLOCK 1
 PLAN 9011889
 TOWN OF CANMORE
 ZONING = R1

LOT AREA = 494.3 m²
 FOOTPRINT = 181 m²
 LOT COVERAGE = 37%

DEVELOPED FLOOR AREA

MAIN FLOOR	1230 sqft	114.2 m ²
UPPER FLOOR	1566 sqft	145.4 m ²
TOTAL DEVELOPED AREA	2796 sqft	259.7 m ²

HEIGHTS AND ELEVATIONS

FRONT GRADE	1322.65	GROUND FLOOR	1322.80
REAR GRADE	1321.32	UPPER FLOOR	1325.84
MAX. ALLOWABLE HEIGHT	1331.56	LOWEST T/O FTG. (ALLOWABLE)	-
MAX. ALLOWABLE REAR	1331.50	LOWEST T/O FTG. (ACTUAL)	-
ACTUAL HEIGHT FRONT	1330.56	SEWER INVERT	-
ACTUAL HEIGHT REAR	1330.56	STORM INVERT	-

VICINITY MAP



SHEET INDEX

ARCHITECTURAL DRAWINGS

- A0.0 DATA SHEET
- A.01 PERSPECTIVES

- A1.1 SITE / LANDSCAPE PLAN

- A2.1 GROUND FLOOR PLAN
- A2.2 UPPER FLOOR PLAN
- A2.3 ROOF PLAN
- A2.4 FOUNDATION PLAN
- A2.5 DOOR & WINDOW SCHEDULES & TAKEOFFS

- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 BUILDING SECTIONS
- A3.4 BUILDING SECTIONS
- A3.5 BUILDING SECTIONS

- A4.1 CONSTRUCTION ASSEMBLIES
- A4.2 CONSTRUCTION ASSEMBLIES
- A4.3 CONSTRUCTION ASSEMBLIES

- A6.1 TIMBER DETAILS

- A7.1 GROUND FLOOR LIGHTING PLAN
- A7.2 UPPER FLOOR LIGHTING PLAN

- A8.1 GROUND FLOOR PLUMBING PLAN
- A8.2 UPPER FLOOR PLUMBING PLAN

SHEET NO.
A 0.0

BARTLETT DESIGNS
 THOMAS BARTLETT
 ARCHITECTURAL TECH
 403.690.4604
 tom@bartlettdesigns.ca

SCALE	CHECKED	T. BARTLETT
T. BARTLETT	OCT 8 2021	APPROVED
DATE	FILE NO.	

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.

PAGE TITLE	PROJECT DATA
	DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT	135 CPR 135 COUGAR POINT CANMORE AB
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1 :: NORTH EAST PERSPECTIVE
A0.1



2 :: EAST PERSPECTIVE
A0.1



3 :: WEST PERSPECTIVE
A0.1



4 :: SOUTH PERSPECTIVE
A0.1

SHEET NO.
A 0.1

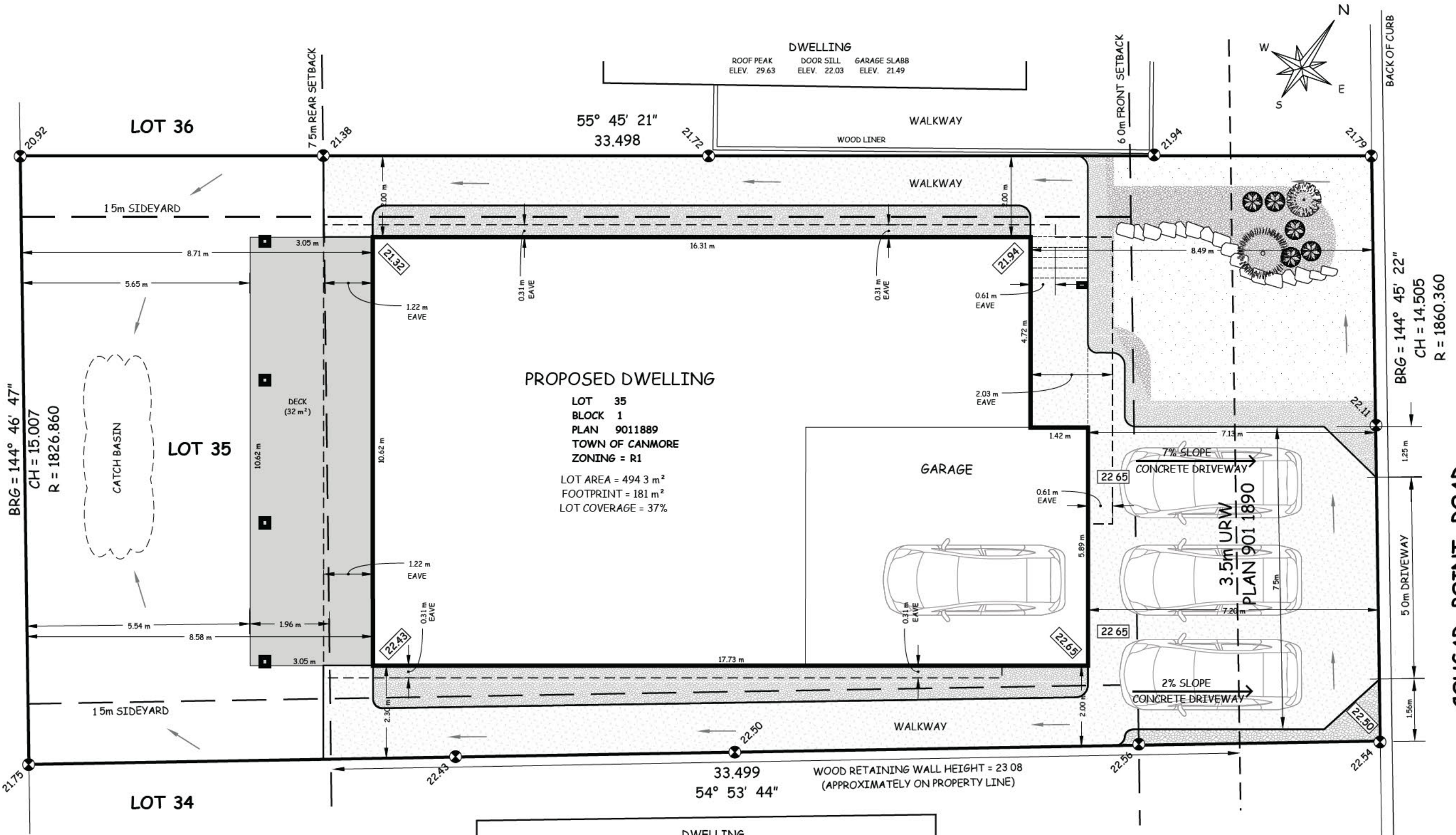
BARTLETT DESIGNS
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 tom@bartlettdesigns.ca

DRAWN BY	SCALE
T. BARTLETT	
DATE	CHECKED
OCT 8 2021	T. BARTLETT
FILE NO.	APPROVED

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PAGE TITLE
EXTERIOR PERSPECTIVE
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CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB



SHEET NO.
A 1.1

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PAGE TITLE
SITE PLAN

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

23

LEGEND

	DESIGN GRADES (FROM SITE SURVEY)		SOD AS PER OWN OF CANMORE STANDARD SPECIFICATIONS
	PROPOSED GRADES		40mm RUNDLE ROCK
	OVERLAND DRAINAGE DIRECTION		RUNDLE AILINGS
	NEW DECIDUOUS TREE		EXPOSED AGGREGATE CONCRETE
	NEW EVERGREEN TREE		IRON STONE DECORATIVE LANDSCAPE AGGREGATE BOULDERS 450mm 900mm DIA
	NEW SHRUBS		

DWELLING
ROOF PEAK ELEV. 32.05 DOOR SILL ELEV. 24.50 GARAGE SLAB ELEV. 23.62

1 :: SITE PLAN
A1.1 scale: 1:100

HEIGHTS AND ELEVATIONS			
FRONT GRADE	1322.65	GROUND FLOOR	1322.80
REAR GRADE	1321.32	UPPER FLOOR	1325.84
MAX. ALLOWABLE HEIGHT	1331.56	LOWEST T/O FTG. (ALLOWABLE)	-
MAX. ALLOWABLE REAR	1331.50	LOWEST T/O FTG. (ACTUAL)	-
ACTUAL HEIGHT FRONT	1330.56	SEWER INVERT	-
ACTUAL HEIGHT REAR	1330.56	STORM INVERT	-

DEVELOPED FLOOR AREA

MAIN FLOOR	1230 sqft	114.2 m ²
UPPER FLOOR	1566 sqft	145.4 m ²
TOTAL DEVELOPED AREA	2796 sqft	259.7 m ²

FRONT LANDSCAPE

DRIVEWAY	50%
LANDSCAPE	50%

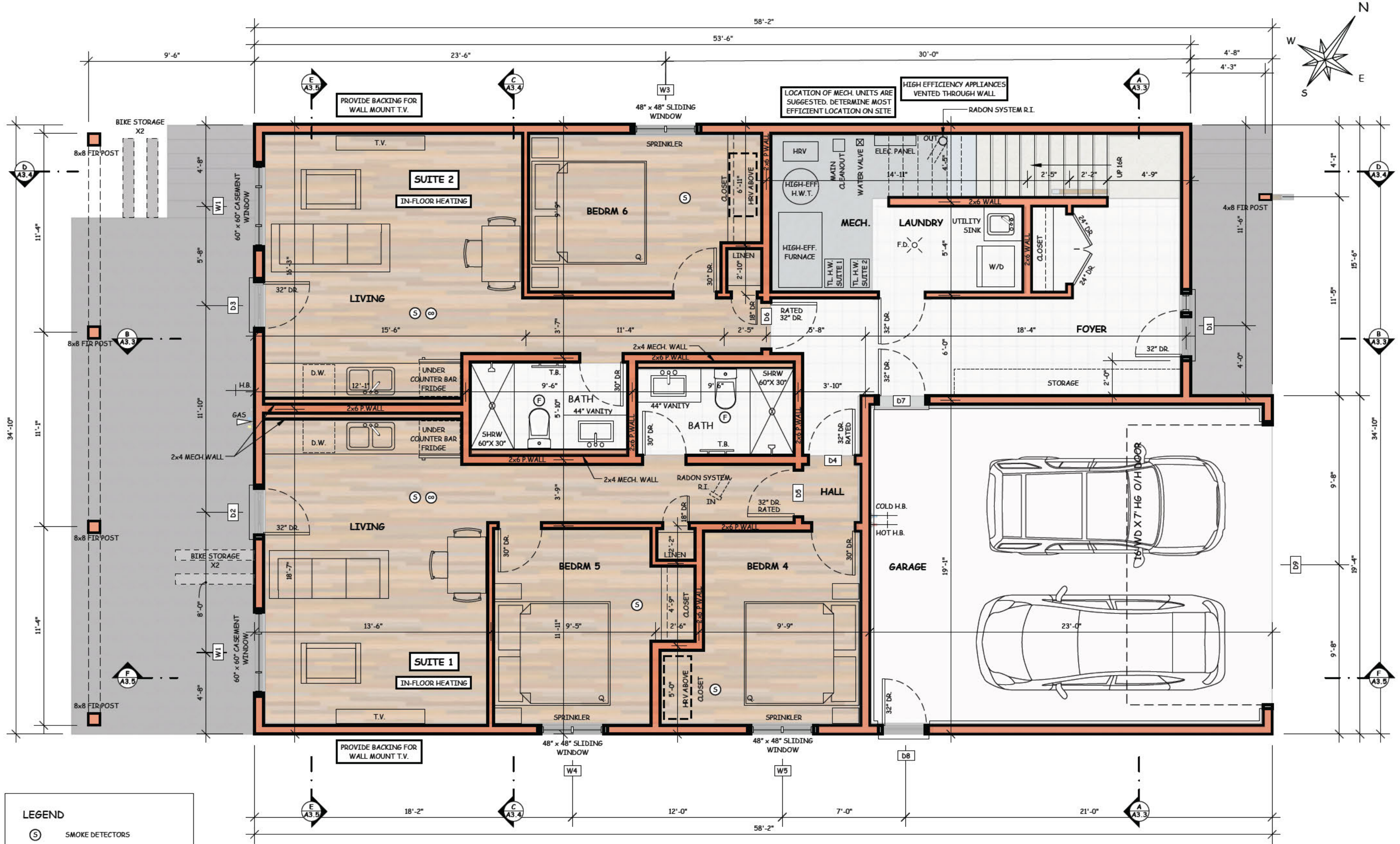
SERVICE NOTE:
SITE SERVING AND GRADING TO BE AS PER APPROVED PLANS BY MCELHANNNEY
ALL SERVICES TO BE INSTALLED TO MEET ALL APPLICABLE CODES AND BYLAWS.

SITE INFORMATION
BUILDING CODE TEN MINUTE RESPONSE TIME
OUTSIDE

WOOD RETAINING WALL HEIGHT = 23.08 (APPROXIMATELY ON PROPERTY LINE)

COUGAR POINT ROAD

BACK OF CURB
BRG = 144° 45' 22"
CH = 14.505
R = 1860.360



LEGEND

- ⊙ SMOKE DETECTORS
- ⊙ CARBON MONOXIDE DETECTORS
- ⊙ EXHAUST FAN (50 cfm)
- H.B. HOSE BIB
- GAS GAS OUTLET
- F.D. FLOOR DRAIN

1 :: GROUND FLOOR PLAN
 SCALE: 3/16" 1'-0"
 TOTAL MAIN FLOOR 1230 sqft (not including mech. room or stairs)
 SUITE 1 565 sqft
 SUITE 2 425 sqft

SHEET NO.
A 2.1

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DATE	OCT 8 2021	CHECKED	T. BARTLETT
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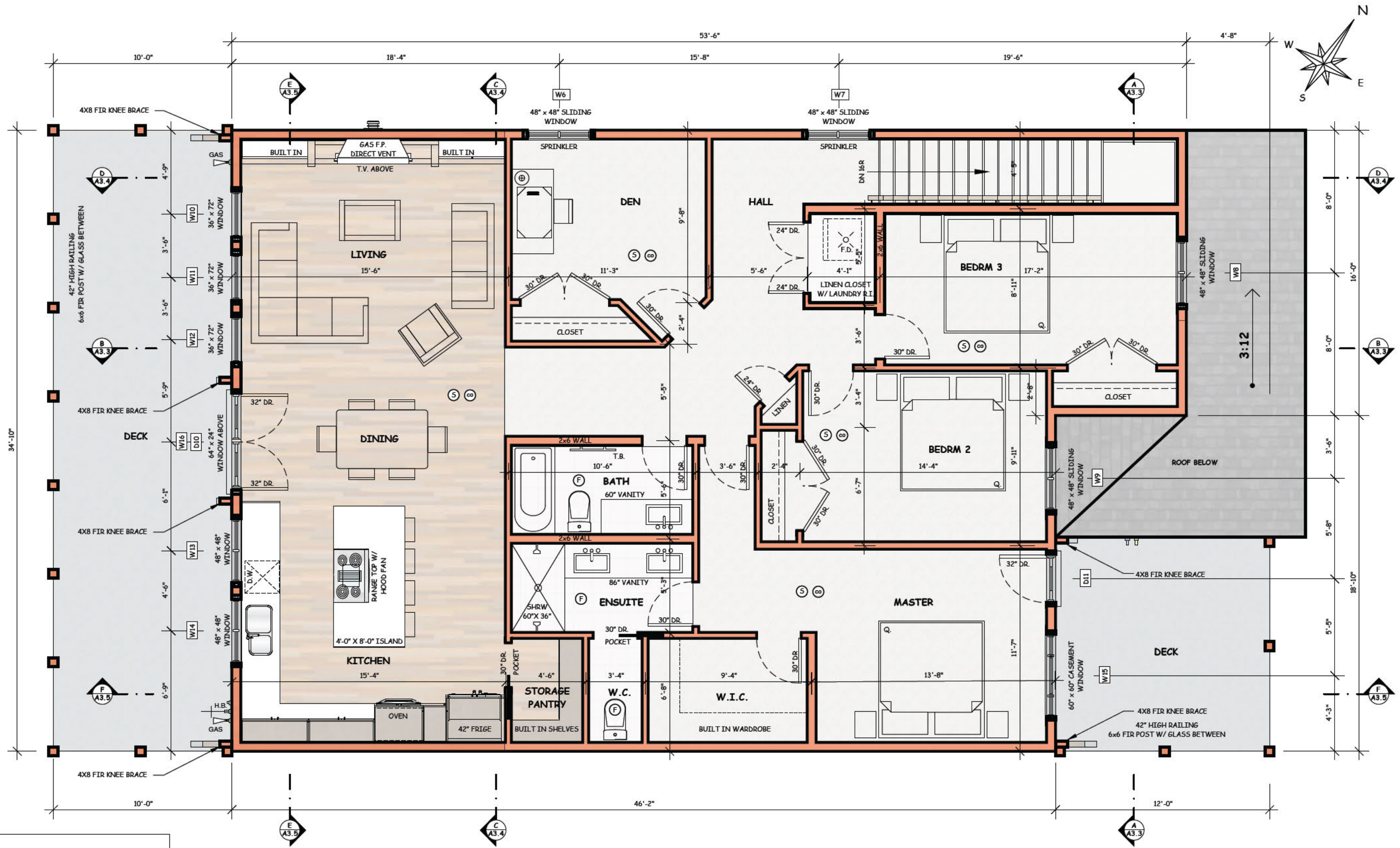
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PAGE TITLE
GROUND FLOOR PLAN

DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
 135 COUGAR POINT ROAD
 CANMORE AB

24



LEGEND

- (S) SMOKE DETECTORS
- (CO) CARBON MONOXIDE DETECTORS
- (F) EXHAUST FAN (50 cfm)
- H.B. HOSE BIB
- GAS GAS
- F.D. FLOOR DRAIN

1 :: UPPER FLOOR PLAN
 A2.2 SCALE: 3/16" 1'-0"
 UPPER FLOOR 1566 sqft (not including stairs)

SHEET NO.
A 2.2

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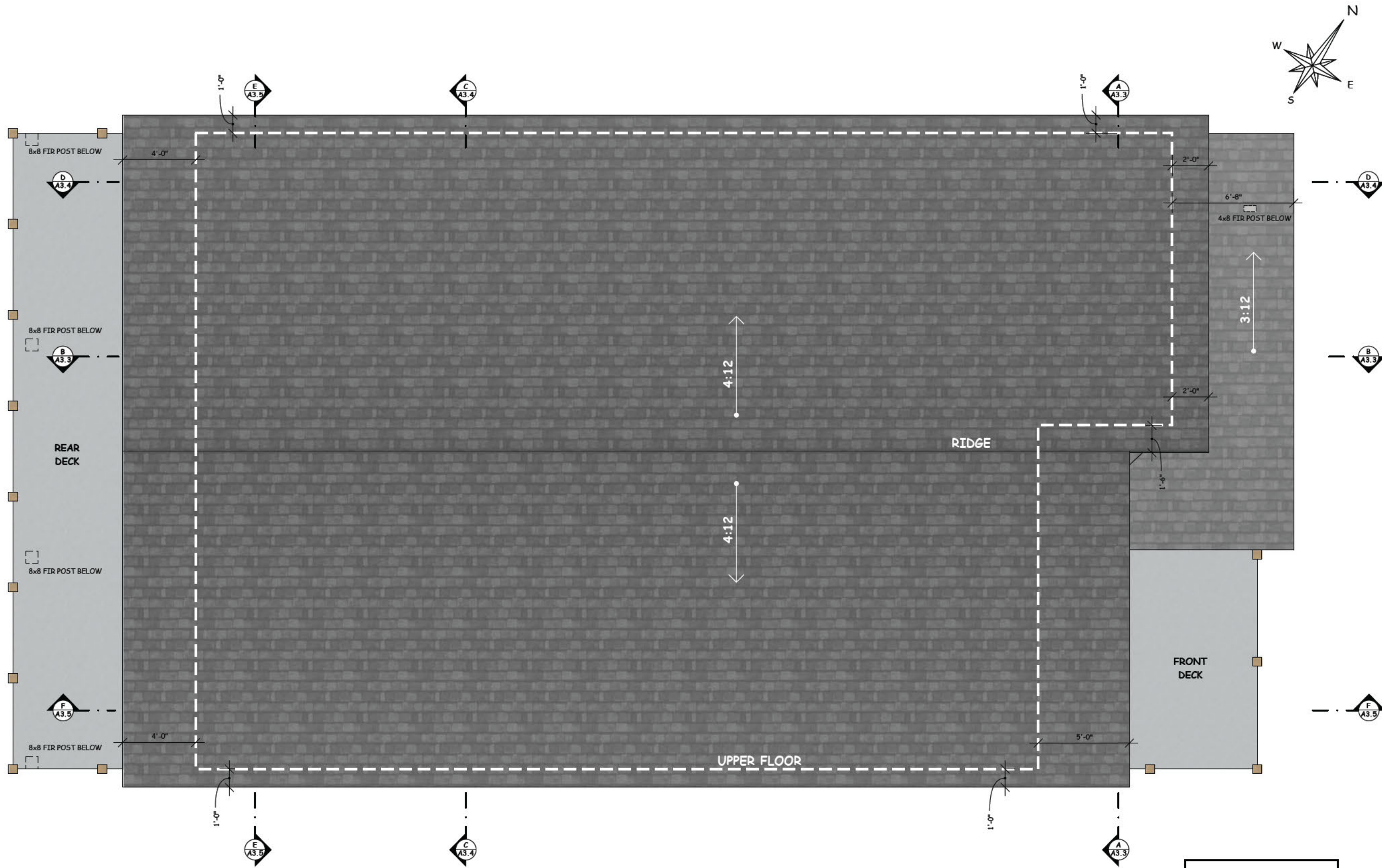
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FILE NO.	APPROVED		

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PAGE TITLE
UPPER FLOOR PLAN
 DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
 135 COUGAR POINT ROAD
 CANMORE AB

25



SHEET NO.
A 2.3

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T. BARTLETT	3/16" 1'-0"	T. BARTLETT	OCT 8 2021
FILE NO.	APPROVED	IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.	

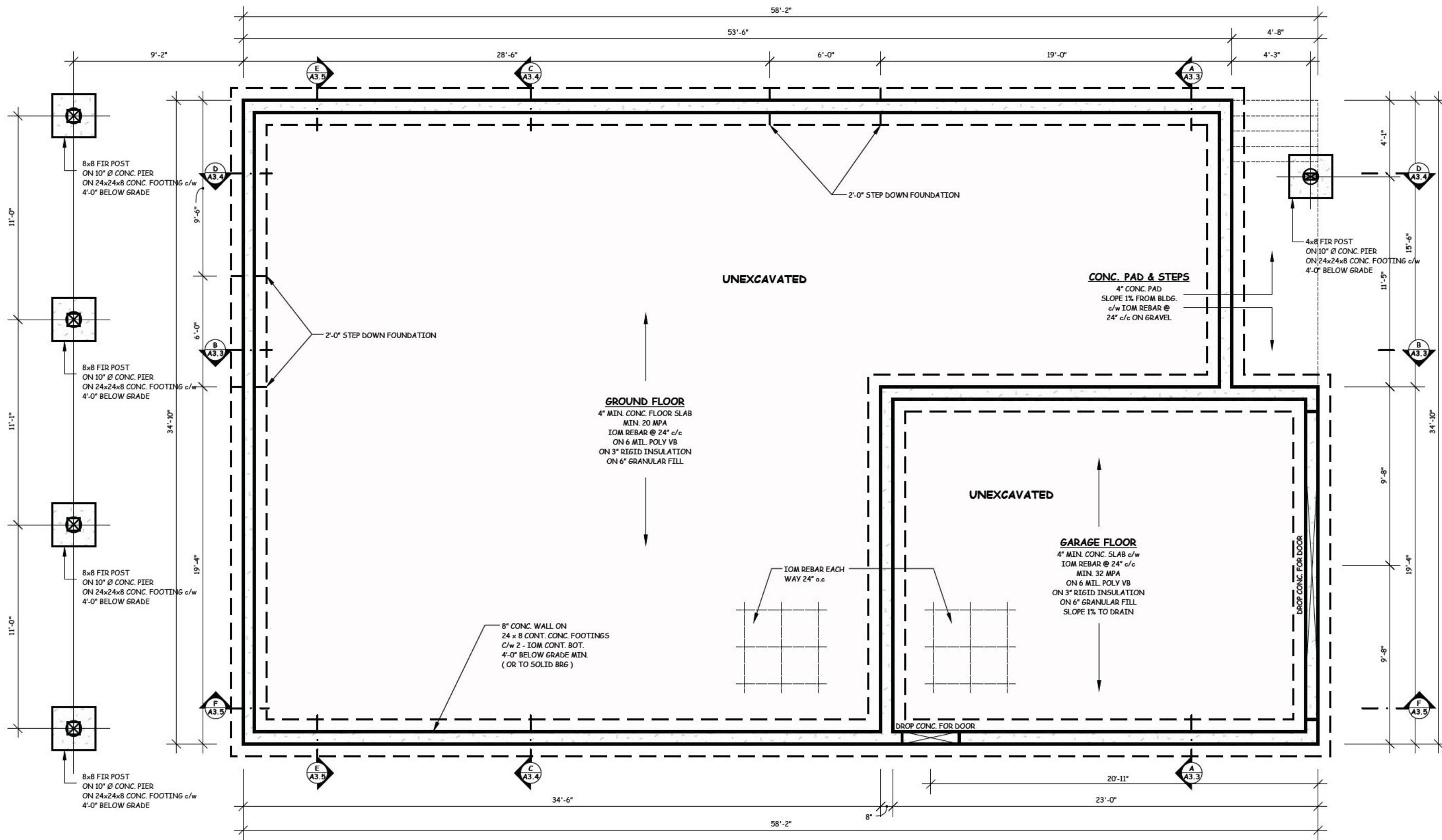
PAGE TITLE
ROOF PLAN
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR 135 COUGAR POINT ROAD CANMORE AB

NOTES:

- ROOF SLOPES 4/12 ON MAIN DWELLING AND 3/12 OVER FRONT ENTRANCE
- SEE SECTIONS FOR OVERHANG'S AS REQUIRED BY THE A.B.C.
- PROVIDE ROOF VENTS AS REQUIRED BY THE A.B.C.
- ALL DOWNSPOUTS TO DRAIN TO THE SIDE AND REAR OF THE PROPERTY.

1 :: **ROOF PLAN**
A2.3 SCALE: 3/16" 1'-0"



1 :: **FOUNDATION PLAN**
 A2.4 SCALE: 3/16" 1'-0"

SHEET NO.
A 2.4



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T. BARTLETT	3/16" 1'-0"	T. BARTLETT	OCT 8 2021	
		APPROVED		

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PAGE TITLE
FOUNDATION PLAN

DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
 135 COUGAR POINT ROAD
 CANMORE AB

DOOR SCHEDULE											
ID	D1	D2	D3	D4	D5	D6	D7	D8	D9	D10	D11
LEVEL	GROUND	GROUND	GROUND	GROUND	GROUND	GROUND	GROUND	GROUND	GROUND	UPPER	UPPER
ROOM	FOYER	SUITE 1 ENTRY	SUITE 2 ENTRY	SUITE 1 HALL	SUITE 1 HALL	SUITE 2 HALL	GARAGE ENTRY	GARAGE EXTERIOR	GARAGE	DINING	MASTER
TYPE	LH INSWING 36" DOOR SLAB c/w 20" SIDELIGHT	RH INSWING 32" RATED	RH INSWING 32" RATED	RH INSWING 32" RATED	LH INSWING 32" RATED	LH INSWING 32" RATED	LH INSWING 32" SELF CLOSING	LH INSWING 32"	OVERHEAD	LH & RH DOUBLE INSWING 32" x 2	RH INSWING 32"
NOMINAL SIZE	5'-0" x 8'-0"	2'-8" x 6'-8"	2'-8" x 6'-8"	2'-8" x 6'-8"	2'-8" x 6'-8"	2'-8" x 6'-8"	2'-8" x 6'-8"	2'-8" x 6'-8"	16'-0" x 7'-0"	5'-4" x 6'-8"	2'-8" x 6'-8"

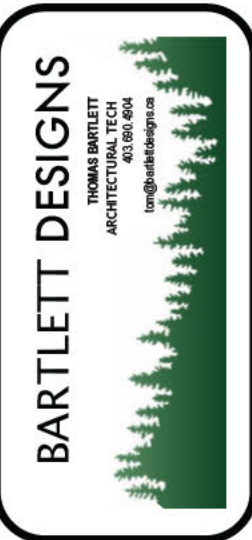
WINDOW SCHEDULE																
ID	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10	W11	W12	W13	W14	W15	W16
LEVEL	GROUND	GROUND	GROUND	GROUND	GROUND	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER	UPPER
ROOM	SUITE 2 LIVING	SUITE 1 LIVING	BDRM 6	BDRM 5	BDRM 4	DEN	HALL	BDRM 3	BDRM 2	LIVING	LIVING	LIVING	KITCHEN	KITCHEN	MASTER	DINING
TYPE	QUARTER-HALF-QUARTER LH & RH CASEMENT	QUARTER-HALF-QUARTER LH & RH CASEMENT	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	FIXED OVER SLIDING	FIXED OVER SLIDING	FIXED OVER SLIDING	FIXED OVER AWNING	FIXED OVER AWNING	QUARTER-HALF-QUARTER LH & RH CASEMENT	FIXED
NOMINAL SIZE	5'-0" x 5'-0"	5'-0" x 5'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	3'-0" x 6'-0"	3'-0" x 6'-0"	3'-0" x 6'-0"	4'-0" x 4'-0"	4'-0" x 4'-0"	5'-0" x 5'-0"	5'-4" x 2'-0"

ROUGH TAKEOFFS - EXACT MEASUREMENTS FROM 3D MODEL, FOR REFERENCING PURPOSES ONLY

SQUARE FEET	ROOFING	STUCCO	METAL SOFFIT	T&G SOFFIT	DURA DECK FRONT	DURA DECK BACK	CONCRETE DRIVEWAY	CONCRETE WALKWAYS	CONCRETE REAR DECK	LANDSCAPE GRAVEL			
TOTAL	2434 sqft	3150 sqft	450 sqft	400 sqft	230 sqft	350 sqft	500 sqft	600 sqft	310 sqft	540 sqft			

LINEAR FOOTAGE	FASCIA FRONT AND BACK (FIR)	FASCIA SIDES (METAL)	EAVES	BELLY BAND FRONT (fir)	BELLY BAND SIDES (metal) or FLASHING TRANSITION	WINDOW & DOOR FLASHING TOP	WINDOW FLASHING BOTTOM		
TOTAL	106.5 ft	115 ft	200 ft	62 ft	100 ft	100 ft	57 ft		

SHEET NO. A 2.5



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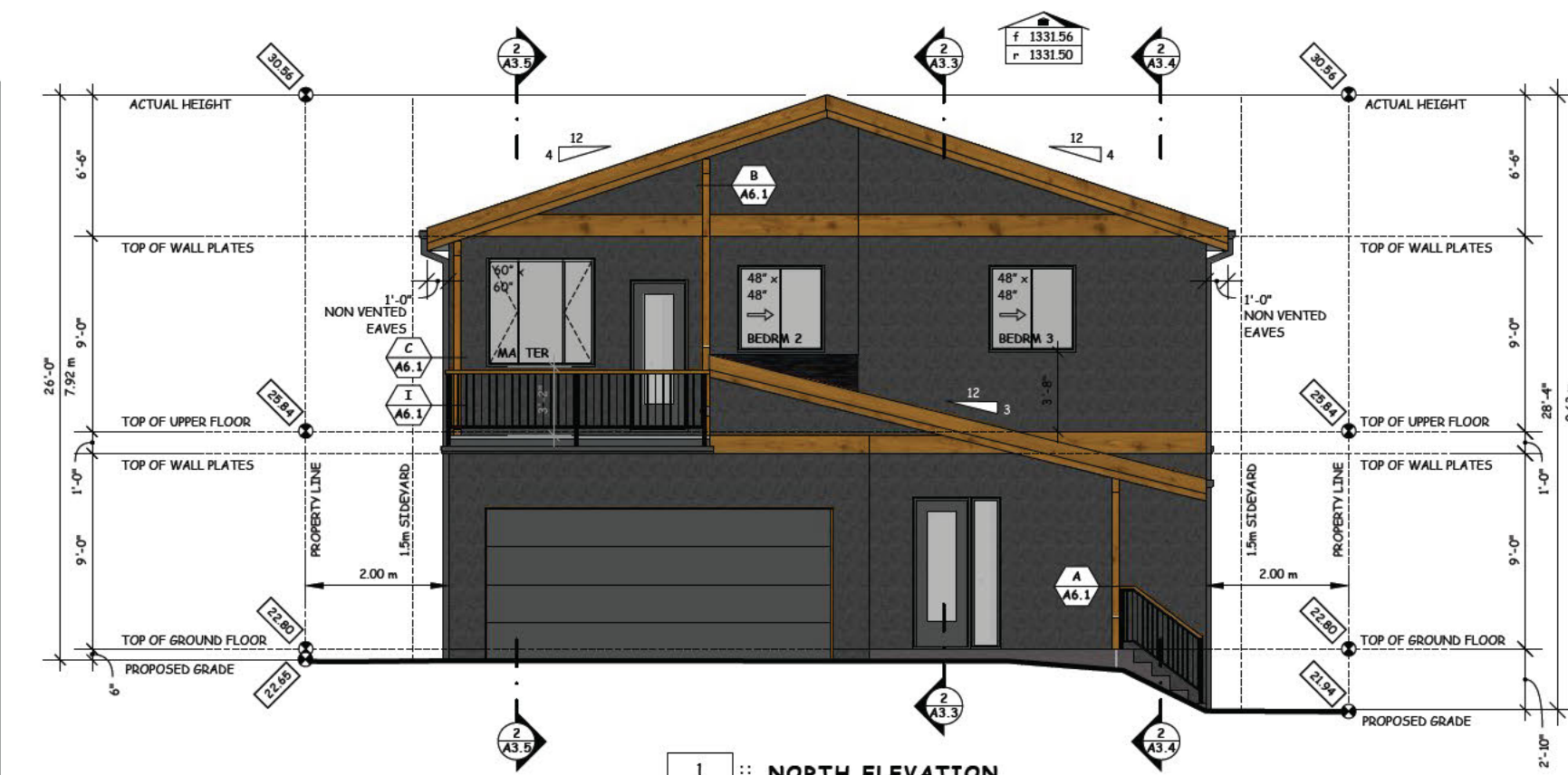
PAGE TITLE
DOOR AND WINDOW SCHEDULE & TAKEOFFS

DO NOT SCALE THE DRAWINGS.

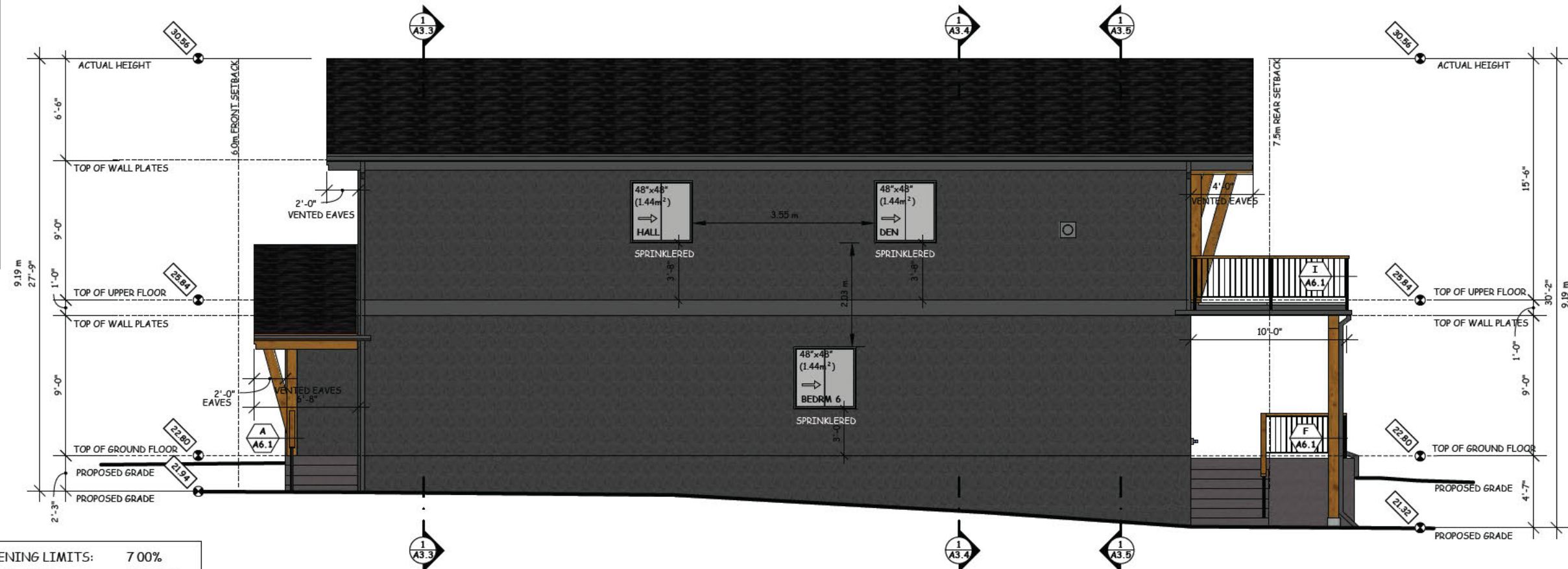
CLIENT / PROJECT
COUGAR CREEK
135 COUGAR POINT
CANMORE AB

GENERAL NOTES:

- ALL CONSTRUCTION TO CONFORM TO A.B.C.
- FLOOR SYSTEM JOIST BEAM AND ROOF SYSTEM TO BE CHECKED AND VERIFIED BY SUPPLIER. SUBMIT SHOP DRAWINGS UNDER SEAL OF P.ENG (STRUCTURAL) LICENSED TO PRACTICE IN THE PROVINCE OF ALBERTA.
- THIS SET OF DRAWINGS IS TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT OR TRADE DRAWINGS INCLUDING MECHANICAL ELECTRICAL CIVIL INTERIOR DESIGN TRUSS AND JOIST SUPPLIERS DRAWINGS WHICH TOGETHER REPRESENTS THE COMPLETE PROJECT.
- ALL CONVENTIONAL LUMBER STRUCTURAL FRAMING MATERIAL INCLUDING STUDS JOISTS BEAMS AND COLUMNS ARE TO BE S.P.F. #2 OR BETTER MATERIAL UNLESS NOTED OTHERWISE ON THE CONTRACT DOCS.
- CONTINUE ALL POSTS DOWN TO THE FOUNDATION OR TRANSFER BEAMS BELOW INCLUDING BLOCKING WITHIN ANY FLOOR OR ROOF SYSTEMS. BLOCKING IS TO BE THE SAME SIZE AND GRADE OF MATERIAL AS THE POST.
- ALL LOAD BEARING LINTELS TO BE 2-2X10 #2 S.P.F. UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE ALL PENETRATIONS THROUGH FLOORS ROOFS AND LOAD BEARING WALLS.
- ALL WOOD MATERIALS IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO WEATHER ARE TO BE TREATED MATERIAL.
- BUILDER SHALL CONFIRM FOUNDATION DESIGN WITH FLOOR AND ROOF FRAMING PLANS (ENGINEERED)
- STRUCTURAL ENGINEER TO REFER TO SOILS/ GEOTECHNICAL REPORT FOR FOUNDATION DESIGN
- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL. DEPTHS OF FOOTINGS SHOWN ON THE DRAWINGS ARE A MINIMUM REQUIREMENT. INCREASE DEPTH AS REQUIRED TO SUIT SITE CONDITIONS AND AS REQUIRED BY GEOTECHNICAL ENGINEER.
- BUILDER SHALL CONFIRM FLOOR ELEVATIONS WITH EXISTING SANITARY INVERTS FOR PROPER FLOW BEFORE CONSTRUCTION
- ALL REINFORCED CONCRETE IS TO VIBRATED
- UNLESS A GEOTECHNICAL ENGINEER CONFIRMS OTHERWISE IN WRITING ALL RESIDENTIAL CONCRETE IN CONTACT WITH SOILD IS ASSUMED TO BE SUSCEPTIBLE TO SULPHATE ATTACK AND IS TO MEET THE FOLLOWING REQUIREMENTS:
 1. MAX WATER TO CEMENT RATIO 0.40
 2. SPECIFIED STRENGTH 32 MPa @ 56 DAYS
 3. AIR CONTENT 4-7%
 4. CEMENT TYPE HS OR HSb



1 :: NORTH ELEVATION
A3.1 scale: 1/8"=1'-0"



2 :: WEST ELEVATION
A3.1 scale: 1/8"=1'-0"

OPENING LIMITS:	7.00%
WALL AREA:	968 sqft
OPENING AREA:	48 sqft
OPENING %	4.9%

EXTERIOR FINISHES

ROOFING COLOUR	30 YR. FIBREGLASS SHINGLES
SIDING COLOUR	STUCCO
FASCIA COLOUR	DOUGLAS FIR WOOD TONE
BELLY BAND COLOUR	METAL DARK GREY
WINDOWS COLOUR	METAL CLAD VINYL DARK GREY
FLASHING COLOUR	PREFINISHED METAL BLACK
SOFFIT COLOUR	FIR TONGUE AND GROOVE NATURAL TONE
RAILINGS COLOUR	FIR 6X6 POST NATURAL TONE
DECK SURFACE COLOUR	DURADECK LIGHT GREY
FRONT DOORS COLOUR	FIBREGLASS LIGHT GREY
GARAGE DOORS COLOUR	FIBREGLASS LIGHT GREY
TIMBER COLOUR	FIR BEAMS AND POSTS NATURAL TONE
EAVES COLOUR	METAL DARK GREY

SHEET NO. **A 3.1**

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DATE	OCT 8 2021		
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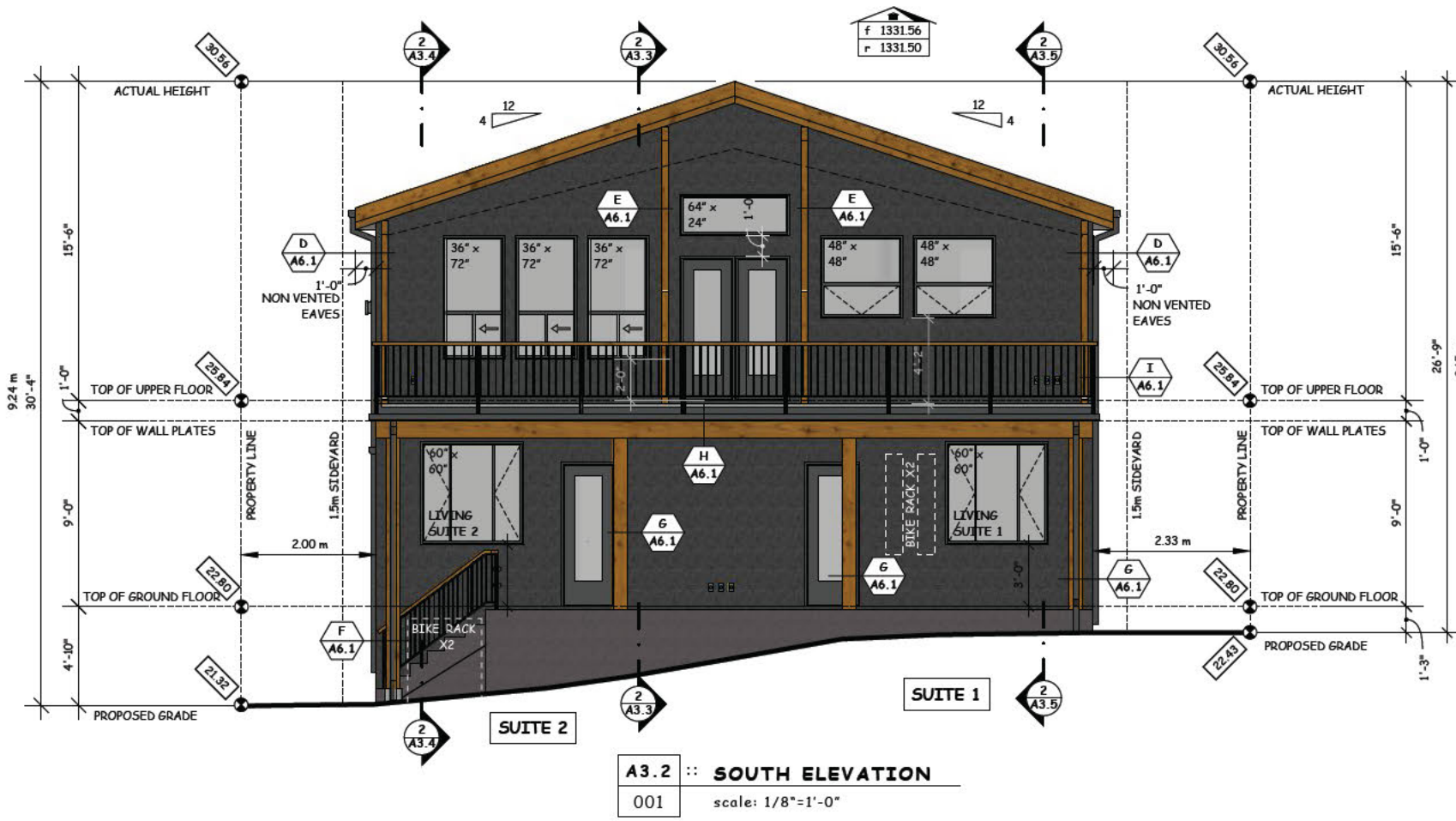
BUILDING ELEVATIONS

DO NOT SCALE THE DRAWINGS.

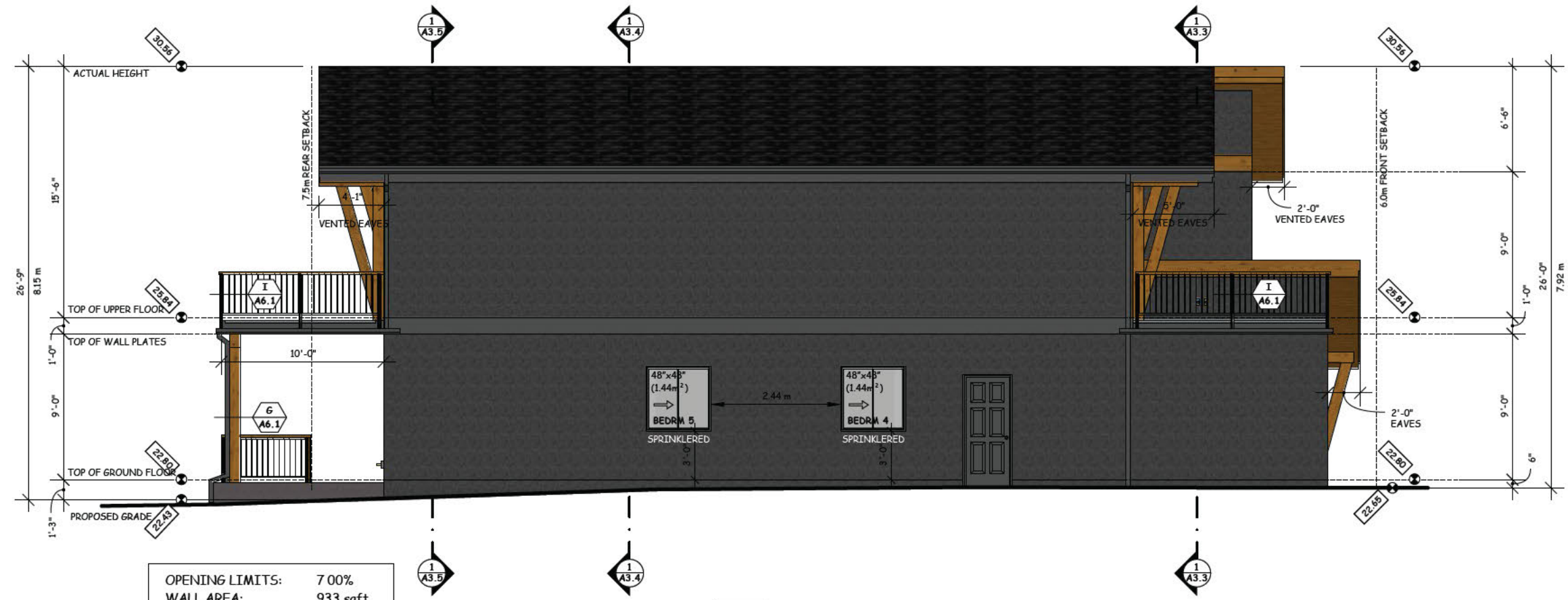
CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

GENERAL NOTES:

- ALL CONSTRUCTION TO CONFORM TO A.B.C.
- FLOOR SYSTEM JOIST BEAM AND ROOF SYSTEM TO BE CHECKED AND VERIFIED BY SUPPLIER. SUBMIT SHOP DRAWINGS UNDER SEAL OF P.ENG (STRUCTURAL) LICENSED TO PRACTICE IN THE PROVINCE OF ALBERTA.
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- ALL CONVENTIONAL LUMBER STRUCTURAL FRAMING MATERIAL INCLUDING STUDS JOISTS BEAMS AND COLUMNS ARE TO BE S.P.F. #2 OR BETTER MATERIAL UNLESS NOTED OTHERWISE ON THE CONTRACT DOCS.
- CONTINUE ALL POSTS DOWN TO THE FOUNDATION OR TRANSFER BEAMS BELOW INCLUDING BLOCKING WITHIN ANY FLOOR OR ROOF SYSTEMS. BLOCKING IS TO BE THE SAME SIZE AND GRADE OF MATERIAL AS THE POST.
- ALL LOAD BEARING LINTELS TO BE 2-2X10 #2 S.P.F. UNLESS OTHERWISE NOTED.
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- BUILDER SHALL CONFIRM FLOOR ELEVATIONS WITH EXISTING SANITARY INVERTS FOR PROPER FLOW BEFORE CONSTRUCTION
- ALL REINFORCED CONCRETE IS TO VIBRATED
- UNLESS A GEOTECHNICAL ENGINEER CONFIRMS OTHERWISE IN WRITING ALL RESIDENTIAL CONCRETE IN CONTACT WITH SOILD IS ASSUMED TO BE SUSCEPTIBLE TO SULPHATE ATTACK AND IS TO MEET THE FOLLOWING REQUIREMENTS:
 1. MAX WATER TO CEMENT RATIO 0.40
 2. SPECIFIED STRENGTH 32 MPa @ 56 DAYS
 3. AIR CONTENT 4-7%
 4. CEMENT TYPE HS OR HSb



A3.2 :: SOUTH ELEVATION
001 scale: 1/8"=1'-0"



A3.2 :: EAST ELEVATION
002 scale: 1/8"=1'-0"

OPENING LIMITS:	7 00%
WALL AREA:	933 sqft
OPENING AREA:	32 sqft
OPENING %	3 4%

EXTERIOR FINISHES

ROOFING COLOUR	30 YR. FIBREGLASS SHINGLES BLACK
SIDING COLOUR	STUCCO DARK GREY
FASCIA COLOUR	DOUGLAS FIR WOOD TONE
BELLY BAND COLOUR	METAL DARK GREY
WINDOWS COLOUR	METAL CLAD VINYL DARK GREY
FLASHING COLOUR	PREFINISHED METAL BLACK
SOFFIT COLOUR	FIR TONGUE AND GROOVE NATURAL TONE
RAILINGS COLOUR	FIR 6X6 POST NATURAL TONE TINTED GLASS
DECK SURFACE COLOUR	DURADECK LIGHT GREY
FRONT DOORS COLOUR	FIBREGLASS LIGHT GREY
GARAGE DOORS COLOUR	FIBREGLASS LIGHT GREY
TIMBER COLOUR	FIR BEAMS AND POSTS NATURAL TONE
EAVES COLOUR	METAL DARK GREY

SHEET NO. **A 3.2**

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DATE	OCT 8 2021	CHECKED	T. BARTLETT
FILE NO.		APPROVED	

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BUILDING ELEVATIONS
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

NOTES:

WINDOW SIZES ON DRAWINGS ARE APPROXIMATE ONLY FRAMER TO CONFIRM ROUGH OPENING SIZES WITH THE MANUFACTURER

GROUND FLOOR WINDOWS TO BE MOUNTED AT 3'-0" FROM FLOOR SLAB UNLESS NOTED

MAIN FLOOR WINDOWS TO BE MOUNTED AT 3'-8" FROM FLOOR SLAB UNLESS NOTED

OWNER TO CONFIRM FINAL LOCATIONS OF ALL OPERABLE WINDOWS. OPENING WINDOWS WHERE THE FLOOR IS GREATER THAN 2'-0" ABOVE THE FINAL GRADE OR LOWER THEN 42" ABOVE THE FINISHED FLOOR SHALL HAVE "LIMITING DEVICES" FOR A MAXIMUM 4" OPENING TO CONFORM TO THE BUILDING CODE

WINDOW MANUFACTURER SHALL CONFIRM THAT ALL BEDROOM OPENING WINDOWS MEET THE A.B.C. WITH RESPECT TO EXISTING SIZES AND WIDTHS

INSTALL FLASHING AT ALL ROOF/WALL INTERSECTIONS AND OVER ALL EXTERIOR DOORS AND WINDOWS

PAPER AND TAPE EXTERIOR WALLS BEFORE INSTALLING MONO TRUSSES

SPRAY FOAM INSULATION RIM JOISTS AND UNDER ALL CANTILEVERS CCMC#13555-L SWD QUIK-SHIELD 112

DURA DECK DECKING - APPLY TO MANUFACTURER SPECIFICATIONS

ALL EXTERIOR WALL ARE 2x6 @ 16" c/c
INTERIOR WALLS AND PARTITION WALLS ARE 2x4 @ 16" c/c

ALL EXTERIOR DOORS ARE 1-3/4" THICK AND INTERIOR DOORS ARE 1-3/8" THICK UNLESS NOTED

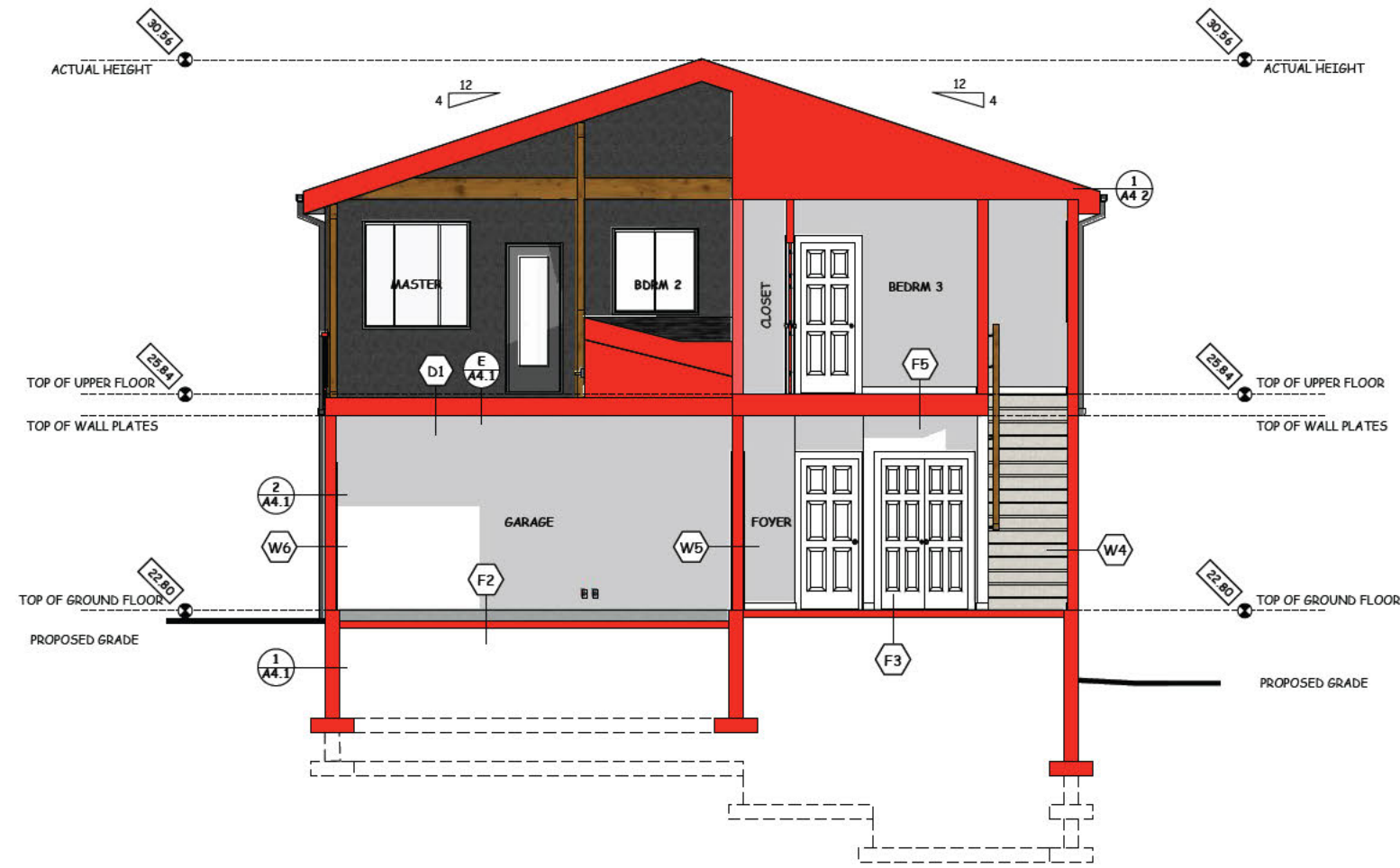
LOCATION OF APPLIANCES ARE SUGGESTED DETERMINE MOST EFFICIENT LOCATION ON SITE

FRAMING CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR FIXTURES AND EQUIPMENT

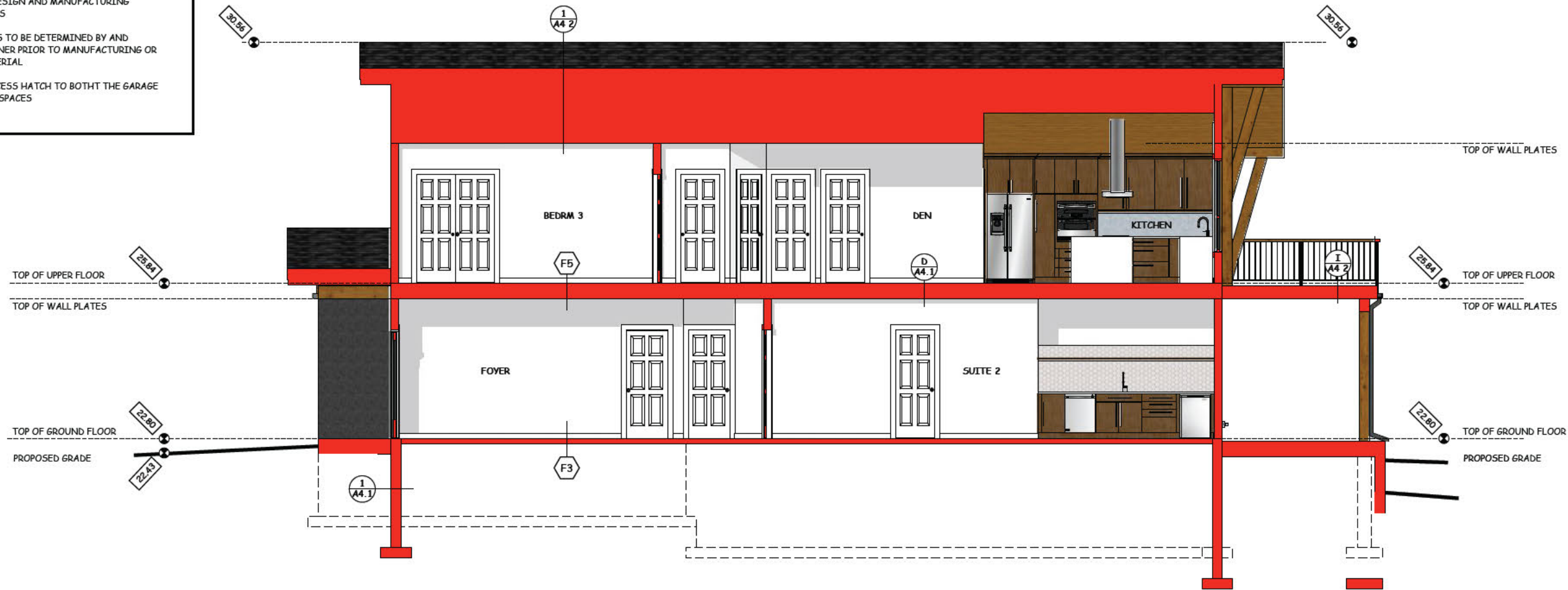
PROVIDE GAS TO FIREPLACE LOCATIONS. COORDINATE WITH FIREPLACE DESIGN AND MANUFACTURING RECOMMENDATIONS

ALL FINAL COLOURS TO BE DETERMINED BY AND CONFIRMED BY OWNER PRIOR TO MANUFACTURING OR ORDERING OF MATERIAL

PROVIDE ATTIC ACCESS HATCH TO BOTH THE GARAGE AND HOUSE ATTIC SPACES



A :: SECTION
A3.3 scale: 1/8"=1'-0"



B :: SECTION
A3.3 scale: 1/8"=1'-0"

SHEET NO.
A 3.3

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SCALE	1/8"=1'-0"
CHECKED	T. BARTLETT
APPROVED	
DATE	OCT 8 2021
FILE NO.	

PAGE TITLE
BUILDING SECTIONS
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

NOTES:

WINDOW SIZES ON DRAWINGS ARE APPROXIMATE ONLY FRAMER TO CONFIRM ROUGH OPENING SIZES WITH THE MANUFACTURER

GROUND FLOOR WINDOWS TO BE MOUNTED AT 3'-0" FROM FLOOR SLAB UNLESS NOTED

MAIN FLOOR WINDOWS TO BE MOUNTED AT 3'-8" FROM FLOOR SLAB UNLESS NOTED

OWNER TO CONFIRM FINAL LOCATIONS OF ALL OPERABLE WINDOWS. OPENING WINDOWS WHERE THE FLOOR IS GREATER THAN 2'-0" ABOVE THE FINAL GRADE OR LOWER THEN 42" ABOVE THE FINISHED FLOOR SHALL HAVE "LIMITING DEVICES" FOR A MAXIMUM 4" OPENING TO CONFORM TO THE BUILDING CODE

WINDOW MANUFACTURER SHALL CONFIRM THAT ALL BEDROOM OPENING WINDOWS MEET THE A.B.C. WITH RESPECT TO EXISTING SIZES AND WIDTHS

INSTALL FLASHING AT ALL ROOF/WALL INTERSECTIONS AND OVER ALL EXTERIOR DOORS AND WINDOWS

PAPER AND TAPE EXTERIOR WALLS BEFORE INSTALLING MONO TRUSSES

SPRAY FOAM INSULATION RIM JOISTS AND UNDER ALL CANTILEVERS CCMC#13555-L SWD QUIK-SHIELD 112

DURA DECK DECKING - APPLY TO MANUFACTURER SPECIFICATIONS

ALL EXTERIOR WALL ARE 2x6 @ 16" c/c
INTERIOR WALLS AND PARTITION WALLS ARE 2x4 @ 16" c/c

ALL EXTERIOR DOORS ARE 1-3/4" THICK AND INTERIOR DOORS ARE 1-3/8" THICK UNLESS NOTED

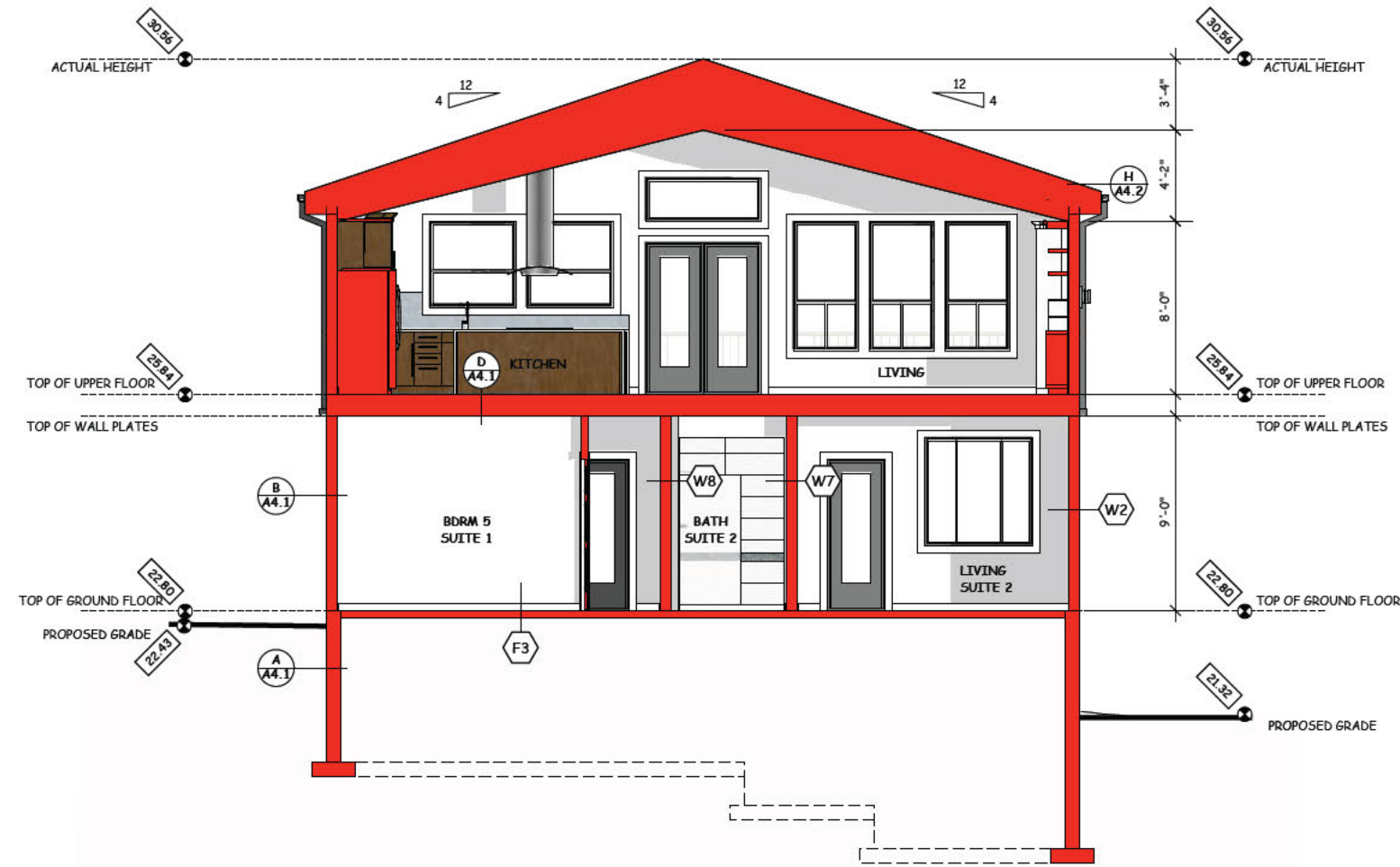
LOCATION OF APPLIANCES ARE SUGGESTED DETERMINE MOST EFFICIENT LOCATION ON SITE

FRAMING CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR FIXTURES AND EQUIPMENT

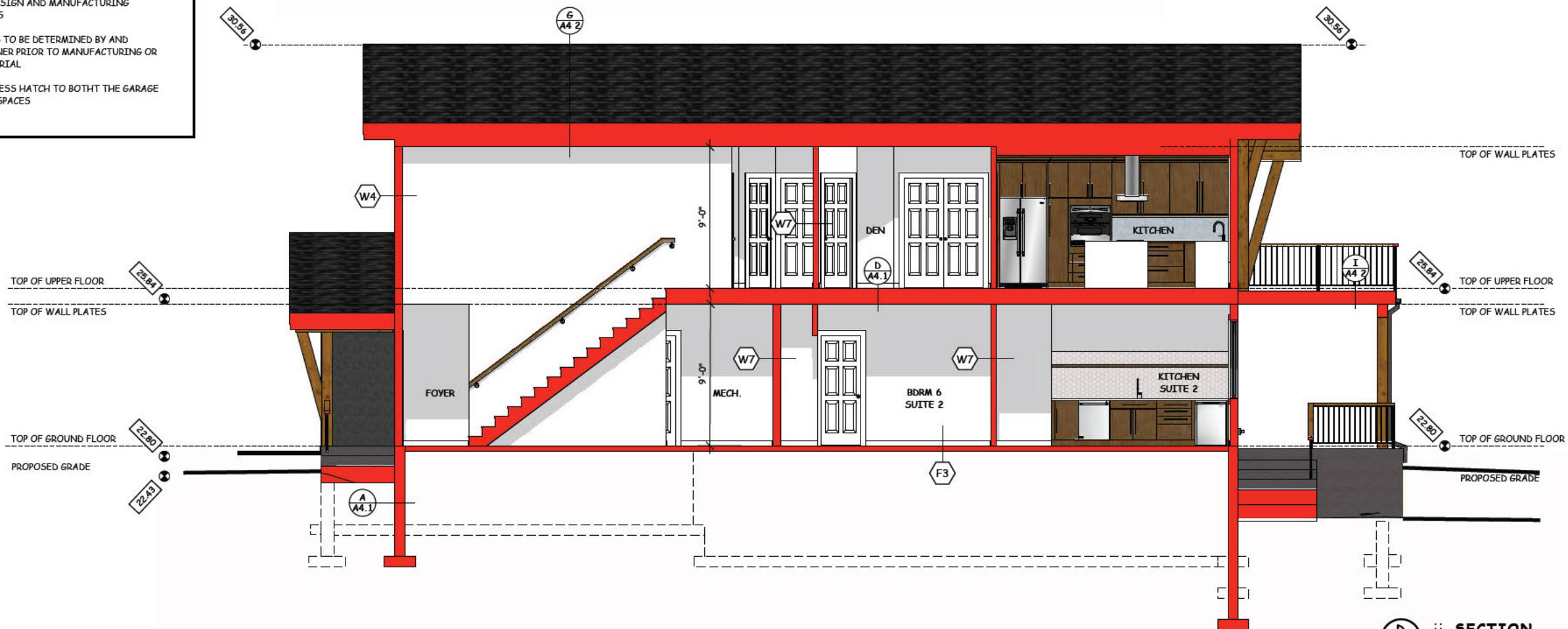
PROVIDE GAS TO FIREPLACE LOCATIONS. COORDINATE WITH FIREPLACE DESIGN AND MANUFACTURING RECOMMENDATIONS

ALL FINAL COLOURS TO BE DETERMINED BY AND CONFIRMED BY OWNER PRIOR TO MANUFACTURING OR ORDERING OF MATERIAL

PROVIDE ATTIC ACCESS HATCH TO BOTH THE GARAGE AND HOUSE ATTIC SPACES



C :: SECTION
A3.4 scale: 1/8"=1'-0"



D :: SECTION
A3.4 scale: 1/8"=1'-0"

SHEET NO.
A 3.4

BARTLETT DESIGNS
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DATE		FILE NO.	
OCT 8 2021			

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PAGE TITLE
BUILDING SECTIONS
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

NOTES:

WINDOW SIZES ON DRAWINGS ARE APPROXIMATE ONLY FRAMER TO CONFIRM ROUGH OPENING SIZES WITH THE MANUFACTURER

GROUND FLOOR WINDOWS TO BE MOUNTED AT 3'-0" FROM FLOOR SLAB UNLESS NOTED

MAIN FLOOR WINDOWS TO BE MOUNTED AT 3'-8" FROM FLOOR SLAB UNLESS NOTED

OWNER TO CONFIRM FINAL LOCATIONS OF ALL OPERABLE WINDOWS. OPENING WINDOWS WHERE THE FLOOR IS GREATER THAN 2'-0" ABOVE THE FINAL GRADE OR LOWER THEN 42" ABOVE THE FINISHED FLOOR SHALL HAVE "LIMITING DEVICES" FOR A MAXIMUM 4" OPENING TO CONFORM TO THE BUILDING CODE

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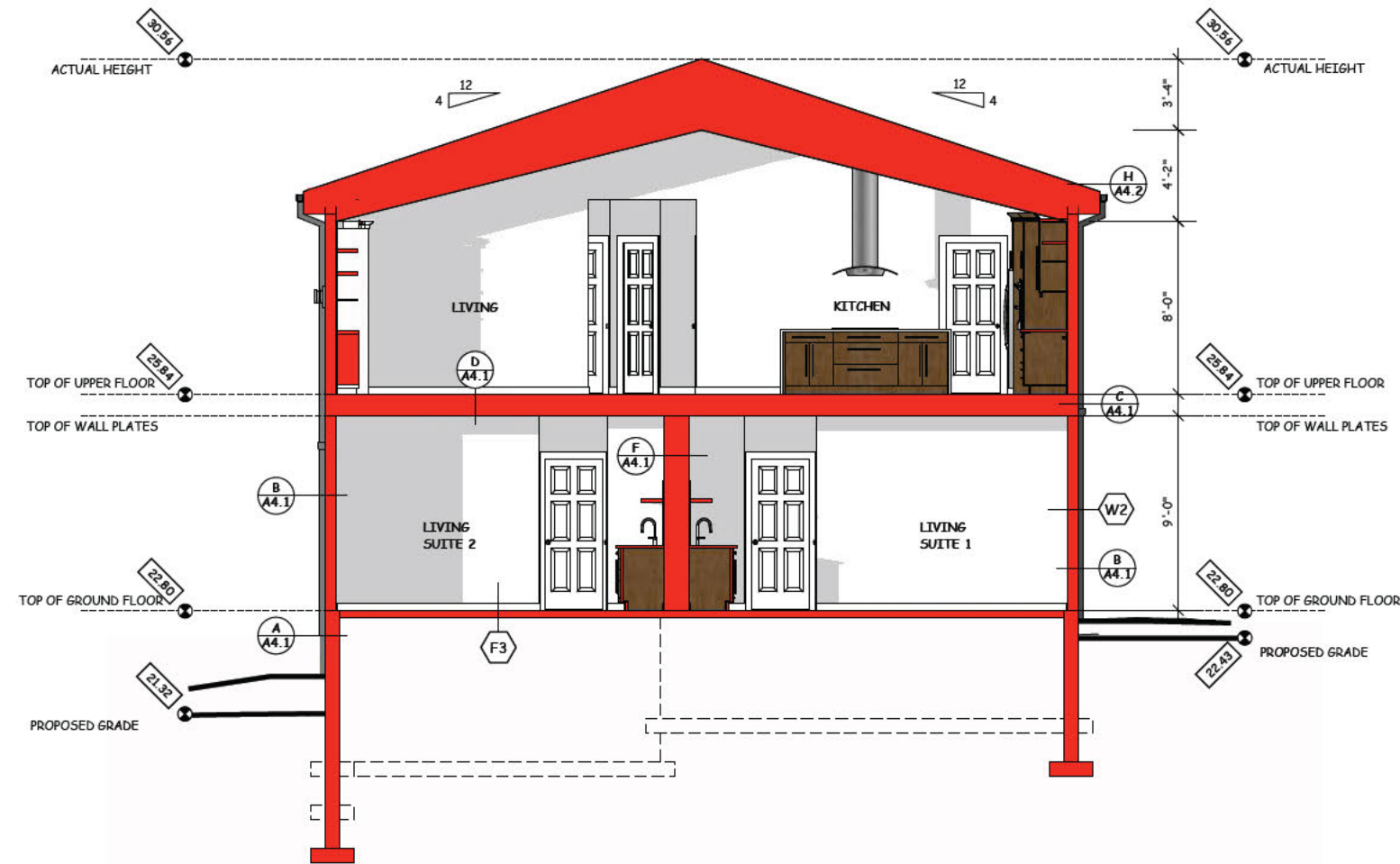
LOCATION OF APPLIANCES ARE SUGGESTED DETERMINE MOST EFFICIENT LOCATION ON SITE

FRAMING CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR FIXTURES AND EQUIPMENT

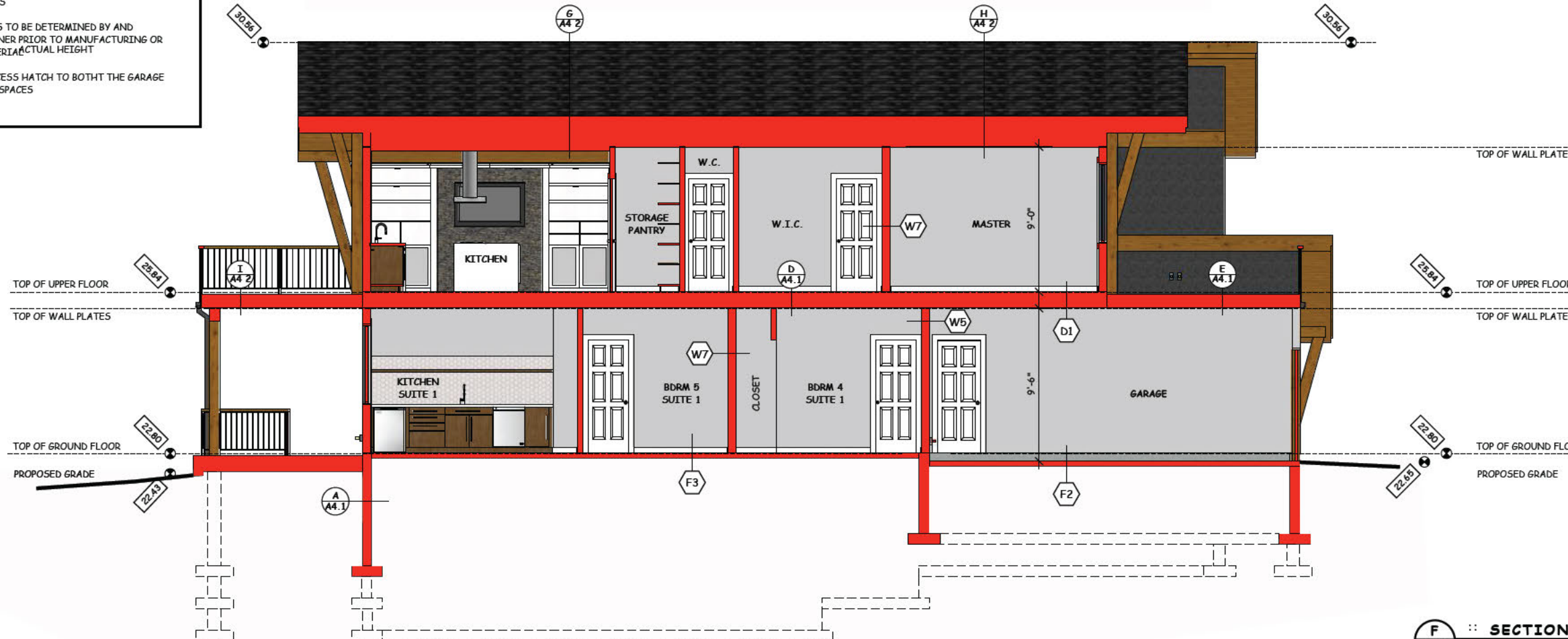
PROVIDE GAS TO FIREPLACE LOCATIONS. COORDINATE WITH FIREPLACE DESIGN AND MANUFACTURING RECOMMENDATIONS

ALL FINAL COLOURS TO BE DETERMINED BY AND CONFIRMED BY OWNER PRIOR TO MANUFACTURING OR ORDERING OF MATERIALS ACTUAL HEIGHT

PROVIDE ATTIC ACCESS HATCH TO BOTH THE GARAGE AND HOUSE ATTIC SPACES



E :: SECTION
A3.5 scale: 1/8"=1'-0"



F :: SECTION
A3.5 scale: 1/8"=1'-0"

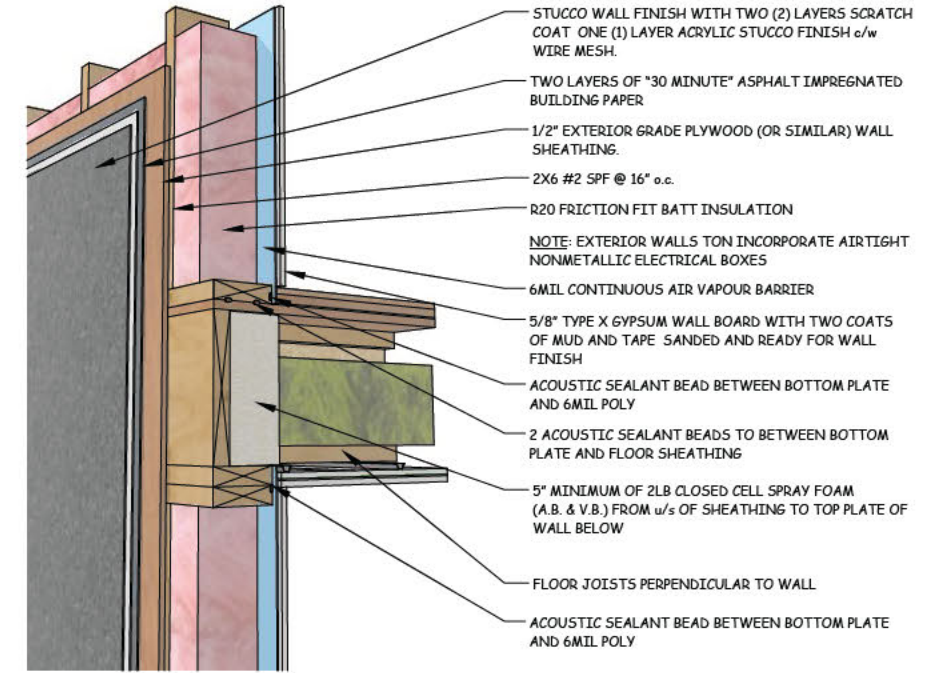
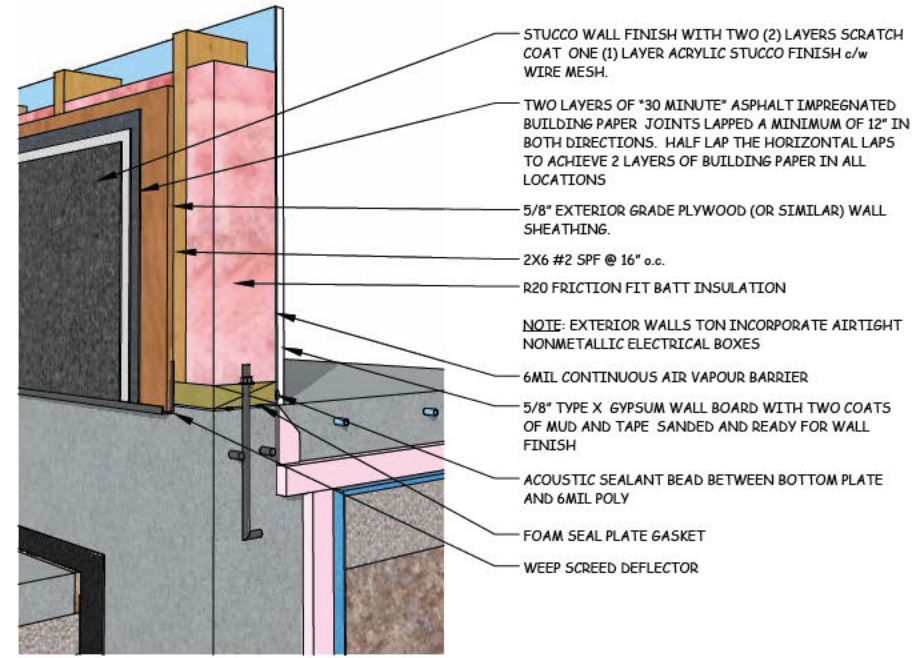
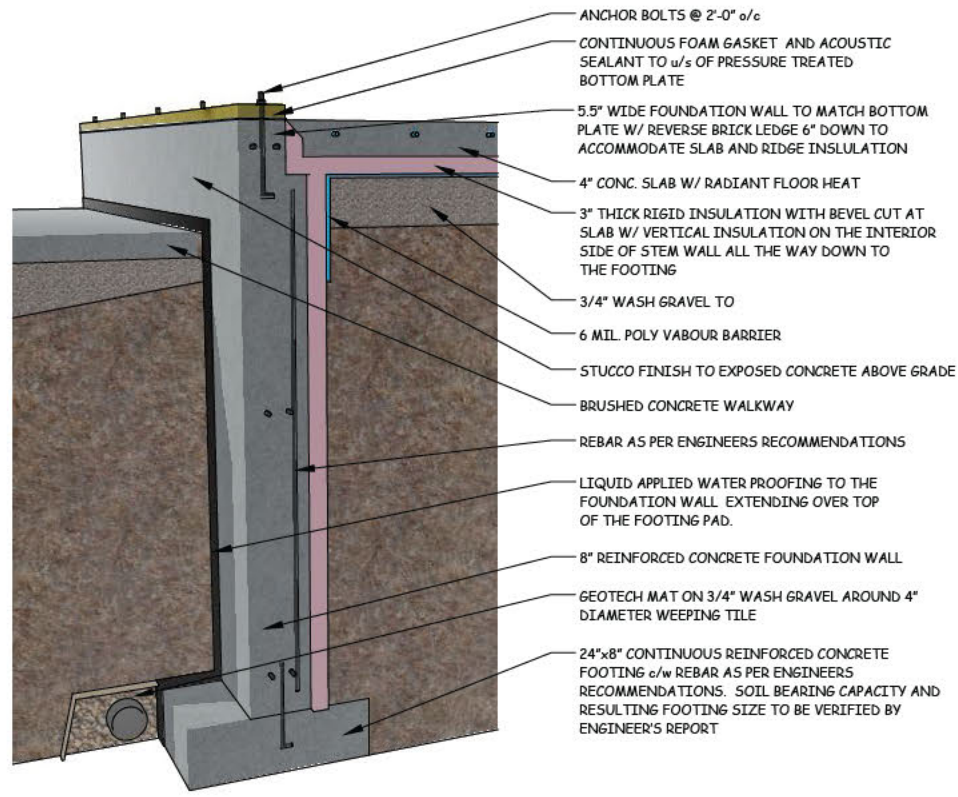
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BUILDING SECTIONS

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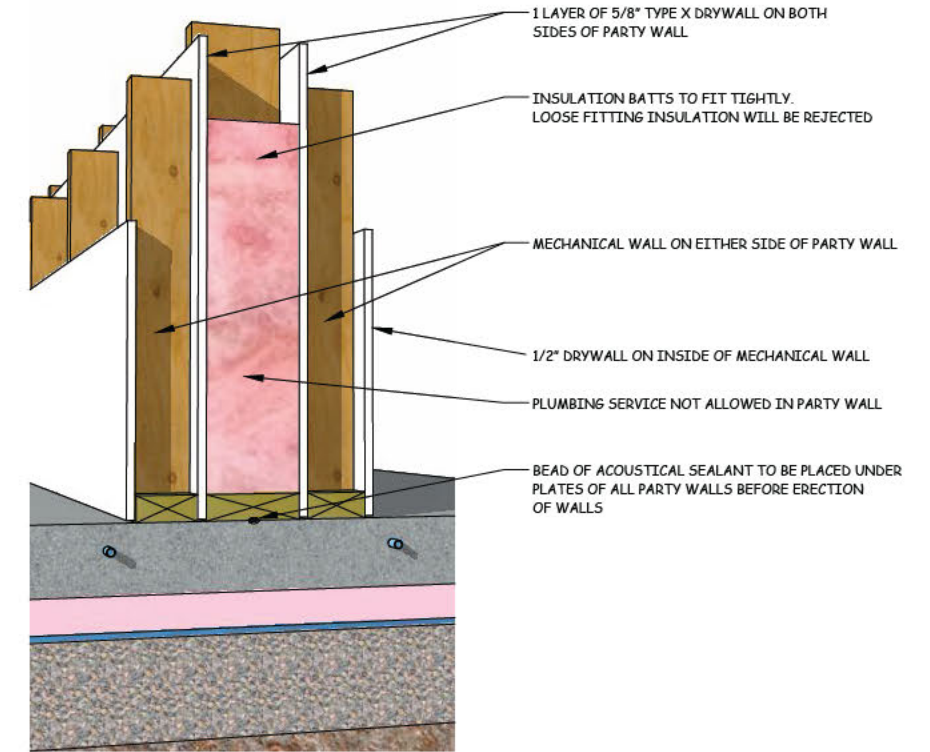
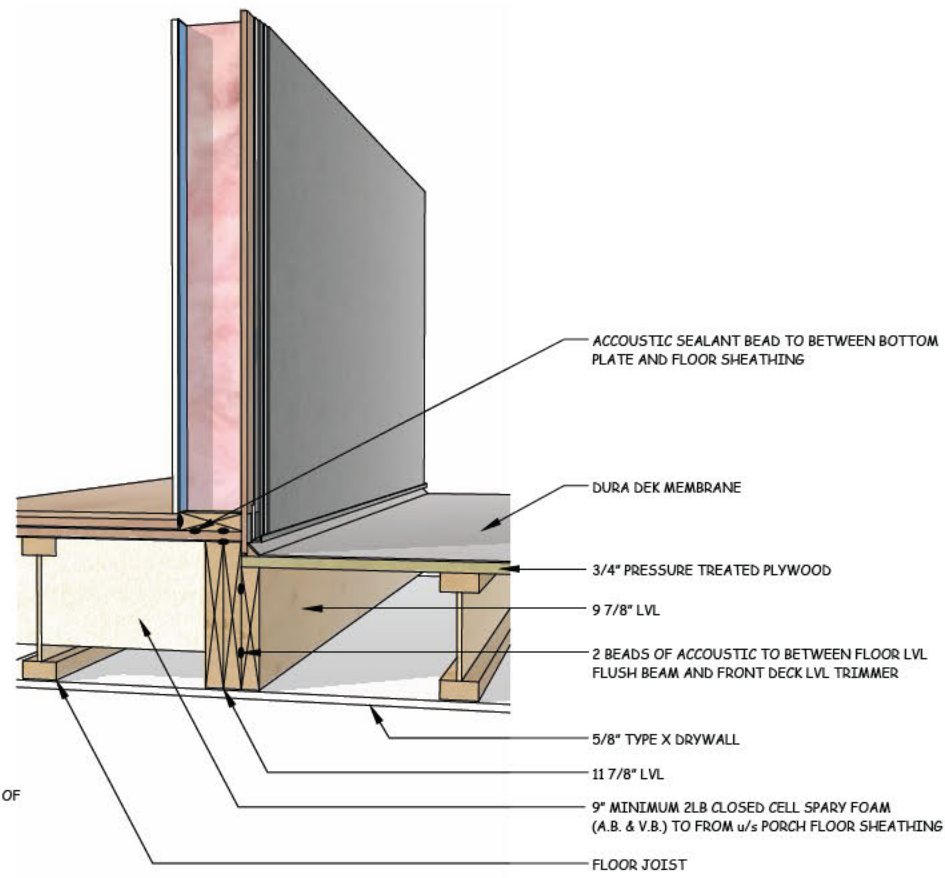
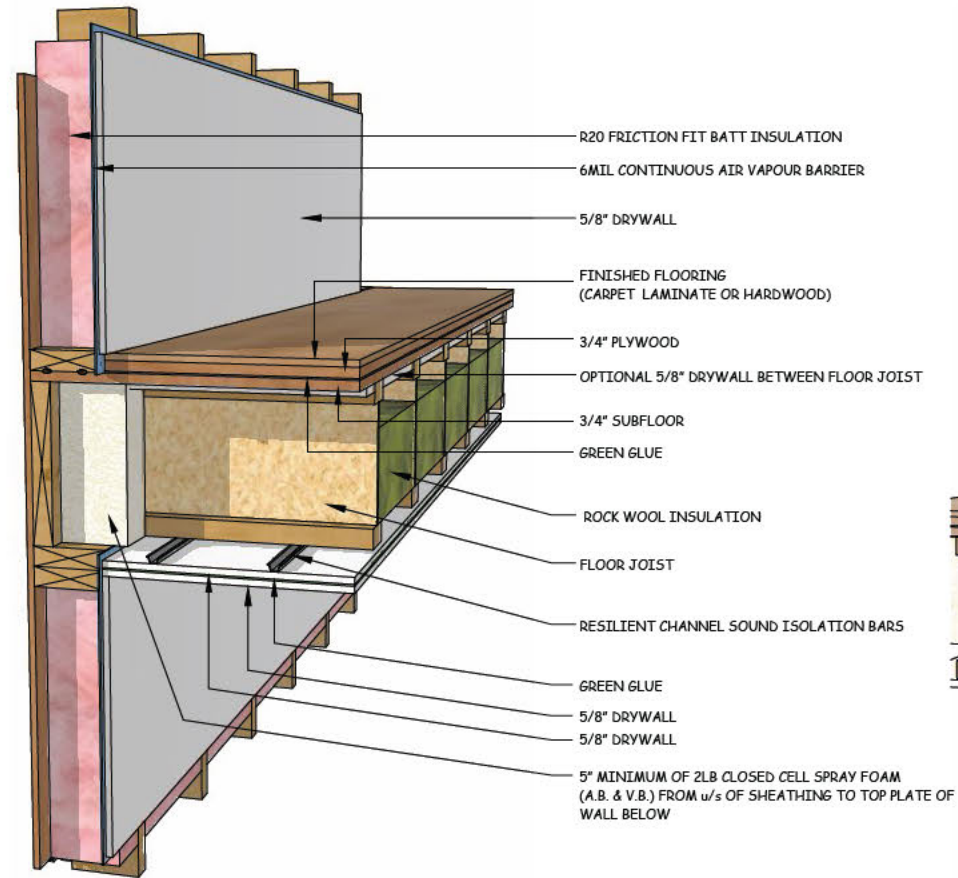
CLIENT / PROJECT
135 CPR 135 COUGAR POINT ROAD CANMORE AB



A :: FOUNDATION STEMWALL
A4.1

B :: FIRE RATED EXTERIOR WALL
A4.1

C :: EXTERIOR WALLS TO FLOOR JOISTS PERPENDICULAR TO WALL
A4.1



D :: SOUND PROOFING FLOOR SYSTEM
A4.1

E :: EXTERIOR WALL TO DECK OVER GARAGE
A4.1

F :: LOWER PARTY WALL TO SLAB
A4.1

SHEET NO.
A 4.1

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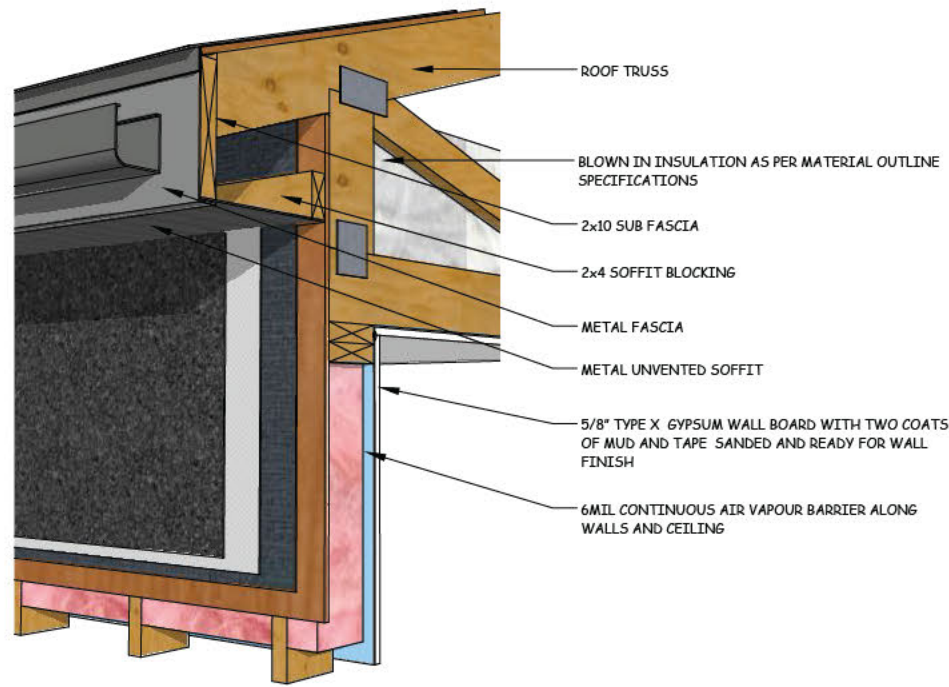
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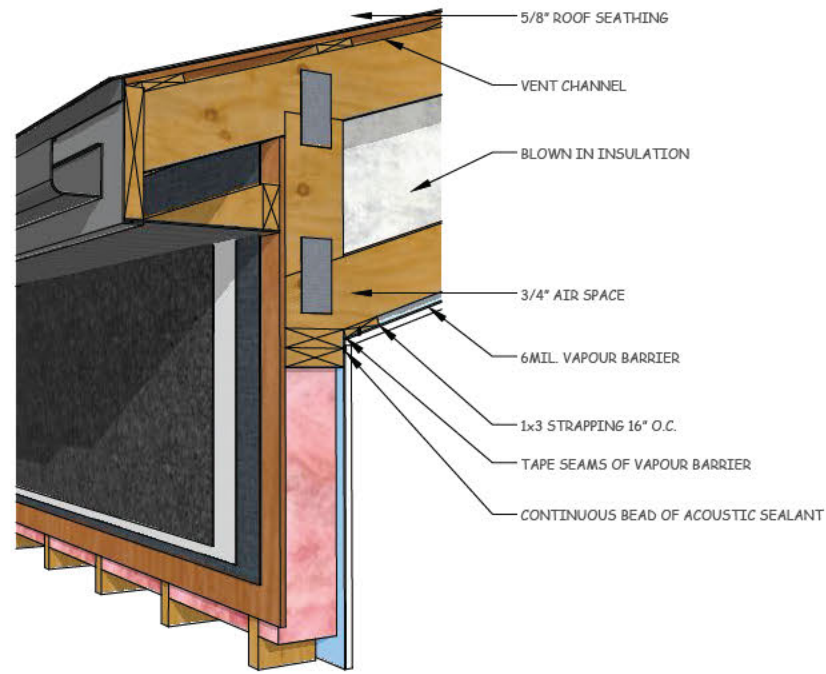
PAGE TITLE
CONSTRUCTION ASSEMBLIES
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CLIENT / PROJECT
135 CPR
135 COUGAR POINT CANMORE AB

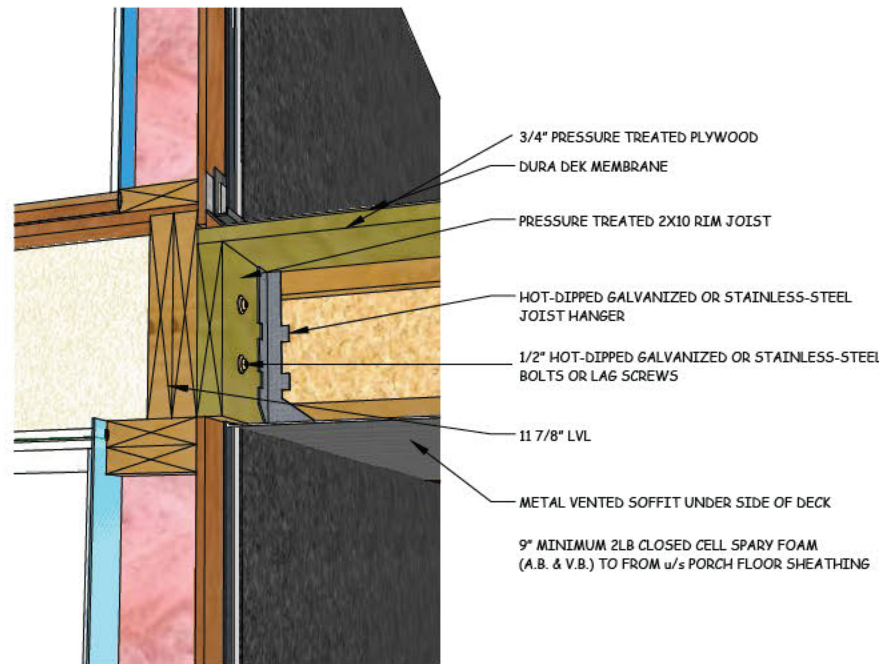
34



6 :: **CEILING BELOW ATTICS ASSEMBLY**
A4.2 NOT TO SCALE



H :: **CATHEDRAL CEILING ASSEMBLY**
A4.2 NOT TO SCALE



I :: **FOUNDATION STEMWALL**
A4.2 NOT TO SCALE

AIR BARRIER GENERAL NOTES 9.36.2.9.

SEALED POLETHYLENE

AIR BARRIER MUST BE CONTINUOUS ACROSS CONSTRUCTION CONTROL AND EXPANSION JOINTS JUNCTIONS BETWEEN DIFFERENT BUILDING MATERIALS AND ASSEMBLIES AND PENETRATIONS THROUGH ALL BUILDING ASSEMBLIES.

- 1 - SLAB FOUNDATION WALL**
 THE FLOOR SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY CONNECTING THE AIR BARRIER TO THE ELEMENT THAT FORMS THE AIR BARRIER IN THE FOUNDATION WALL. IN MOST CASES THIS WILL BE A CONNECTION BETWEEN THE POLYETHYLENE AND THE FOUNDATION WALL.
- 2 - INTERIOR WALL INTERFACE**
 INTERIOR WALLS THAT MEET EXTERIOR WALL OR CEILINGS WITH AN INTERIOR PLANE OF AIRTIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL.
- 3 - RIM JOIST**
 ALL JOISTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.
- 4 - CANTILEVER FLOOR**
 CANTILEVERED FLOORS AND FLOORS OVER UNHEATED/EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- 5 - WINDOW HEAD AND SILL**
 THE INTERFACE BETWEEN THE WINDOW HEAD/JAMB AND THE WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS.
- 6 - MECHANICAL FLUES AND CHIMNEYS**
 STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES. WALL VENTED DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL.
- 7 - PLUMBING STACKS**
 PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIRTIGHTNESS AND SEALING IT TO THE ADJACENT AIR BARRIER.
- 8 - SKYLIGHTS**
 THE INTERFACE BETWEEN THE SKYLIGHT AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT.
- 9 - BATHROOM EXHAUST FANS**
 AIR LEAKAGE OCCURS BETWEEN THE HOUSING AND THE AIR BARRIER AND THROUGH THE PERIMETER AT ELECTRICAL CONNECTIONS AND THE DUCT PORT. INSTALLING A BOX OR A POLYETHYLENE COVER WHICH IS SEALED TO THE AIR BARRIER AROUND THE BATHROOM FAN IS AN EFFECTIVE WAY TO DEAL WITH THIS ISSUE.
- 10 - POT LIGHTS**
 AIR LEAKAGE OCCURS BETWEEN THE HOUSING AND AIR BARRIER THROUGH THE FIXTURE HOUSING HOLES AND ITS ELECTRICAL CONNECTIONS. INSTALLING BOXES AROUND THE POT LIGHT WHICH ARE SEALED TO THE AIR BARRIER IS AN EFFECTIVE WAY TO DEAL WITH THIS ISSUE. OTHER OPTIONS ARE TO USE SPRAY FOAM INSULATION OR A SHAPED POLYETHYLENE COVER.
- 11 - WALL TO CEILING**
 ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.
- 12 - ELECTRICAL PENETRATIONS IN WALLS**
 ELECTRICAL PENETRATIONS IN WALLS INCLUDING ELECTRICAL OUTLETS WIRING SWITCHES AND RECESSED LIGHT FIXTURES THROUGH THE PLANE OF AIRTIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND INCLUDING ADEQUATE STRUCTURAL SUPPORT.

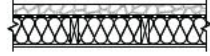
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PAGE TITLE	CONSTRUCTION ASSEMBLIES
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CLIENT / PROJECT	135 CPR 135 COUGAR POINT CANMORE AB
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WALLS

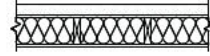
W1



WALL ASSEMBLY w/ CULTURED STONE

SIDING (EXT. FINISH) 1 1/2" (38.1mm) CULTURED STONE
BUILDING PAPER
3/8" (9.5mm) SPRUCE PLYWOOD SHEATHING
2x6 (38mm x 140mm) STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

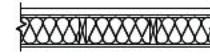
W2



WALL ASSEMBLY w/ STUCCO

SIDING (EXT. FINISH) 2" (50.8mm) STUCCO
BUILDING PAPER
3/8" (9.5mm) SPRUCE PLYWOOD SHEATHING
2x6 (38mm x 140mm) STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

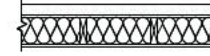
W3



WALL ASSEMBLY w/ CEMENT BOARD SIDING

SIDING (EXT. FINISH) 1/4" (6.4mm) CEMENT BOARD
BUILDING PAPER
3/8" (9.5mm) SPRUCE PLYWOOD SHEATHING
2x6 (38mm x 140mm) STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

W4



TALL WALL ASSEMBLY w/ STUCCO

SIDING (EXT. FINISH) 2" (50.8mm) STUCCO
BUILDING PAPER
3/8" (9.5mm) SPRUCE PLYWOOD SHEATHING
2x6 (38mm x 140mm) LVL STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

W5



GARAGE TO HOUSE WALL ASSEMBLY

5/8" (15.9mm) *TYPE X* DRYWALL
VAPOUR BARRIER 6 mil.
2x6 (38mm x 140mm) STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

W6



HOUSE CONNECTED TO UNCONDITIONED GARAGE WALL

SIDING (EXT. FINISH) 2" (50.8mm) STUCCO
BUILDING PAPER
3/8" (9.5mm) SPRUCE PLYWOOD SHEATHING
2x6 (38mm x 140mm) STUDS @ 16" o.c. (406mm)
R22 BLOWN FIBREGLASS INSULATION
VAPOUR BARRIER 6 mil.

WALLS

W7



TYPICAL INTERIOR WALL

1/2" 6.W.B.
2x4 (OR 2x6 WHERE NOTED) WOOD STUDS @ 24" O.C.
1/2" 6.W.B.
(USE MOISTURE RESISTANT 6.W.B. IN WASHROOMS)
PROVIDE SOUND ATTENUATION BATTS IN ALL BATHROOM MECHANICAL ROOM AND LAUNDRY ROOM WALLS.

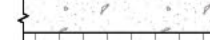
W8



2X6 PARTY WALL

5/8" TYPE X 6.W.B.
2X6 WOOD STUDS @ 24" O.C.
BIBS INSULATION
5/8" TYPE X 6.W.B.
(USE MOISTURE RESISTANT 6.W.B. IN WASHROOMS)

W9



CONC FROST WALL

8" 25MPa
R/W 2-10M (MIN) CONT. AT TOP & BOT.
24" X 8" CONC. FTG. (4'-0" BELOW GRADE)
R/W 3-10 (MIN) CONT.
2" RIGID INSULATION DOWN INSIDE FACE TO 2'-0" MIN. BELOW GRADE
INSTALL WEEPING TILE AROUND PERIMETER AS REQ'D BY GEO. ENG.

DECKS

D1



OVER GARAGE

WATERPROOF MEMBRANE
3/4" EXTERIOR GRADE PLYWOOD SHEATHING SLOPED 1/8" PER FT. TO DRAINS
JOIST AS PER FRAMING PLANS
R22 BLOWN FIBREGLASS INSULATION NO AIRSPACE
VAPOUR BARRIER 6 mil.
5/8" (15.9mm) *TYPE X* DRYWALL

D2

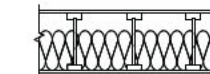


WATERPROOF MEMBRANE

3/4" EXTERIOR GRADE PLYWD SHEATHING
SLOPEC 1/8" PER FT.
JOISTS AS PER FRAMING PLANS
PREFINISHED METAL SOFFIT

FLOORS

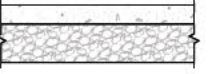
F1



FLOOR OVER GARAGE

FINISHED FLOORING
3/4" T&G OSB SUBFLOOR (GLUED & SCREWED)
VAPOUR BARRIER 6 mil.
TJI JOISTS AS PER FRAMING PLAN w/ INSULATED RIM BOARD AT EXTREMITIES
12" BIBS INSULATION BETWEEN JOISTS NO AIR SPACE
5/8" (15.9mm) *TYPE X* DRYWALL

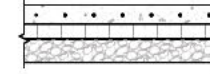
F2



GARAGE FLOOR SLAB

4" 32 MPa CONC. SLAB (SLOPE TO DRAIN)
r/w 6x6 / 10x10 W.W.M.
6" COMPACTED GRAVEL
SUITABLE UNDISTURBED SOIL OR ENGINEERED FILL

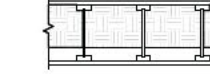
F3



HEATED FLOOR SLAB

4" 32 MPa CONC. SLAB
r/w 6x6 / 10x10 W.W.M. (CONFIRM WITH GEOTECHNICAL ENGINEER)
IN-SLAB HEATING TUBES
3" (R12 MIN) RIGID INSULATION
VAPOUR BARRIER 6 mil.
MIN. 4" COMPACTED GRAVEL
SUITABLE UNDISTURBED SOIL OR ENGINEERED FILL

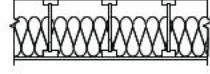
F4



CANTILEVERS

NON-VENTING PREFINISHED ALUMINUM SOFFIT WITH R28 BATT INSULATION
ENSURE MIN. 1" AIRSPACE ABOVE INSULATION
USE FOAMED-IN INSUL. AT RIM BOARD ATTACH INSUL PANEL UNDERNEATH TO ACHIEVE R34 TOTAL
ALL CANTILEVER WALLS CLOSER THAN 1.2m TO THE PROPERTY LINE SHALL BE WALL TYPE W1r

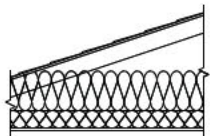
F5



FLOOR ASSEMBLY

FINISH FLOORING
3/4" T&G OSB SUBFLOOR (GLUED & SCREWED)
TJI JOISTS AS PER FRAMING PLAN w/ INSULATED RIM BOARD AT EXTREMITIES
1/2" 6.W.B. (HIGH DENSITY) (FINISHED AREAS ONLY)

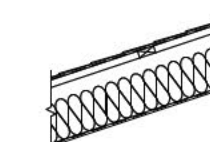
R1



CEILING BELOW ATTICS ASSEMBLY

30 YR. F6 SHINGLES CLASS 'B' FIRE RATING
1 LAYER ROOFING PAPER
MIN. 36" WIDE ICE & WATER SHIELD EAVE PROTECTION
7/16" PLYWOOD SHEATHING W/ H-CLIPS
TRUSSES / TJI'S AS PER FRAMING PLANS
ENSURE CONTINUOUS VENT SPACE TO EAVE AND ROOFTOP VENTS. WHERE EAVE VENTING NOT PERMITTED (SIDES WITHIN 2.4M OF PROPERTY LINE) TAKE ALTERNATE MEASURES TO PROVIDE ADEQUATE VENTING.
R-40 BATT (MIN) INSULATION
VAPOUR BARRIER 6 mil.
1/2" 6.W.B. (HIGH DENSITY)

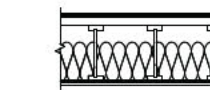
R2



CATHEDRAL CEILING ASSEMBLY

30 YR. F6 SHINGLES CLASS 'B' FIRE RATING
1 LAYER ROOFING PAPER
MIN. 36" WIDE ICE & WATER SHIELD EAVE PROTECTION
2X4 STRAPPING WITH 38mm AIR CAVITY
12" ENG'D WOOD TRUSS / TJI AS PER FRAMING PLANS
24" o.c. R30 BATT INSULATION
VAPOUR BARRIER 6 mil.
1/2" 6.W.B. (HIGH DENSITY)
CEDAR T&G PRE-FINISHED

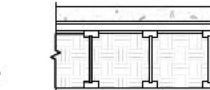
R3



FLAT ROOF ASSEMBLY

ROOFING WEATHERPROOF MEMBRANE
SHEATHING MEMBRANE #15 FELT
1/2" (12.7mm) FIR PLYWOOD ROOF SHEATHING
2x3" (38mm x 76mm) VENTED ROOF AIRSPACE (63.0mm)
12" (305mm) ENG'D WOOD I JOIST: SPRUCE/OSB 24" o/c
24" o.c. (610mm) R30 BATT INSULATION (241mm THICK)
VAPOUR BARRIER 6 mil.
1/2" (12.7mm) DRYWALL

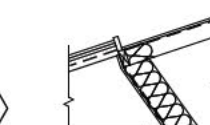
R4



BALCONY OVER CEILING ASSEMBLY

CONCRETE FLOOR SLAB 3" (76.2mm)
WATERPROOF MEMBRANE
5/8" (15.9mm) FIR PLYWOOD ROOF SHEATHING
VENTED AIRSPACE (63.0mm) ON 2X3 STRAPPING @ 16" o/c
12" (305mm) ENG'D WOOD I JOIST: SPRUCE/OSB 24" o/c
INSULATION - 11" THICK (279.4mm) MIN. SPRAY FOAM
VAPOUR BARRIER 6 mil.
1/2" (12.7mm) DRYWALL

R5



SKYLIGHT SHAFT ASSEMBLY

5/8" (15.9mm) DRYWALL
VAPOUR BARRIER 6 mil.
2x6 (38mm x 140mm) STUDS @ 24" o.c. (610mm)
R22 BLOWN FIBREGLASS INSULATION
STRAPPING
SHEATHING MEMBRANE 15# FELT (TO EXTERIOR OF VENTED ROOF AIR SPACE)
ROOFING ASPHALT SHINGLES

R6



ATTIC ACCESS HATCH

VENTED ROOF AIR SPACE
3" (76.2mm) XPS CAVITY INSULATION
3/4" (19mm) PLYWOOD

SHEET NO.

A 4.3

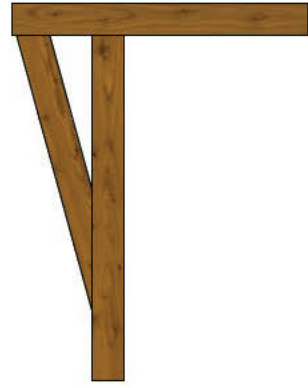
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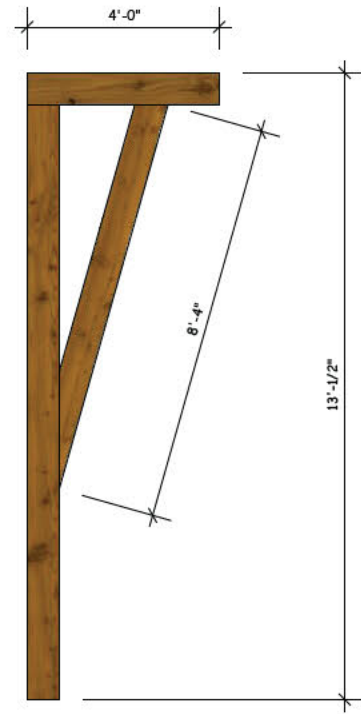
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T. BARTLETT	OCT 8 2021	T. BARTLETT
FILE NO.	IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.	

PAGE TITLE
CONSTRUCTION ASSEMBLIES
DO NOT SCALE THE DRAWINGS.

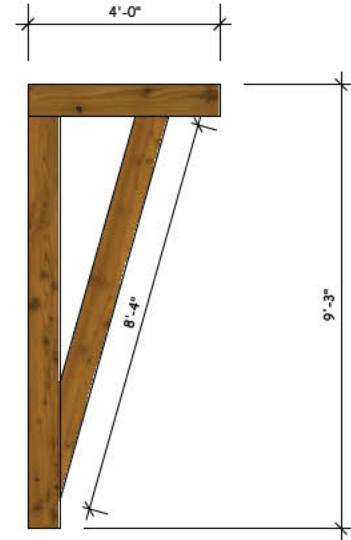
CLIENT / PROJECT
135 CPR
135 COUGAR POINT CANMORE AB



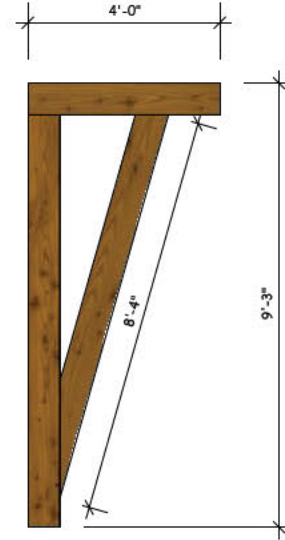
A :: FRONT POST & BEAM X1
A6.1 SCALE: 1/4" 1'-0"



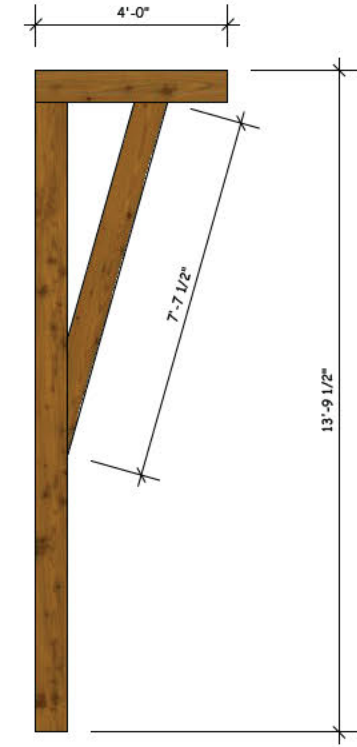
B :: FRONT KNEE BRACE X1
A6.1 SCALE: 1/4" 1'-0"



C :: FRONT KNEE BRACE X2
A6.1 SCALE: 1/4" 1'-0"



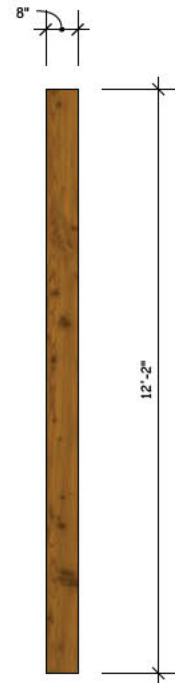
D :: REAR KNEE BRACE X2
A6.1 SCALE: 1/4" 1'-0"



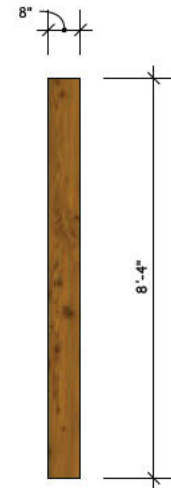
E :: REAR KNEE BRACE X2
A6.1 SCALE: 1/4" 1'-0"

ALL KNEE BRACE AND FRONT POST

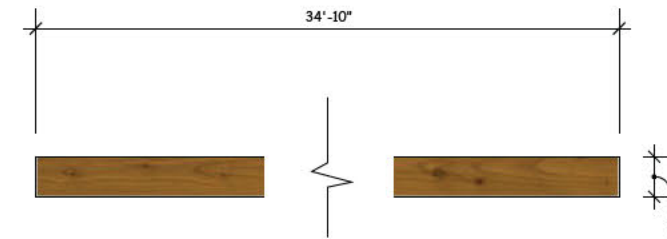
- 4" X 8" DOUGLAS FIR TIMBER
- EXTEND LENGTHS AND CUT ON SITE
- PRE-FINISH



F :: REAR DECK POST
A6.1 SCALE: 1/4" 1'-0"
- 8" X 8" DOUGLAS FIR TIMBER
- EXTEND LENGTHS AND CUT ON SITE
- PRE-FINISH



G :: REAR DECK POST
A6.1 SCALE: 1/4" 1'-0"
- 8" X 8" DOUGLAS FIR TIMBER
- EXTEND LENGTHS AND CUT ON SITE
- PRE-FINISH



H :: REAR DECK BEAM
A6.1 SCALE: 1/4" 1'-0"
- 8" X 10" DOUGLAS FIR TIMBER
- EXTEND LENGTHS AND CUT ON SITE
- PRE-FINISH

SHEET NO.
A 6.1

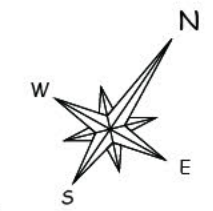
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OCT 8 2021			

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PAGE TITLE
TIMBER DETAILS
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT
CANMORE AB



SHEET NO. **A 7.1**

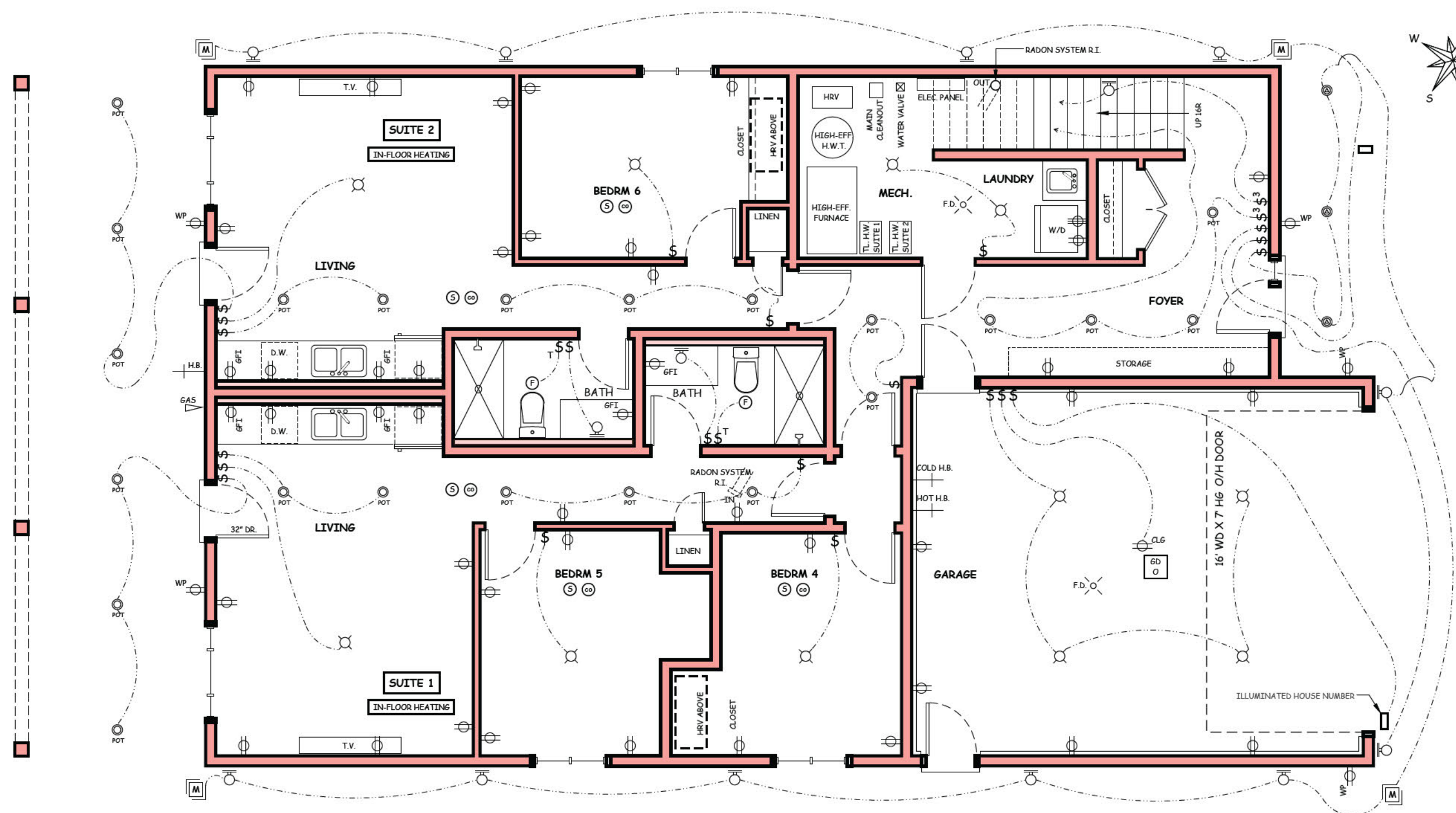
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FILE NO.	APPROVED

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.

PAGE TITLE
GROUND FLOOR ELECTRICAL PLAN
 DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
 135 COUGAR POINT ROAD
 CANMORE AB



1 :: GROUND FLOOR ELECTRICAL PLAN
A7.1 SCALE: 3/16" = 1'-0"
 TOTAL MAIN FLOOR 1230 sqft (not including mech. room or stairs)
 SUITE 1 565 sqft
 SUITE 2 425 sqft

NOTES:

OWNER & BUILDER TO CONFIRM LOCATIONS OF LIGHT AND OUTLETS ON-SITE.

BUILDER SHALL COORDINATE MECHANICAL LAYOUT WITH ELECTRICAL LAYOUT.

OWNER TO VERIFY PHONE CABLE INTERCOMS SECURITY VAV-FLOW ETC. WITH BUILDER

OWNER & BUILDER TO CONFIRM FINAL SELECTION OF ALL FIXTURES

SMOKE DETECTORS MUST BE HARD WIRED AND PROVIDED TO PROTECT EACH SEPARATE SLEEPING AREA

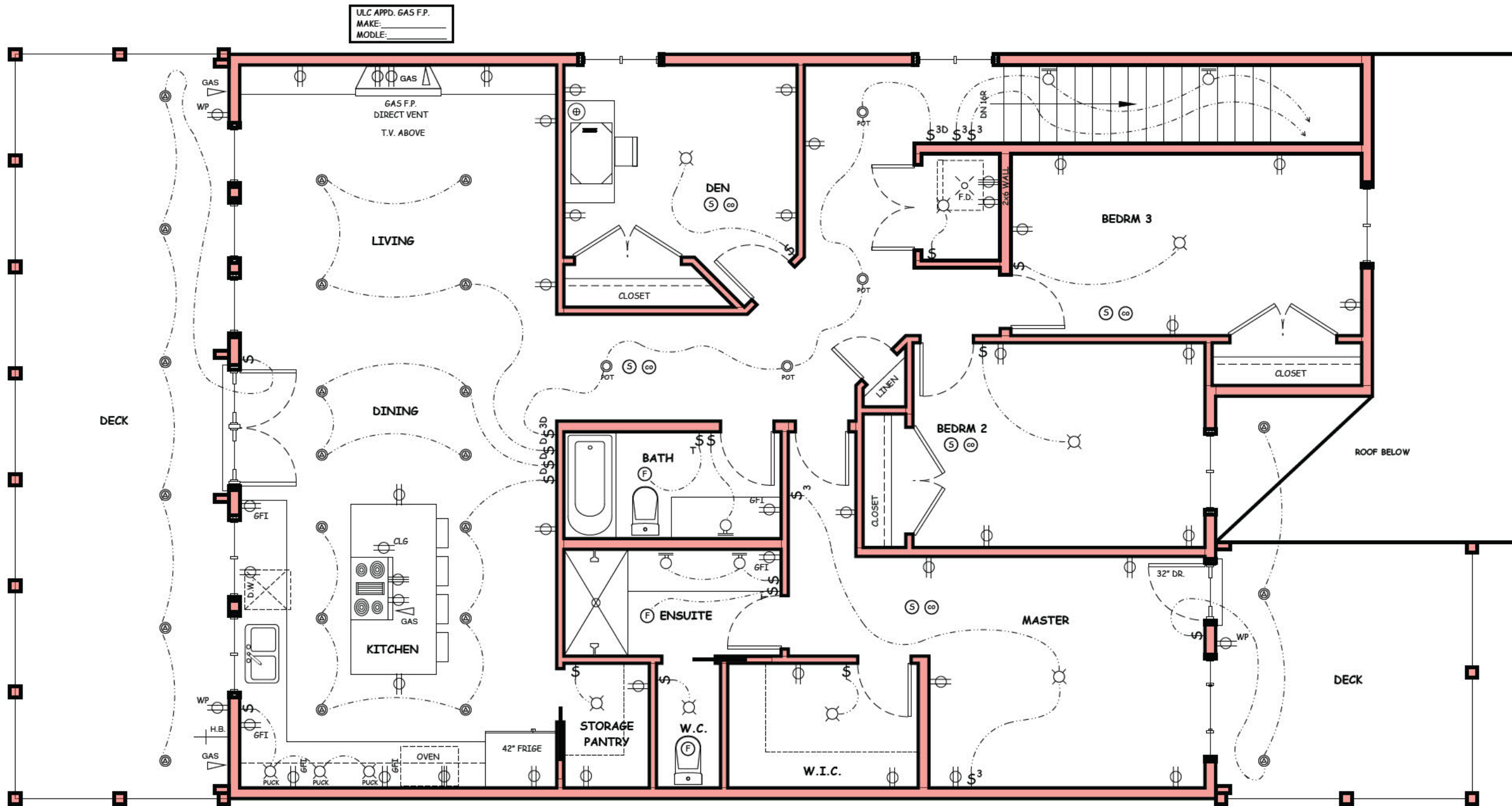
VAPOUR BOXES TO ALL EXTERIOR WALLS & ATTICS/CEILING

COPPER WIRING THROUGHOUT

PROVIDE OPTIONAL CLOSET LIGHTING C/W DOOR SWITCH

LUMINAIRE SCHEDULE

	CEILING MOUNTED LED LIGHT FIXTURE	\$	SINGLE POLE SWITCH		SMOKE DETECTOR HARD WIRED		DUPLEX RECEPTACLE (STANDARD DUPLEXES - TO BE PROVIDED AT INTERVALS THROUGHOUT HOUSE SPACED AS REQUIRED BY CODES AND REGULATIONS)		DUPLEX RECEPTACLE (FLOOR PLUG)
	WALL MOUNTED SCONCE FIXTURE	\$ _D	SINGLE POLE DIMMABLE SWITCH		CARBON MONOXIDE DETECTOR HARD WIRED		220 VOLT RECEPTACLE		CEILING MOUNTED ELECTRICAL OUTLET
	4" ROUND LED POT LIGHT	\$ _{DA}	DOOR ACTIVATED SWITCH		EXHAUST FAN (80 cfm)		RECEPTACLE (GROUND FAULT INTERCEPTOR)		HOSE BIB
	4" ADJUSTABLE LED POT LIGHT	\$ ₃	3 WAY ELECTRICAL SWITCH		GARAGE DOOR OPENER		DUPLEX RECEPTACLE (WEATHER PROOF)		GAS
	PENDANT LIGHT	\$ _{3D}	3 WAY ELECTRICAL DIMMABLE SWITCH		MOTION DETECTOR SENSOR		FLOOR DRAIN		
	PUCK LIGHT	\$ _T	TIMER ELECTRICAL SWITCH						



ULC APPD. GAS F.P.
MAKE:
MODEL:



SHEET NO.
A 7.2

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IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO BARTLETT DESIGNS.

PAGE TITLE
UPPER FLOOR ELECTRICAL PLAN
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
135 CPR
135 COUGAR POINT ROAD
CANMORE AB

1 :: UPPER FLOOR ELECTRICAL PLAN
A7.2 SCALE: 3/16" = 1'-0"
UPPER FLOOR 1566 sqft (not including stairs)

NOTES:

OWNER & BUILDER TO CONFIRM LOCATIONS OF LIGHT AND OUTLETS ON-SITE.

BUILDER SHALL COORDINATE MECHANICAL LAYOUT WITH ELECTRICAL LAYOUT.

OWNER TO VERIFY PHONE CABLE INTERCOMS SECURITY VAV-FLOW ETC. WITH BUILDER

OWNER & BUILDER TO CONFIRM FINAL SELECTION OF ALL FIXTURES

SMOKE DETECTORS MUST BE HARD WIRED AND PROVIDED TO PROTECT EACH SEPARATE SLEEPING AREA

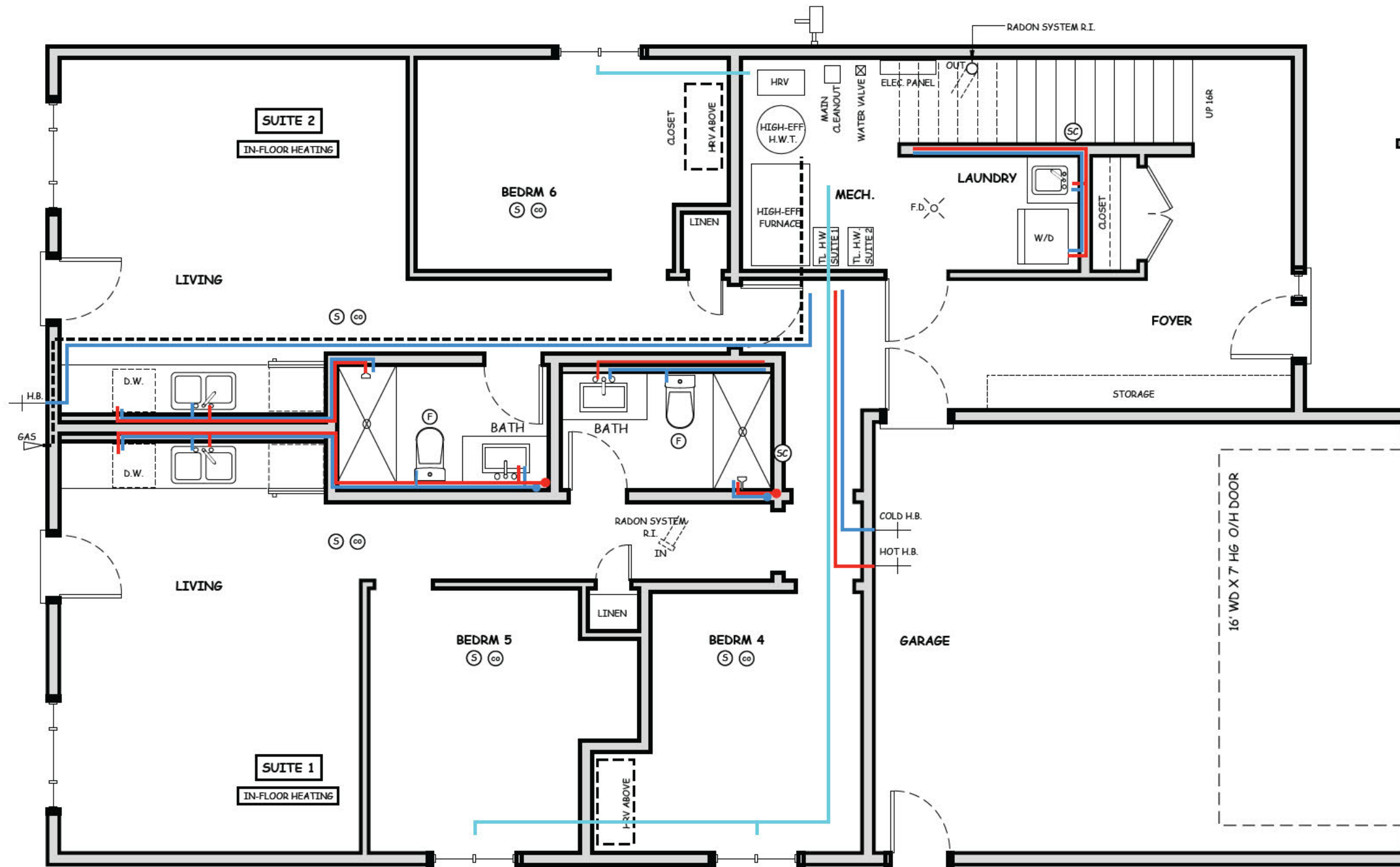
VAPOUR BOXES TO ALL EXTERIOR WALLS & ATTICS/CEILING

COPPER WIRING THROUGHOUT

PROVIDE OPTIONAL CLOSET LIGHTING C/W DOOR SWITCH

LUMINAIRE SCHEDULE

	CEILING MOUNTED LED LIGHT FIXTURE	\$	SINGLE POLE SWITCH		SMOKE DETECTOR HARD WIRED		DUPLEX RECEPTACLE (STANDARD DUPLEXES - TO BE PROVIDED AT INTERVALS THROUGHOUT HOUSE SPACED AS REQUIRED BY CODES AND REGULATIONS)		DUPLEX RECEPTACLE (FLOOR PLUG)
	WALL MOUNTED SCONCE FIXTURE	\$ _D	SINGLE POLE DIMMABLE SWITCH		CARBON MONOXIDE DETECTOR HARD WIRED		220 VOLT RECEPTACLE		CEILING MOUNTED ELECTRICAL OUTLET
	4" ROUND LED POT LIGHT	\$ _{DA}	DOOR ACTIVATED SWITCH		EXHAUST FAN (80 cfm)		GFI RECEPTACLE (GROUND FAULT INTERCEPTOR)		HOSE BIB
	4" ADJUSTABLE LED POT LIGHT	\$ ₃	3 WAY ELECTRICAL SWITCH		GARAGE DOOR OPENER		DUPLEX RECEPTACLE (WEATHER PROOF)		GAS
	PENDANT LIGHT	\$ _{3D}	3 WAY ELECTRICAL DIMMABLE SWITCH		MOTION DETECTOR SENSOR		FLOOR DRAIN		
	PUCK LIGHT	\$ _T	TIMER ELECTRICAL SWITCH						



1 :: GROUND FLOOR PLUMBING PLAN
A8.1 SCALE: 3/16" = 1'-0"
 TOTAL MAIN FLOOR 1230 sqft (not including mech. room or stairs)
 SUITE 1 565 sqft
 SUITE 2 425 sqft

PLUMBING SCHEDULE

	HOSE BIB		SPRINKLER WATER LINE
	GAS		HOT WATER
	FLOOR DRAIN		COLD WATER
	SEWER CLEANOUT		NATURAL GAS LINE
	NATURAL GAS METER		GAS LINE

NOTES:

ENTIRE PLUMBING SYSTEM IS A "DESIGN-BUILD" SYSTEM. THESE DOCUMENTS ARE FOR BASIC SCOPE AND COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATION SYSTEM PRIOR TO CONSTRUCTION WITH SPECIFIC CONSIDERATION OF OTHER SYSTEMS INCLUDING BUT NOT LIMITED TO: STRUCTURAL MECHANICAL ELECTRICAL AND ARCHITECTURAL FINISHES.

SHEET NO. **A 8.1**

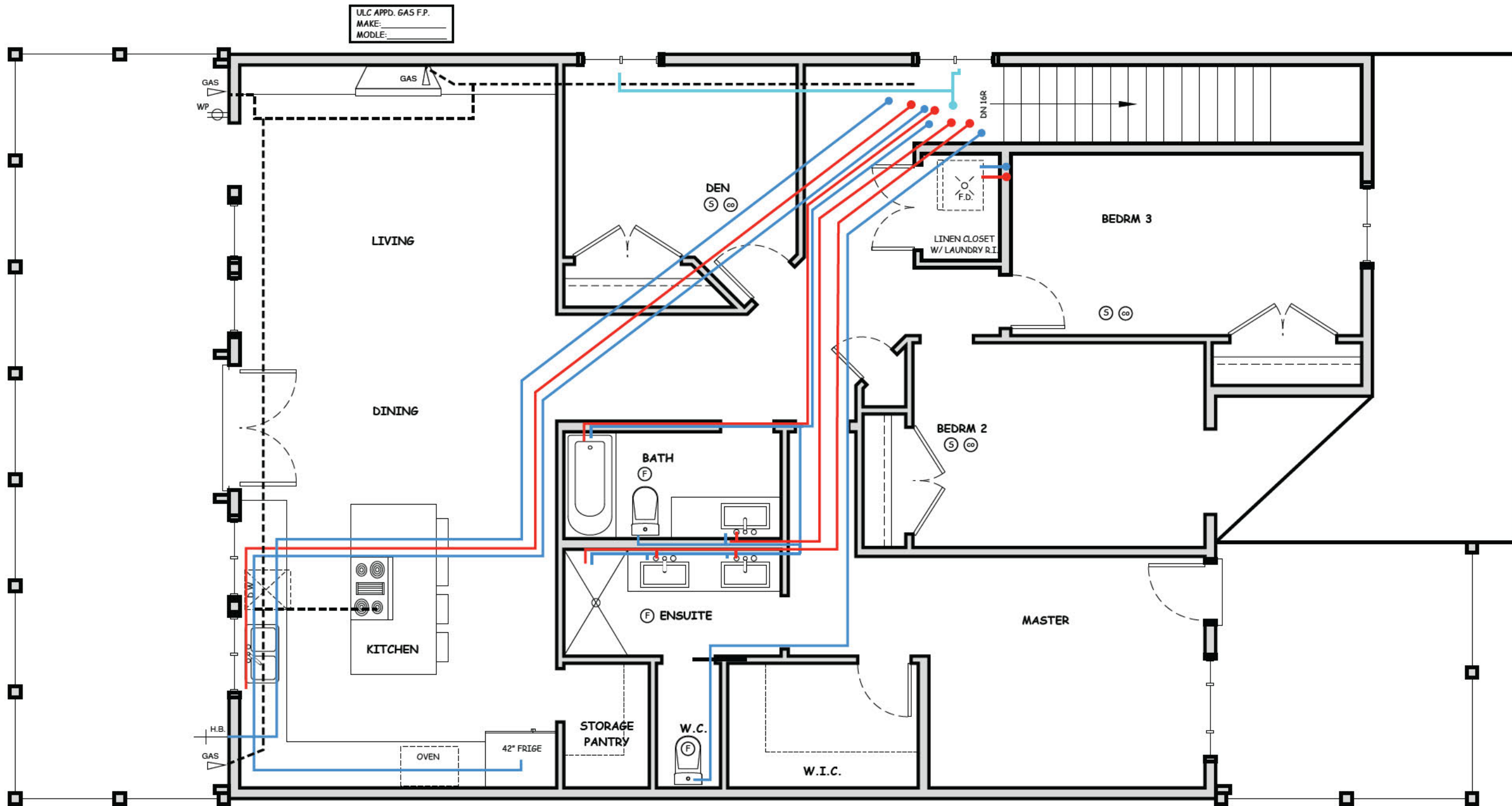
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DATE OCT 8 2021		APPROVED
FILE NO.		

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DETAILS AND DIMENSIONS AND TO REPORT ANY DISCREPANCIES TO THE BARTLETT DESIGNS.

PAGE TITLE
GROUND FLOOR PLUMBING PLAN
 DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
COUGAR CREEK
 135 COUGAR POINT
 CANMORE AB



ULC APPD. GAS F.P.
MAKE:
MODEL:

1 :: UPPER FLOOR PLUMBING PLAN
A8.2 SCALE: 3/16" 1'-0"
UPPER FLOOR 1566 sqft (not including stairs)

PLUMBING SCHEDULE

	HOSE BIB		SPRINKLER WATER LINE
	GAS		HOT WATER
	FLOOR DRAIN		COLD WATER
	SEWER CLEANOUT		NATURAL GAS LINE
	NATURAL GAS METER		GAS LINE

NOTES:
ENTIRE PLUMBING SYSTEM IS A "DESIGN-BUILD" SYSTEM. THESE DOCUMENTS ARE FOR BASIC SCOPE AND COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATION SYSTEM PRIOR TO CONSTRUCTION WITH SPECIFIC CONSIDERATION OF OTHER SYSTEMS INCLUDING BUT NOT LIMITED TO: STRUCTURAL MECHANICAL ELECTRICAL AND ARCHITECTURAL FINISHES.

SHEET NO.
A 8.2

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PAGE TITLE
UPPER FLOOR PLUMBING PLAN
DO NOT SCALE THE DRAWINGS.

CLIENT / PROJECT
COUGAR CREEK
135 COUGAR POINT
CANMORE AB