

Agenda
Canmore Planning Commission
Canmore Civic Centre – Council Chambers
Wednesday, October 26, 2022 at 2:00 p.m.

- A. Call to Order
- B. Approval of Minutes of the May 25, 2022 meeting
- C. Development Permit Application:
 - PL20220288**
 - 1315 Spring Creek Gate**
 - Development Permit amendment to PL20200433**
 - Variance to Visitor Parking**
- D. Other Planning Business
 - None
- E. Next Scheduled Meeting
 - November 30, 2022
- F. Adjourn



**TOWN OF CANMORE
MINUTES
Canmore Planning Commission
Teleconference via Zoom
Wednesday, May 25, 2022 at 2:00 p.m.**

MEMBERS PRESENT

Jeff Roberts	Public Representative
Florian Jungen	Public Representative
Cheryl Walker	Public Representative
Shawn Kennedy	Public Representative
Tanya Foubert	Councillor

MEMBERS ABSENT

None

ADMINISTRATION PRESENT

Lauren Miller	Planning & Development Manager
Nathan Grivell	Development Planner
Claire Ellick	Transportation Engineer
Jolene Noël	Meeting Administrator
Katy Bravo-Stewart	Secretary (Recorder)

CALL TO ORDER

The Chair J. Roberts called the Wednesday, May 25, 2022 regular meeting to order at 2:03 p.m.

ADOPTION OF AGENDA

Chair J. Roberts moved that the Agenda of the Canmore Planning Commission meeting of May 25, 2022 be adopted.

**MOTION CARRIED
UNANIMOUSLY
2:07 P.M.**

ADOPTION OF MINUTES

Chair J. Roberts moved that the adoption of the February 23, 2022 minutes of the Canmore Planning Commission meeting be approved as presented.

**MOTION CARRIED
UNANIMOUSLY
2:05 P.M.**

DEVELOPMENT PERMIT APPLICATION

E. Development Permit Applications:

1) PL20210301

121 Bow Meadows Crescent

Lot 8, Block 7, Plan 951 2298

Mixed-use Development: Employee Housing (12 Units), Warehouse (6 Units), Contractor Service and Repair (4 Units) and Light Manufacturing (2 Units).

Variances for Employee Housing Requirements, On-site Amenity Requirements, and Off-site

Minutes approved by: _____

Pedestrian Pathway Requirements

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented a visual and verbal presentation of the application.

RECESS

Chair J. Roberts moved that the Commission go into Recess until 2:45pm

**MOTION CARRIED
2:40pm**

APPLICATION QUESTIONS FROM THE BOARD

Administration answered questions from the Commission.

QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON

The Applicant spoke to the application and answered any questions from the Commission.

QUESTIONS/COMMENTS FROM THE PUBLIC.

The Secretary K. Bravo Stewart stated that two letters of support were received after the Agenda Package had to be sent to Commission Members. These letters were accepted as new information for today's meeting.

CLOSING REMARKS FROM ADMINISTRATION

Administration provided closing remarks to the Commission.

DECISION

Chair J. Roberts moved that application PL2021 0301 be **APPROVED** with the conditions attached in the Schedule A.

**MOTION CARRIED
In Favour: Roberts, Foubert, Walker, Kennedy
Opposed: Jungen
5:08 P.M.**

OTHER PLANNING BUSINESS

None.

NEXT SCHEDULED MEETING

June 29, 2022

ADJOURNMENT

Chair J. Roberts moved that the meeting be adjourned.

**MOTION CARRIED
5:10 P.M.**

Minutes approved by: _____

Jeff Roberts, CPC Chair

Jolene Noël, Secretary

Minutes approved by: _____

SCHEDULE A – PUBLIC SUBMISSION OF THE FEBRUARY 23, 2022, MEETING MINUTES

From: Aaron Beardmore [FOIP]
Sent: Tuesday, February 22, 2022 2:43 PM
To: Riley Welden
Subject: Re: 1330-1342 DP - CPC Agenda Link

Hi Riley,

I am a home owner and resident of 1st Avenue.

Could you please forward this to the planning commission. I don't think I will be able to attend the meeting.

Please correct me if I am wrong, but my quick math is as follows for the development on 1st Avenue:

13 townhome units with 14 parking stalls.

6 Common amenity units (five bedrooms each) and 12 parking stalls.

So a total of 26 parking stalls for the whole complex.

While I completely understand the town of canmore's idea to promote cycling as a sustainable practice I do wonder about what actually will happen if less parking is available with the belief that people will ride bikes instead.

Common amenity units are effectively staff housing, so groups of people will be living together that are not family. This tells me most individuals living in the complex will have a vehicle. With 30 bedrooms it is possible that each person could have a car or conservatively 25 cars. Then add in 13 other regular town home units, which often are two car households conservatively this would be 18 cars.

So the quick math is 26 parking stalls and +/- 43 cars. Which equates to 17 ish cars that will need to park somewhere.

So my question is, does the town of canmore accept that there will be more cars than parking stalls with this development unit? And if so, is there any plan for this?

While I support the idea of different modes of transportation to reduce the use of cars and carbon footprint etc, I think we are kidding ourselves if we think this idea equates to adequate parking in the teepee town area. I'm sure there is a number or fact out there somewhere, but I'd guess that over 75% of adult individuals own a car in Canmore. Please correct me if a fact like this exists, but I think this is a reasonable guess.

One last thing, I'm sure the area can absorb in one way or another these additional cars that inevitably will be present when the development is complete. But, my worry is the cumulative effect years down the road when the scales tip and residents have no place to park their cars. (Mine might be electric very soon!)

Thank you for considering my concern.

Minutes approved by: _____

Respectfully,
Aaron Beardmore

On Tue, 22 Feb 2022 at 12:19, Riley Welden <riley.welden@canmore.ca> wrote:

Hi Aaron, thanks for the call today. Below is a link to the February 23 CPC Agenda Package that contains the drawings and other information regarding the development permit application for 1330-1342 1st Avenue. Please note the agenda item starts on page 38. Please let me know if you have any trouble opening/viewing it or would like to discuss anything to do with the application. If you would like to submit comments related to this application for CPC consideration be send them to either myself at this email or to the CPC Secretary, Katy Bravo-Stewart at:

katy.bravostewart@canmore.ca

Also, after review the drawings etc. Please feel free to give me a call if you would like to discuss further or have any additional questions.

Thanks Aaron,

Riley

[Town of Canmore - CPC Agendas & Board Orders](#)

Riley Welden, RPP

Development Planner

Town of Canmore

587.315.7576

Riley.Welden@canmore.ca

(Him/He)

Minutes approved by: _____

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	OCTOBER 26, 2022
PROPOSED DEVELOPMENT:	VARIANCE REQUEST TO VISITOR PARKING
APPLICATION NUMBER:	PL20220288
LEGAL DESCRIPTION:	LOT22, BLOCK 6, PLAN 2211192
CIVIC ADDRESS:	1315 SPRING CREEK GATE
CURRENT USE(S):	MIXED USE (RESIDENTIAL AND COMMERCIAL)
APPLICANT:	SPRING CREEK MOUNTAIN VILLAGE
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: I. SECTION 2 GENERAL REGULATIONS

EXECUTIVE SUMMARY

This application proposes an amendment to Development Permit PL20200433 (Arnica Lodge) to reduce the required on-site visitor parking stalls by two stalls. The need for this amendment is the result of the applicant utilizing too much tandem parking in their parkade. They have discovered that they are unable to provide each residential unit with a vehicle parking stall without a reduction to their visitor parking. As a result of the social and environmental benefits of this development, the variance will have minimal impacts on surrounding developments, and no feedback was received from the public, Administration recommends approval of PL20220288, subject to the conditions included within Schedule A.

BACKGROUND

Arnica Lodge was approved by the Canmore Planning Commission on February 24, 2021. The staff report provided to the Commission is attached to this report (Attachment 4).

EXISTING SITE

The subject site is located within the SCMV-CR District. The purpose of this district is to provide for the development of a comprehensively designed, predominantly residential, pedestrian urban neighbourhood that accommodates a variety of residential dwelling types and mixed-use buildings with a high standard of appearance and landscaping.

The construction of Arnica Lodge is near completion (Attachment 1).

BYLAW CONFORMANCE/VARIANCE DISCUSSION

Arnica Lodge was required to provide a total of 85 parking stalls (69 stalls for the residential units, 9 stalls for the commercial uses, and 7 stalls for visitors of the residential units) for the entire development. The developer provided 92 parking stalls (76 stalls for the residential units, 9 stalls for commercial, and 7 stalls for visitors), complying with the requirements of the LUB.

However, the developer has realized that due to their heavy use of tandem parking, each unit has not been allocated at least one parking stall. Although there is no requirement in the Land Use Bylaw for each unit to be allocated a stall, this is the developer's preference.

In order to accomplish this, the developer had to reassign all of the visitor parking stalls (7 stalls) located in the parkade to the residential units. The design of the parkade does not provide any opportunity for creating additional parking stalls. However, the developer has made other changes to create five visitor parking stalls:

- Two stalls were created by relocating the barrier free parking stalls from the parkade to Spring Creek Gate, in front of the building. Street parking in Spring Creek counts towards the commercial parking requirements, and the barrier free parking stalls are related to commercial parking. Please note, barrier free parking is not mandatory for residential development under the Alberta Building Code.
- Two stalls were created due to reductions in commercial parking requirements:
 - A parking stall was provided for the commercial area of the live-work unit. A recent clarification (unrelated to this application) determined this is not technically required, as the SCMV-CR District specifies that Live-Work units are considered residential units and parking has been provided for the residential component of this unit.
 - The floor area of the daycare was reduced at the detailed design stage, and, in conjunction with the LUB directing that that required parking be rounded down, this results in one less parking stall required for this use.
- An additional parking stall was added to the Mews Street for visitor parking.

The development is still deficient two visitor parking stalls, requiring a variance to Section 2.7.7.1. Administration supports the variance. In its opinion, the variance will not unduly interfere with the amenities of the area or materially interfere with, or affect the use, enjoyment, safety, aesthetics, or value of neighbouring properties, or unreasonably impact adjacent development, as the variance is small in quantity. Public parking is incorporated all along Spring Creek Drive and Spring Creek Gate. Two parking stalls can be absorbed by the parking capacity of these roads. Furthermore, the development provides a community benefit as detailed in the next section of this report, and no comments were received by the public.

SUSTAINABILITY SCREENING REPORT (SSR)

The applicant's Sustainability Screening Report score for Arnica Lodge was approximately 38, suggesting that the development will have a positive impact on the community. The development's significant off-sets include a private day care facility, which provides a social benefit to the community and a commitment to achieve 32.4% energy savings relative to NECB, which provides an environmental benefit.

SUBMITTED COMMENTS

A Notice of Application was posted on Spring Creek Drive for ten days. At the time of writing this report, no comments have been received on this application.

OPTIONS FOR CONSIDERATION

Should the Canmore Planning Commission not approve the variance, the development will have two dwelling units without on-site parking. However, Spring Creek is located near the downtown and steps from the high-quality pedestrian and cycling network, so it's possible to live without a car. That said, should the landowners be from out of town, they will likely utilize the public parking near the development anyways.

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

Planning recommends that the Canmore Planning Commission **APPROVE** PL20220288, subject to the conditions of approval set out in Schedule A (Attachment 2).

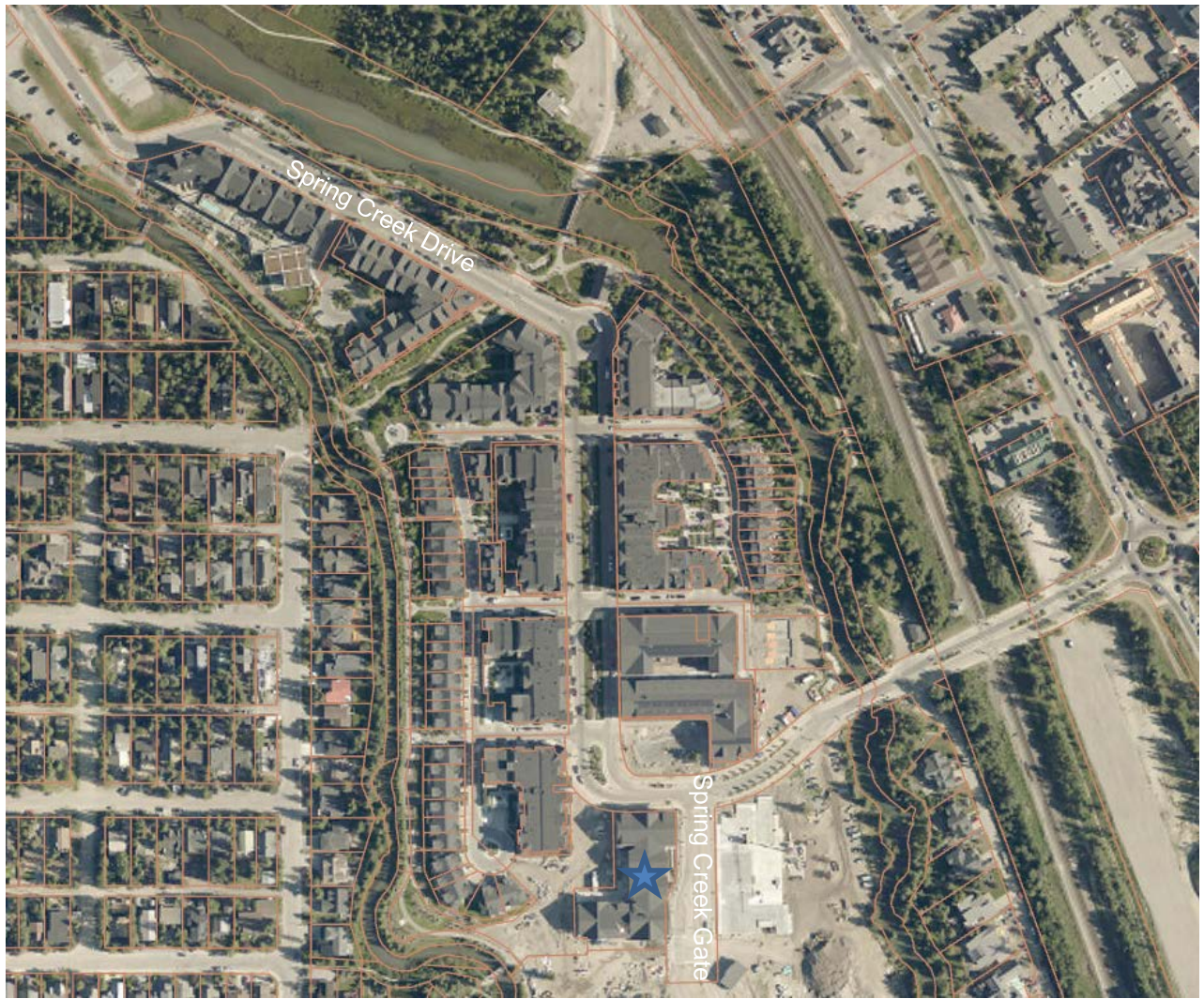
ATTACHMENTS:

1. Site Context
2. Schedule A – Conditions of Approval
3. Submitted Plans
4. February 24, 2021 Staff Report



Nathan Grivell
Development Planner

ATTACHMENT I – SITE CONTEXT



★ Subject Site

SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20220288

LAND USE DISTRICT: SCMV-CR DISTRICT

APPROVED USE(S): AMENDMENT TO PL20200433
(TO MINIMUM VISITOR PARKING)

APPROVED VARIANCE(S): MINIMUM VISITOR PARKING

LEGAL ADDRESS: LOT22, BLOCK 6, PLAN 2211192

APPROVED VARIANCES

1. To Section 2.7.7.1 to allow for a minimum of five visitor parking stalls instead of the required seven visitor parking stalls.

STANDARD CONDITIONS:

1. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
2. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements as outlined in the Engineering Design and Construction Guidelines (EDCG).
3. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw and ensure all tree protection measure are appropriately put in place prior to the development of the site, where determined necessary by the Town of Canmore Parks Department.
4. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
5. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
6. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Emergency Services.
7. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

SPECIFIC CONDITIONS:

1. All Conditions of Approval for PL20200433 shall remain in effect.



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1
www.canmore.ca

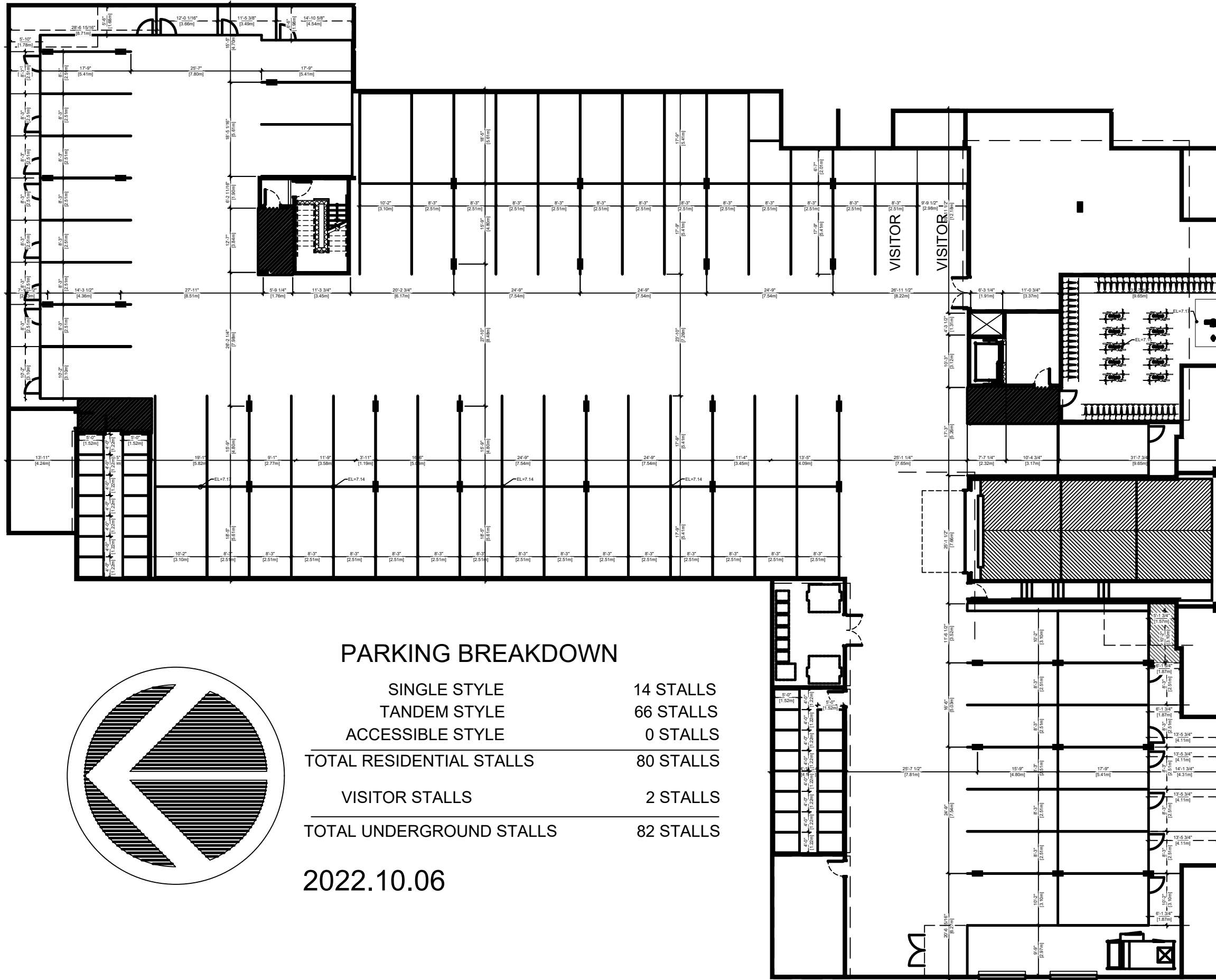
2. Any vehicle parking stalls that do not meet the minimum dimensions outlined in the Engineering Design and Construction Guidelines, shall be signed as 'Small Car Only', or an acceptable equivalent, all to the satisfaction of the Transportation Engineer.
3. Prior to the release of the Development Permit, the developer shall provide a Street Signage Plan to the satisfaction of the Transportation Engineer.

Signature
Chair, Canmore Planning Commission

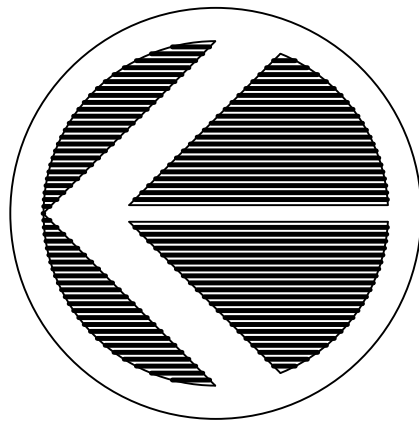
Date

IS A NOTICE POSTING REQUIRED: **YES** **NO**

ATTACHMENT 3 - SUBMITTED PLANS

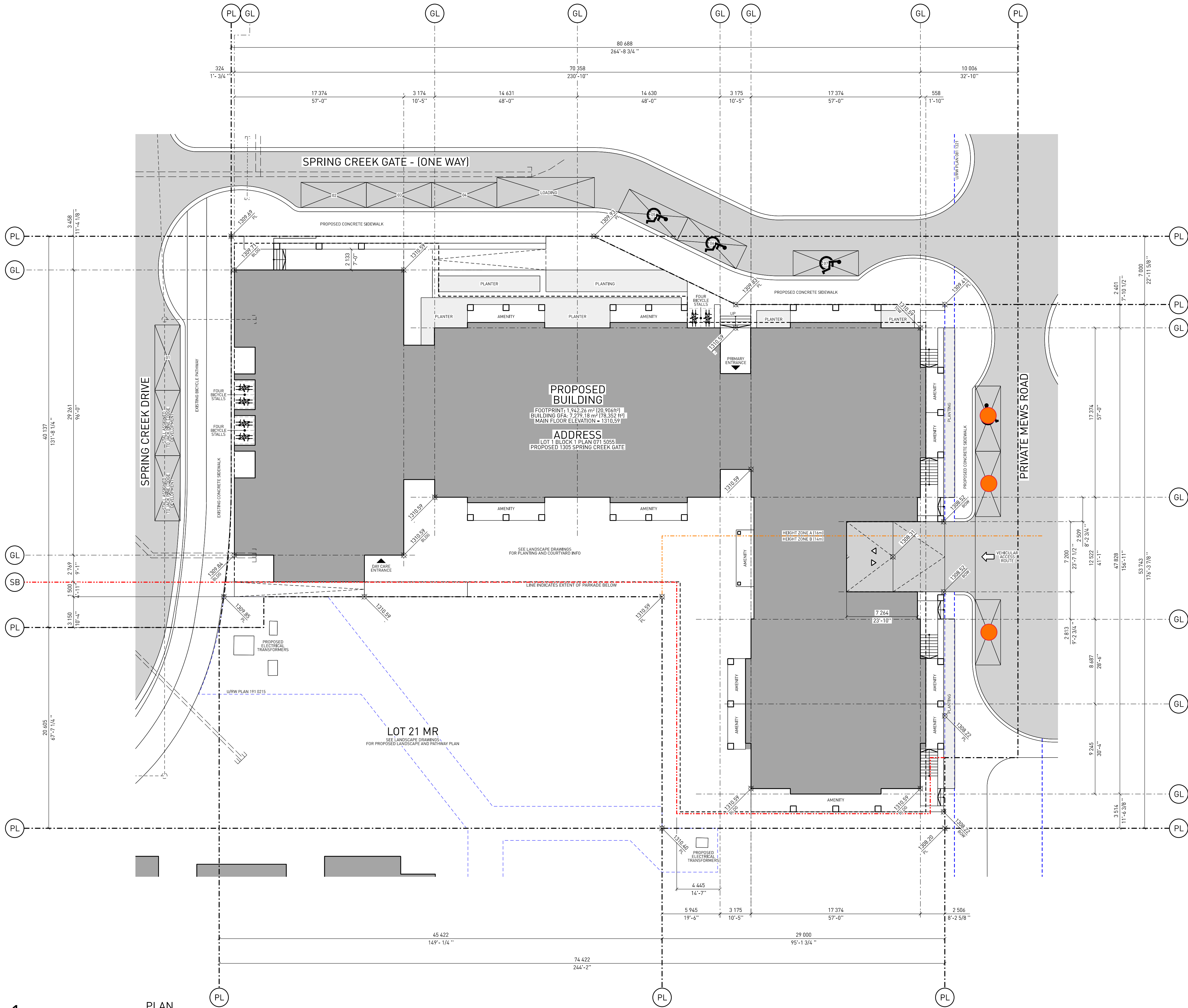


PARKING BREAKDOWN



SINGLE STYLE	14 STALLS
TANDEM STYLE	66 STALLS
ACCESSIBLE STYLE	0 STALLS
TOTAL RESIDENTIAL STALLS	80 STALLS
VISITOR STALLS	2 STALLS
TOTAL UNDERGROUND STALLS	82 STALLS

2022.10.06



1. PLAN
SCALE: AS NOTED



REVISION	DATE	PURPOSE
00	2020-12-09	ISSUED FOR DEVELOPMENT PERMIT
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS

136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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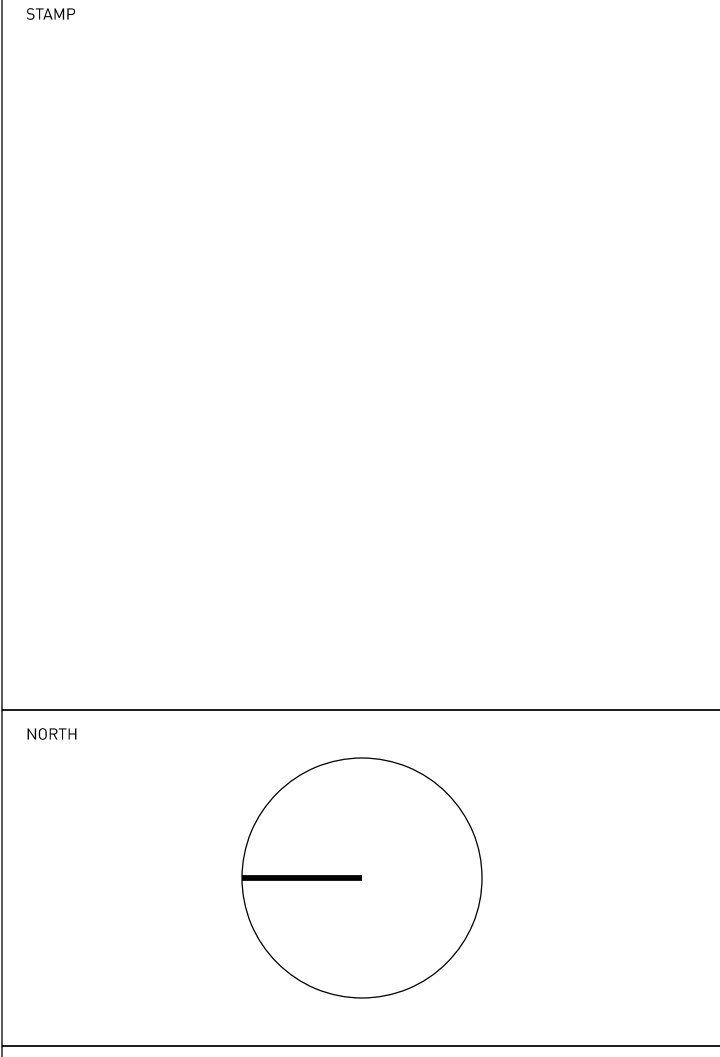
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DRAWING PURPOSE
FOR INFORMATION ONLY

DRAWN BY HA	CHECKED BY RC	AUTHORIZED BY JH
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DRAWING TITLE
SITE PLAN PROPOSED

DRAWING
A-3050-FD-200

DRAWING DATE 2022-09-14	SCALE @ ANSI D 1:200
REVISION DATE -	REVISION -

● VISITOR PARKING

ATTACHMENT 4 - PL20200433 STAFF REPORT



CANMORE PLANNING COMMISSION

STAFF REPORT

DATE: FEBRUARY 24, 2021

PROPOSAL: **ARNICA LODGE - MIXED USE DEVELOPMENT**

- APARTMENT UNITS (46 UNITS)
 - VITAL HOUSING (6 UNITS)
- LIVE/WORK STUDIO (1 UNIT)
- DAY CARE FACILITIES (1 UNIT)

APPLICATION: PL20200433

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 071 5055

CIVIC ADDRESS: 1315 SPRING CREEK GATE

CURRENT APPROVED USE(S): VACANT

APPLICANT/OWNER: SPRING CREEK MOUNTAIN VILLAGE

REFERENCED PLANNING DOCUMENTS: LAND USE BYLAW 2018-22:

- SECTION 14.27 SPRING CREEK MOUNTAIN VILLAGE COMPREHENSIVE RESIDENTIAL DC DISTRICT
- SECTION 2.0 GENERAL REGULATIONS



EXECUTIVE SUMMARY:

This application proposes one mixed use building containing 46 Apartment Units, a Live/Work Studio, and a Day Care Facility located at 1315 Spring Creek Gate and within the Spring Creek Mountain Village Comprehensive Residential Direct Control District [22(Z)2009] (SCMV-CR). The proposed development requires four variances to the regulations of the Land Use Bylaw 2018-22.

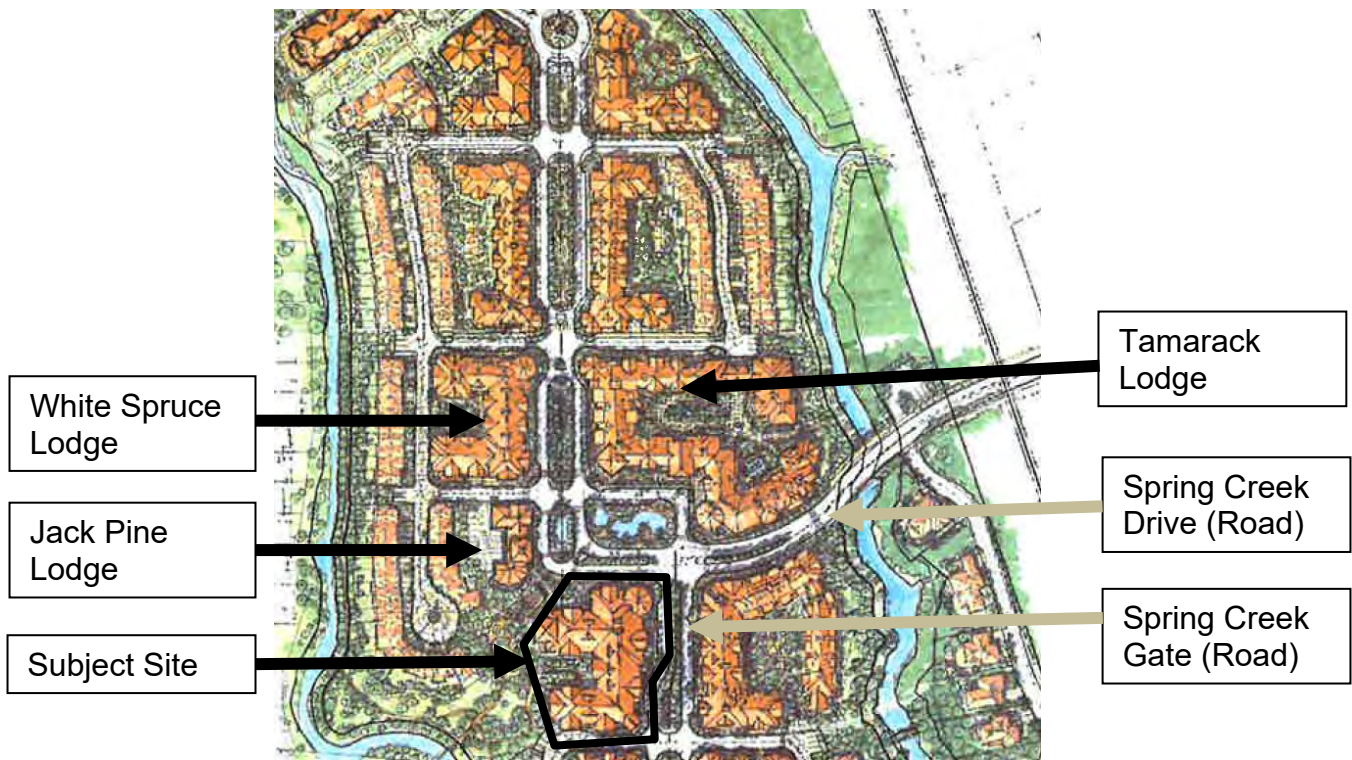
As Spring Creek developments must be in accordance with the Spring Creek Mountain Village Area Redevelopment Plan (ARP), they may or may not be forwarded to CPC for a decision. However, developments that are likely to generate significant public interest, such as hotels, commercial, industrial and multi-unit residential developments are typically referred to the Canmore Planning Commission (CPC) for a decision.

Administration recommends approval of PL20200433, subject to the conditions included within Schedule A.

BACKGROUND:

The subject site is within, and governed by, the ARP. The Development complies with the requirements of the ARP. The ARP envisioned this site, next to the future public plaza, as part of the commercial focal point of the village.

The ARP’s example conceptual plan for the area is as follows:



The site was previously used for residential use as part of the mobile home park. The mobile homes were removed from the site in preparation for future development in accordance with the ARP.

EXISTING SITE

Adjacent to the site are a variety of uses and features, including:

- Tourist homes (Tamarack Lodge - under construction) to the north;
- Vacant land, and Policeman's Creek to the east;
- Apartment units (Jack Pine Lodge) and townhomes to the west; and
- Mobile homes to the south.



Figure 1 - View of the Parcel Looking South along Spring Creek Drive

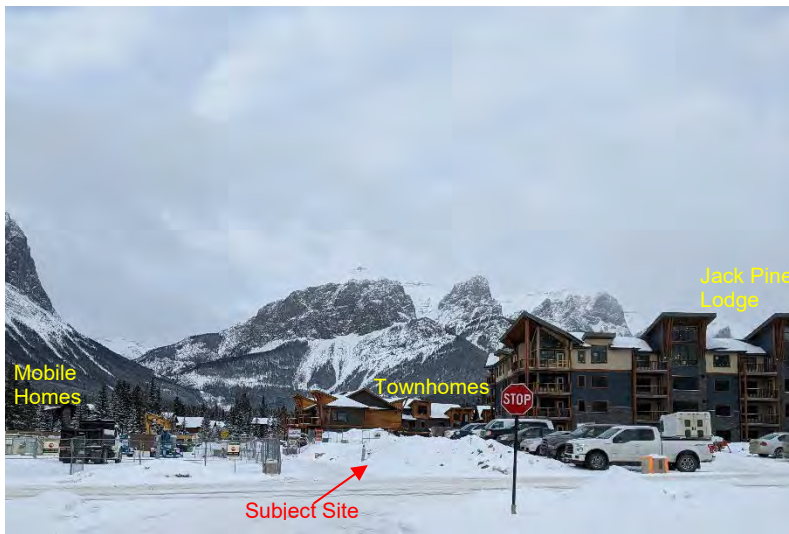


Figure 2 - View of the Parcel Looking West Across Spring Creek Gate

LAND USE

The subject site is located within the SCMV-CR District. The purpose of this district is to provide for the development of a comprehensively designed, predominantly residential, pedestrian urban neighbourhood that accommodates a variety of residential dwelling types and mixed use buildings with a high standard of appearance and landscaping.

Apartment is a permitted use, while Live/Work Studio and Day Care Facilities are discretionary uses within the SCMV-CR District.

BYLAW CONFORMANCE/VARIANCE DISCUSSION

The proposed development does not fully conform to the Land Use Bylaw. The application as proposed requires four variances. These include variances to maximum building height, build-to-line setbacks, open block space, and eave projection.

1. Building Height

SCMV has different building height zones. The ARP envisioned the tallest buildings, or portions of buildings, next to Spring Creek Drive and Spring Creek Gate, and then a gradual decrease in building height and number of storeys as the development moves east or west to Spring or Policeman’s Creek.

The development complies with the requirements for the maximum number of storeys, however, the building requires a height variance in Zones “A” and “B”. The size of the height variance is influenced partially by the parkade, which is set for flood protection, and pushes the building higher.

The District (Section 14.27.4.9) allows for the development authority to grant variances to the roof heights within these zones when the architectural integrity of a building would be enhanced. The allowable variances are as follows:

Height Zones A, B and C: 20 percent of the building may exceed the maximum height by up to 10 percent and 5 percent of the building may exceed the maximum height by up to 20 percent.

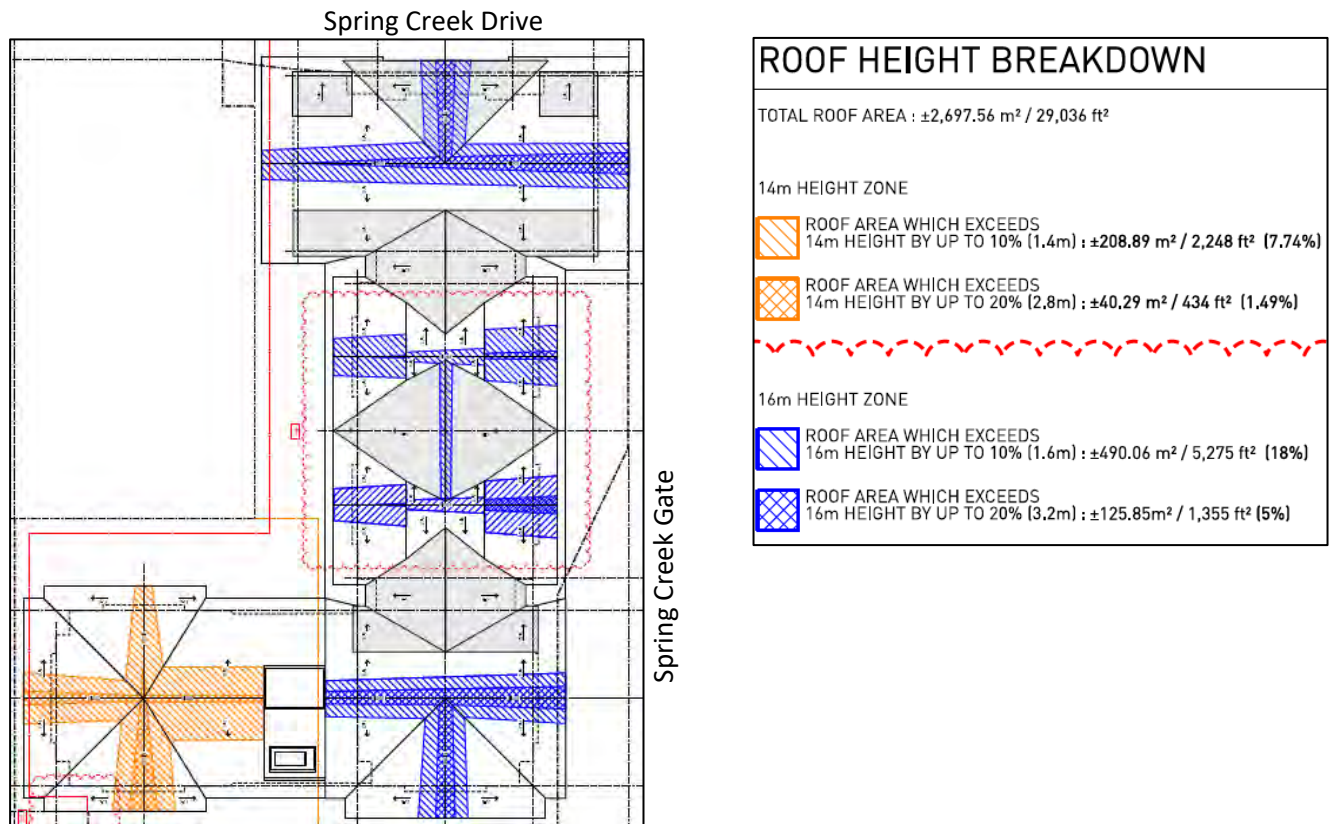


Figure 3 – Roof Height Breakdown

The building is within these variance allowances. Administration believes that the architectural integrity of the building is enhanced through the design of the roof. For example, the proposed roof is fully pitched, also referred to as a “working roof” and not cut off and flat in the central portions as seen in other SCMV projects (i.e. Origins at Spring Creek) and other developments in Canmore (i.e. Super 8, Canadian Tire, Best Western). A “working roof” is visually superior to a cut off roof, as it appears natural and the mass of the building is perceived as lower.

Further rationale to support this height variance request includes that the roof has a cascade of pitches which break up the massing, and that the design of the roof and the added height will not negatively impact the future public plaza in front of Tamarack Lodge as shown in the shadow analysis (Attachment 3).



Figure 4 – Renderings of project (clockwise from top left: looking north-east, looking south-east, looking south-west, and north-west)

The SCMV-CR District requires that buildings have a minimum roof pitch of 8:12. The proposed roof pitch of the building varies. The majority of the building has a 9:12 pitch, with some portions having a pitch of 5:12 and 7:12. The saddles are lower with 2:12-3:12, although this is typical and needed for adequate roof drainage with this style of roof. Section 14.27.5.6 allows for lower roof pitches if, in the opinion of the development authority, it does not significantly add to the mass of the building (Figure 4). As mentioned, the buildings have “working roofs” which are lower in perceived mass than a flat roof with tacked on eaves. Furthermore, the visual difference from a 5:12 to an 8:12 pitch is difficult to identify as a pedestrian from the street.

2. Build-to-line Setbacks

The SCMV-CR District also includes build-to-line variations to break up the perceived building mass:

Section 14.27.4.5 notes the principal build-to-line with allowable variations as follows:

- a. 40% to 75% of the main floor block frontage shall be within 1.5m of the property line.
- b. A minimum of 25% shall be set back between 1.5m and 3.0m for facade articulation.
- c. No part of the main floor frontage shall be further than 3.0m from the property line.

The development requires a variance to this regulation. The north-facing main floor street frontage complies with ‘a’ and ‘b’ of this regulation, but not ‘c’, as a small portion of the building is setback 4.04m to open up to the walkway leading to the day care entrance.



Figure 5 – East Street Frontage

The east-facing street frontage has a majority (55%) of its façade further than 3 m from the property line, with an overall setback range of 1.84 m to 11.18 m. The applicant desires straight lines for the building and as the east property lot line curves eastward from south to north, an open area is created. However, the applicant believes the design of the open space complements the streetscape. Landscaping has been added in key areas of the space as well as at-grade residential patios (Figure 5).

In the opinion of Administration, the buildings are architecturally pleasing and the variety in design and elements such as landscaping at grade and balconies on each storey create a development with mass and scale appropriate for the property. Furthermore, this area of the building is not intended for commercial frontage, so there is no loss of ‘window shopping’ opportunities. As a result, Administration supports this variance.

3. Open Block Space

The SCMV-CR District requires that 25% of the site be contiguous, well-programmed and landscaped open block space. The applicant has provided 17.1% in the form of a landscaped courtyard, on the west side, requiring a 7.9% variance to Section 14.27.6.3. Administration supports the variance for the following reasons:

- The parcel is narrow making the provision of additional open space to the west interior challenging. This would effectively eliminate some of the ground floor units along the middle, west side of the building. Units at grade help to better activate the open space, with added pedestrian traffic and eyes on the space.
- Although discontinuous, the open space on the east side of the building complements the intent of the open block space requirement and amounts to 8.7% in area, resulting in an overall open block space of 25.8%.

4. Eave Projection

A building eave is permitted to be up to 0.89 m from the side property line. The north-west eave is 0.71m and the south-west eave is 0.87 m from the property line, resulting in a 0.18 m and 0.02 m variance. The additional length of the north-west eave facilitates a larger roof overhang (Figure 6). Administration supports this variance, as the added overhang provides architectural enhancement to the west frontage. Large roof overhangs are encouraged in the Town-wide architectural standards. Furthermore, the 0.18 m does not meaningfully impact any of the adjacent development.



Figure 6 – North-West Gable Projection

It should be mentioned that the proposed development exceeds the requirements of the Bylaw in several areas as noted below:

- Providing geothermal heating;
- Achieving Certified Built Green (Gold); and
- Achieving a minimum 16-20% better than the NECB requirements.

SUSTAINABILITY SCREENING REPORT (SSR)

The applicant's Sustainability Screening Report and high score of approximately 38, suggests that the development will have a positive impact on the community (Attachment 4).

The proposed private day care facility provides a social benefit to the community. Furthermore, the day care is located near, and well connected to, Canmore's downtown making it very accessible and convenient for those who may need this service.

OFF-SITE LEVIES

Offsite levies will be collected for this development at the current rate at the time of signing the Development Agreement.

LIGHTING

Details on exterior and site lighting have not been provided with this application. These details will be provided at the building permit stage and will need to conform to the requirements of the Land Use Bylaw. A condition of approval requiring this has been added to the Schedule A.

SUBMITTED COMMENTS

A Notice of Application has been posted on the site pursuant to the Land Use Bylaw. No comments were received at the time of writing this report.

OPTIONS FOR CONSIDERATION

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in the Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Table the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

Administration recommends that the Canmore Planning Commission **APPROVE** PL20200433, subject to the conditions of approval set out in the Schedule A attached to this report.

ATTACHMENTS:

1. Bylaw Conformance Review
2. Schedule A: Conditions of Approval
3. Development Permit Application
4. Sustainability Screening Report (SSR) Narrative & Matrix



Nathan Grivell
Development Planner

ATTACHMENT 1 - BYLAW CONFORMANCE REVIEW

APPLICATION NO: PL20200433

DEVELOPMENT PROPOSED: ARNICA LODGE - MIXED USE DEVELOPMENT

- APARTMENT UNITS (46 UNITS)
 - PERPETUAL AFFORDABLE HOUSING (6 UNITS)
- LIVE/WORK STUDIO (1 UNIT)
- DAY CARE FACILITIES (1 UNIT)

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 071 5055

CIVIC ADDRESS: 1315 SPRING CREEK GATE

CURRENT APPROVED USE(S): VACANT

APPLICANT/OWNER: SPRING CREEK MOUNTAIN VILLAGE

LAND USE DESIGNATION: SPRING CREEK MOUNTAIN VILLAGE COMPREHENSIVE RESIDENTIAL DC DISTRICT [22(Z)2009] (SCMV-CR)

REQUIREMENT	BYLAW 22-2010	PROPOSED	VARIANCE
MIN SITE AREA	500M ²	3560M ²	-
MIN SITE WIDTH	N/A	N/A	-
MAX FLOOR AREA RATIO (FAR)	1.65 (AVG. FOR ENTIRE VILLAGE)	2.04	-
FRONT YARD SETBACK	Varies	FROM 0.32M TO 11.8M	YES
SIDE YARD SETBACK (WEST) EAVES	1.5M 0.89M	1.53M 0.87M AND 0.71M	0.18M
SIDE YARD SETBACK (SOUTH)	1.5M	9.45M	-
REAR YARD SETBACK	1M	N/A (NO REAR YARD)	-
MAX BUILDING HEIGHT	14 & 16M	16.36 & 18.46M	2.46M IN ZONE A 2.36M IN ZONE B
MAX BUILDING EAVELINE HIEGHT	N/A	N/A	-
OPEN BLOCK	25%	17.1%	7.9%
PARKING			
APARTMENT			
8 - 1 BEDRR0M (1 STALL/ 1 BEDROOM UNIT)	8 STALLS	76 STALLS	
5 - 2 BEDROOM (1.5 STALL/ 1 BEDROOM UNIT)	7.5 STALLS		
28 - 3+ BEDROOM (2 STALL/ 1 BEDROOM UNIT)	47.5 STALLS		
6 – PAH UNITS	6 STALLS		
VISITOR STALLS	7.05 STALLS	7 STALLS	
	TOTAL APARTMENT = 76 (ROUNDED DOWN)	TOTAL APARTMENT = 76	
COMMERCIAL (445M2/46M2)	TOTAL COMMERCIAL = 9 (ROUNDED DOWN)	TOTAL COMMERCIAL = 9 STALLS	
	TOTAL REQUIRED VEHICULAR STALLS =85	TOTAL PROVIDED VEHICULAR STALLS = 92	
BIKE PARKING STALLS	71 LONG TERM 19 SHORT TERM	22 SHORT TERM 80 LONG TERM	
LOADING BAYS	1 LOADING BAY	1 LOADING BAY	

ATTACHMENT 2

SCHEDULE A

CONDITIONS FOR APPROVAL FOR:

PL20200433

ARNICA LODGE - MIXED USE DEVELOPMENT:

**APARTMENT UNITS (46 UNITS, 6 UNITS OF WHICH
ARE TO BE PERPETUAL AFFORDABLE HOUSING)
LIVE/WORK STUDIO (1 UNIT)
DAY CARE FACILITIES (1 UNIT)**

**LEGAL DESCRIPTION:
CIVIC ADDRESS**

**LOT 1, BLOCK 1, PLAN 071 5055
1315 SPRING CREEK GATE**

APPROVED VARIANCES:

1. To Section 14.27.4.5 Land Use Bylaw 22-2010, to allow for a portion of the development to exceed built-to-line requirements as shown on the approved plans.
2. To Section 14.27.4.9 of the Land Use Bylaw 22-2010, to allow those portions of the roof as identified in the approved plans:
 - a. Zone A: 4.7% of the building to be up to 20% over height and 18.2% of the building to be 10% over height.
 - b. Zone B: 1.5% of the building to be up to 20% over height and 7.7% of the building to be 10% over height.
3. To Section 14.27.6.3 of the Land Use Bylaw 22-2010, to allow for 16% of contiguous, well programmed and landscaped on block space instead of the required 25%.
4. To Section 2.4.3.1 to allow the west side eaves to be up to 0.71 m and 0.87 m from the property line instead of 0.89 m, as shown on the approved plans.

STANDARD CONDITIONS OF APPROVAL:

1. The applicant shall enter into a Development Agreement with the Town of Canmore, **prior to the release of the Development Permit**. The Development Agreement shall include provisions regarding the payment of any required levies or fees. An application must be made in writing requesting that the Development Agreement be drawn up. A Certificate of Title evidencing the ownership of the property, and the name(s) of the person(s) having signing authority must accompany this request.
2. The applicant shall comply with all Town of Canmore Engineering requirements including the following:
 - a) No roof or other on-site drainage will be allowed to flow to the sanitary sewer system.
 - b) The developer must ensure that no drainage is diverted to either of the adjoining private properties or onto Town road or trail right-of-way. The location of all catch basins, dry wells and down spouts must be designed and constructed to meet this specification.
 - c) Water and sewer services are to be the satisfaction of the Manager of Engineering and must conform to the Engineering Design and Construction Guidelines of the Town of Canmore. Specifications must be obtained from the Manager of Engineering.
 - d) Should the developer intend or wish, to subdivide the property or building at some point in the future, a water meter and scan pad (puck) shall be required for each new title created and registered at the land Titles Office, to be installed where the main water service enters the property, in accordance with the Town of Canmore Water Works Bylaw (8-98), as amended from time to time.

- e) The Consultant must submit a covering letter as per the current Town of Canmore Engineering Design and Construction Guidelines giving a description of the project and confirmation that all aspects of the design meet the requirements of the Town of Canmore and other authorities having jurisdiction (e.g. Alberta Environment). Note any variances required in this covering letter.
3. All development shall comply with Alberta Environment ground water table elevation. No habitable floor space shall be built below the ground water table as determined by the Town of Canmore.
 4. All construction shall comply with the Alberta Building Code and the Safety Codes Act.
 5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
 6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate. All pathways shown on the submitted plans shall be constructed as shown, and built to the relevant standards contained in the Town of Canmore Engineering Design and Construction Guidelines where appropriate.
 7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
 8. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Protective Services.
 9. All signs shall require separate development permits.
 10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.
 11. The following Special provisions shall apply for steep slope and deep fill development on the site:
 - a) No finished slopes shall exceed a 1:3 slope (1 vertical to 3 horizontal), except where certification of the stability of the slope has been issued by a Professional Engineer.
 - b) Where the Professional Engineer identifies the need for a retaining wall in the certification, all such retaining walls must be professionally designed and constructed, and the completed retaining wall certified by a Professional Engineer.
 - c) If required by the development officer, the applicant shall submit an as-built grade plan from a land surveyor showing finished grades. Such plan shall be submitted and the grades accepted by the development officer prior to issuance of the development completion certificate and prior to permission to occupy is granted. Any grades exceeding 1:3 shall be adjusted or certified prior to issuance of the development completion certificate.

SPECIFIC CONDITIONS:

12. The applicant shall provide security to the Town of Canmore to ensure the completion of the project, in the form of cash or an irrevocable Letter of Credit. The amount should be equal to or no less than: 1. 1.25 (125%) of the estimated project costs for the project for landscaping and all hard surfacing, paving; and, 2. site servicing; both to the satisfaction of the Town. The Letter of Credit shall be supplied at the time of the signing of the Development Agreement, and shall be in a format acceptable to the Town of Canmore.
13. The Developer shall pay off site levies according to the approved bylaw adopted by Council at the time of the signing of the Development Agreement. The Development Agreement shall specify the manner of the payment of these monies and all other relevant fees and contributions as determined by

approved Town of Canmore policy(ies).

14. Access to the site for the purpose of construction shall be from Bow Valley Trail and not from Main Street. Any access from Main Street shall result in an immediate Stop Work Order from the Town.
15. The Developer shall follow their approved Construction Management Plan. The construction management plan submitted shall be followed through all stages of construction. If any problems arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.
16. The Developer is required to provide a minimum of **85** parking stalls, **1** loading bays, and **90** bike parking stalls as shown in the approved plans, according to the following:

Method of Calculation

- Automobile Parking

1.00 stalls/1 bedroom unit * 8 units = 8 stalls

1.50 stalls/2 bedroom unit * 5 units = 7.5 stalls

2.00 stalls/3 bedroom unit * 28 units = 47.5 stalls

1.00 stalls/PAH units * 6 units = 6 stalls

Total = 69 stalls

0.15 stalls/ unit for visitor parking * 47 = 7.05 = 7 stalls

1 stall / 46m² commercial area * 445m² = 9.67 = 9 Stalls

Total Parking Stalls Required = 85

Total Provided Stalls = 92 (7 stall surplus)

- Bike Parking

Short-term = 46 apartment units * .25 + 1 stall (live/work units) + 6 stalls (day care unit) = 19 short-term stalls.

22 Short-term stalls have been provided for.

Long-Term = 46 apartment units * 1.5 = 71 long-term stalls

80 Long-term stalls have been provided for.

- Loading Bays

The Developer shall provide **1 loading bay** in the location indicated in the approved plans.

Total Provided Loading Bays = 1

All on-site parking stalls, and loading spaces shall be graded and paved to dispose of drainage to the satisfaction of the Development Officer.

17. Any vehicle of a total length equivalent to a WB-40 model vehicle or larger shall service the development from the loading space on Spring Creek Drive. WB-40 vehicles or larger may be permitted to service the site from other areas provided the developer has received approval from the Town of Canmore.
18. The Developer shall provide landscaping in accordance with the approved landscaping plan.
19. The Developer agrees to comply with the requirements for enhanced green construction, and that the development will be 16% better than the current NECB in place at the time of development as outlined in Section 11 Green Building Regulations of the Land Use Bylaw.
20. Commitments expressed in the Developer's Sustainability Screening Report become conditions of approval upon the signing of this Schedule A and will be included in the development agreement.
21. All plant material proposed between 0.0m and 1.5m from the building shall be non-combustible, low

growing and of low fire risk.

- 22. All FDCs on sprinklered buildings must be within 45 meters of a hydrants. FDCs should be within 3 -15 meters of the principal entrance to the satisfaction of the Fire Department.
- 23. Unless permission is granted by the Town of Canmore, snow clearing shall be handled on-site. No snow shall be pushed onto public land.
- 24. As identified in the Traffic and Parking Technical Memorandum, the operational capacity of the daycare shall not exceed 48 children and 10 staff. A development permit will be required to further increase the operational capacity of the daycare.
- 25. The developer will provide six (6) Perpetual Affordable Housing (PAH) units in accordance with the, Letter of Agreement – SCMV PAH Unit Provision, as amended and updated, between the Spring Creek Mountain Village Inc. and the Town of Canmore

Prior to the Release of the Development Permit Conditions

- 26. **Prior to the release of the Development Permit**, the Developer shall update the landscaping plan to remove any surface works encroaching into the future Lot 21MR to the satisfaction of the Development Officer.
- 27. **Prior to the release of the Development Permit**, the Developer shall update the landscaping plan to include a pedestrian bench on the east side frontage, to the satisfaction of the Development Officer.
- 28. **Prior to the release of the Development Permit**, the Developer shall pay the following variance fees:

Six (6) approved variances:

Discretion limited in Land Use Bylaw 1@ \$370.00 =	\$370.00
Discretion not limited in Land Use Bylaw 3@ \$200.00 =	\$600.00
TOTAL FEES PAYABLE:	\$970.00

Prior to the Release of the Building Permit Conditions

- 29. **Prior to the release of the Building Permit**, the Developer will submit addressing in accordance with the Town’s Civic Addressing Protocol.
- 30. **Prior to the release of the Building Permit**, the Developer shall provide a signage concept that provides adequate direction to pedestrians as to the location of the daycare entrance, to the satisfaction of the Development Officer.
- 31. **Prior to the release of the Building Permit**, the Developer shall provide lighting details as required by, and in conformance with Land Use Bylaw 22-2010. The lighting details shall include some pedestrian scale lighting above the walkway that leads from Spring Creek Drive to the entrance of the Daycare to the satisfaction of the Development Officer.
- 32. **Prior to the release of the Building Permit**, the Developer shall provide a pre-construction energy report estimating the energy efficiency of the development using the current NECB.
- 33. **Prior to the release of the Building Permit**, the Developer shall provide details regarding the placement of vents on the building. The Developer agrees that the placement of vents will not be screened from the street and will be integrated into the overall building design.
- 34. **Prior to the release of the Building Permit** the Developer shall provide an upgraded site grading plan which demonstrates that the sidewalk cross-slope and longitudinal grade are maintained through the parkade entrance to the satisfaction of the Engineering Department.

35. **Prior to the release of the Building Permit** the Developer shall demonstrate on their floor plans that the units intended as Perpetual Affordable Housing (PAH) meet the requirements for the PAH Build and Price Guidelines, to the satisfaction of Canmore Community Housing. Units that do not meet the guidelines may not be counted as PAH.

Prior to Condominium Endorsement Conditions

36. **Prior to condominium endorsement**, the Developer shall enter into an Encroachment Agreement with the Town of Canmore regarding the eaves that encroach into Spring Creek Drive to the satisfaction of the Development Officer.
37. **Prior to condominium endorsement or occupancy**, the Developer shall obtain approval and endorsement of subdivision application PL20200399.

Prior to Occupancy and Operation Conditions

38. **Prior to occupancy**, signage is to be installed for the loading zone near the main entrance on Spring Creek Drive and, the visitor parking stalls in the parkade, to the satisfaction of the Development Authority.
39. **Prior to occupancy**, the Developer shall provide evidence that Built Green GOLD certification (or equivalent to the satisfaction of the Development Officer) has been achieved. A preliminary notification of compliance provided by the third party shall suffice in this regard, with the official copy of final certification required within 90 days of occupancy of the building or, as applicable, the final unit.
40. **Prior to occupancy**, the Developer shall provide evidence that there are three streams of waste flow as proposed in their Sustainability Screening Report to the satisfaction of the Town of Canmore.
41. **Prior to occupancy**, Construction Completion Certificate for Spring Creek Gate Surfaceworks constructed under PL20200399 (top lift asphalt excluded) must be submitted to and accepted by the Municipal Engineer.
42. **Prior to the operation of the daycare unit**, the applicant will install signage for the unit. A development permit is required for building signage.

Advisory Conditions

43. In accordance with the agreement between the Town of Canmore and Spring Creek Mountain Village, waste and recycling will be privately serviced for this and other developments within and Spring Creek Mountain Village.
44. The Day Care Facility must abide by any Provincial, Federal and Health licenses required in order to operate the business must be obtained from the appropriate agency.

DATE SIGNED

CHAIR, CANMORE PLANNING COMMISSION

APPLICATION COMPLETE:
NOTICE POSTING REQUIRED?

JANUARY 13, 2021
YES

ATTACHMENT 3: APPLICATION PACKAGE



1 Spring Creek Gate
Canmore, AB T1W 0A7
403-678-0388 (Proj. Mgmt)
SpringCreekRealEstate.ca

December 9, 2020

Planning and Development
Town of Canmore
902 – 7th Avenue
Canmore, AB T1W 3K1

Spring Creek Mountain Village – Arnica Lodge Development Permit Submission

Spring Creek's next multi-family building, Arnica Lodge, consists of 47 units across four (4) stories over top an underground parkade. This project will feature commercial space on main floor (proposed daycare facility), one (1) Live/Work studio, and six (6) PAH units. This is not a Tourist Home zoned building.

The proposed design meets LUB requirements, roof heights are within the allowable variances for SCMV-CR DC District (sec 3.27.4.9), and an eave extends into Spring Creek Drive within 2m (as per Plot Plan). A third-party Built Green certification will be followed; letter of engagement and preliminary checklist included in this submission.

The following pages are in response to Pre-Application Review Comments document, issued October 30, 2020, Pre-Application # PL20200315.

If you have questions or items requiring further clarification, please contact me.

Sincerely,

Drew Steinhauer
Project Coordinator

PROPERTY INFORMATION			
Municipal Address PROPOSED *1305 Spring Creek Gate*			
Legal Address		Existing Use of Land/Building	
Lot/Unit: 22	Block: 6	Plan: TBD	N/A

DEVELOPMENT INFORMATION		
Please indicate which checklist you have referenced to form this submission: Intermediate - Large Developments		
Proposed Development/Use(s) Multi-family Condominium		
Total Proposed Gross Floor Area (m ²) 7,279	Number of Units 47	Property size (hectares). New construction only. 0.366

APPLICANT INFORMATION	
Name Drew Steinhauer	Phone 403-678-0388
E-mail drew@springcreekmv.com	
Mailing Address 1 Spring Creek Gate, Canmore AB, T1W 0A7	

OWNER INFORMATION (if different than applicant)	
Name Frank Kernick	Phone 403-678-7839
E-mail frank@springcreekmv.com	
Mailing Address 1 Spring Creek Gate, Canmore AB, T1W 0A7	

DECLARATION

I/We declare that I am/We are the owner of the land described above or authorized to act on behalf of the registered owner(s). I/We have reviewed all of the information supplied to the Town with respect to an application and it is true and accurate to the best of my/our knowledge. I/We understand that the Town of Canmore will rely on this information in its evaluation of the application. Any decision made by the Town of Canmore based on inaccurate information may be cancelled at any time. I/We give authorization for electronic communication, using the email provided on this application form.

By signing below, I/We confirm to have carefully read this declaration and agree to the terms within.

Signature of Applicant 	Date Dec 9, 2020
Signature of Owner 	Date Dec 9/2020

FOIP Notification: This personal information is being collected under the authority of the Municipal Government Act (MGA) and in the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the Municipal Records Officer 403.678.1509.

PAYMENT

Until the applicable permit fees have been paid in full to the Town of Canmore, the Town will not commence the review of your application. Town administration will contact you upon receipt of the application to arrange for the applicable fees to be paid.

FOR OFFICE USE ONLY			
Planning Fee:	Date Submitted	Tax Roll	Permit Number
Engineering Fee:			

SCMV - ARNICA LODGE

DRAWINGS

ARCHITECTURAL DRAWINGS

000	COVER
100	BYLAW SUMMARY
200	PROPOSED SITE PLAN
210	GENERAL ARRANGEMENT - PLAN - PARKADE
211	GENERAL ARRANGEMENT - PLAN - LEVEL 01 / GROUND FLOOR
212	GENERAL ARRANGEMENT - PLAN - LEVEL 02
213	GENERAL ARRANGEMENT - PLAN - LEVEL 03
214	GENERAL ARRANGEMENT - PLAN - LEVEL 04
215	GENERAL ARRANGEMENT - PLAN - ROOF
300	SECTION
400	ELEVATIONS - NORTH + SOUTH
401	ELEVATIONS - EAST + WEST
500	PLAN - WASTE + RECYCLING
510	PLAN - BIKE STORAGE
900	3D VISUALIZATIONS - KEY PLAN
901	3D VISUALIZATIONS
902	3D VISUALIZATIONS
903	3D VISUALIZATIONS - NE CORNER LANDMARK
910	SOLAR STUDY

CONSULTANTS

ARCHITECTURE

HINDLE ARCHITECTS
 136-2451 DIEPPE AVENUE SW
 BUILDING B-1, CURRIE BARRACKS
 CALGARY, ALBERTA, CANADA
 T3E 7K1
 MR. ROB MACHIDA
 403 971 4833
 rob@hindle-architects.com

MR. JESSE HINDLE, ARCHITECT
 403 804 4344
 studio@hindle-architects.com

LANDSCAPE

IBI GROUP
 3rd floor -227 11 AVENUE SW
 CALGARY, ALBERTA, CANADA
 T2R 1R9
 BRIAN BAKER
 403 270 5600 ext 66570
 brian.baker@ibigroup.com

CIVIL

MCELHANNEY
 203-502 BOW VALLEY TRAIL
 CANMORE, ALBERTA, CANADA
 T1W 1N9
 WARREN LIPPITT
 403 621 4090
 wlippitt@mcelhanney.com

APPLICATION

PROJECT ADDRESS

PROPOSED 1305 SPRING CREEK GATE
 LOT 1
 BLOCK 1
 PLAN 071 5055
 DP# PL20200433

APPLICANT

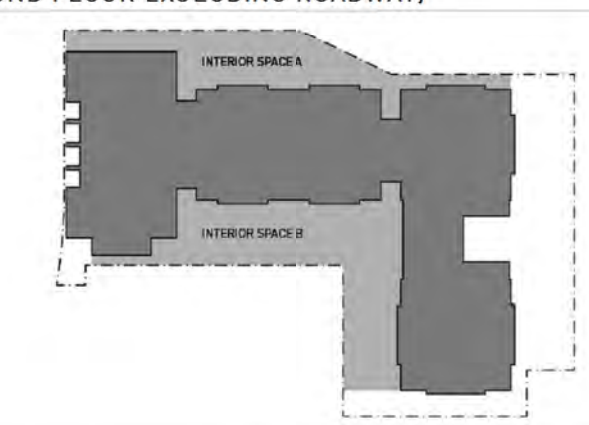
HINDLE ARCHITECTS
 136-2451 DIEPPE AVENUE SW
 BUILDING B-1, CURRIE BARRACKS
 CALGARY, ALBERTA, CANADA
 T3E 7K1

MR. ROB MACHIDA
 403 971 4833
 rob@hindle-architects.com

ISSUED TO

THE TOWN OF CANMORE
 PLANNING & DEVELOPMENT
 CANMORE CIVIC CENTRE
 902 7TH AVENUE
 CANMORE, ALBERTA, CANADA
 T1W 3K1

2.8 GENERAL REGULATIONS				
2.7.7.1		Unless otherwise excepted in this Bylaw, the automobile and bicycle parking stall requirements, outlined in Table 2.7-3, apply to all residential developments.	VEHICULAR PARKING DENOTED WITHIN SCMV-CR (22[Z]2009)	
	BICYCLE STALLS	Apartment building: Short term = .25 / unit Long Term = 1.5 / unit	REQ'D 12 71	
		Live / Work Studio Short Term = 1.0 / unit	1	
		TOTAL BIKE STALLS REQUIRED	83	
		SHORT TERM STALLS PROVIDED	12	
		LONG TERM STALLS PROVIDED	80	
		TOTAL BIKE STALLS PROVIDED	92	
		TOTAL BIKE VARIANCE REQUIRED	0	
6.27 SCMV-CR (22[Z]2009)				
SCMV-CR - SPRING CREEK MOUNTAIN VILLAGE COMPREHENSIVE RESIDENTIAL DC DISTRICT [22[Z]2009]				
* DENOTES BYLAW VARIANCE REQUIRED				
6.27.4.3	SIDEYARD SETBACKS	The minimum side yard depth shall be zero, except when adjacent to public space. Then it shall be 1.5m with building design in accordance with Section 3 of the SCMV Landscaping and Architectural Guidelines.		
6.27.4.5	FRONT PROPERTY LINES	The front property line of each entire building shall be the principal build-to-line with allowable variations as follows: a. 40% to 75% of the main floor block frontage shall be within 1.5m of the property line. b. A minimum of 25% shall be set back between 1.5m and 3.0m for facade articulation. c. No part of the main floor frontage shall be further than 3.0m from the property line.		
			SB (m)	FRONTAGE (m)
		NORTH PL PRIMARY BUILDING SETBACK PROVIDED (AT GRADE)	0.32	15.85
		NORTH PL SETBACK WITHIN 1.5m and 3.0m PROVIDED (AT GRADE)	2.46	13.41
		WEST PL PRIMARY BUILDING SETBACK PROVIDED (AT GRADE)	3.46	17.37
		WEST PL SECONDARY BUILDING SETBACK PROVIDED (AT GRADE)	9.04	34.08
		WEST PL SECONDARY BUILDING SETBACK PROVIDED (AT GRADE)	1.84	18.91
		All west PL setbacks have a bump out articulations of 0.56m.		
6.27.4.7	FRONT PROPERTY LINES	All sides of a building that front a public street shall be considered front property lines.		
6.27.4.8	MAXIMUM HEIGHT	Maximum building heights within the Direct Control Spring Creek Mountain Village Comprehensive Residential District shall be in accordance with Figure 1: Zone A maximum height 16.0m (4 storeys plus loft) Zone B maximum height 14.0m (3 storeys plus loft)		
6.27.4.9		Maximum building height shall be measured from the finished grades established in an approved site-regrading plan to the roof ridge line. Where the Development Authority is satisfied that the architectural integrity of a building would be enhanced, variances may be granted to allow for additional roof articulation. The allowable variances are: a. Height Zones A, B and C: 20 percent of the building may exceed the maximum height by up to 10 percent and 5% of the building may exceed the maximum height by up to 20%.		
		SEE ROOF HEIGHT BREAKDOWN		
TABLE 2.7-3 & 6.27.4.11	PARKING, LOADING AND STORAGE		UNITS	STALLS REQ.
		1.0 per 1-bedroom unit (Private on-site)	12	12
		1.5 per 2-bedroom unit (Private on-site)	24	36
		2.0 per 3 or 4 bedroom unit (Private on-site)	11	22
		2.0 per Live/Work	1	2
		0.15 visitor parking per dwelling unit Private on-site	47	7.05
		TOTAL RESIDENTIAL STALLS REQUIRED BELOW GRADE	79	(±)
		TOTAL RESIDENTIAL STALLS PROVIDED BELOW GRADE	83	
		COMMERCIAL / RESIDENTIAL FLEX STALLS PROVIDED BELOW GRADE	0	
		TOTAL PARKING STALLS PROVIDED BELOW GRADE	83	
		Spring Creek Drive Commercial 1.0 per 46m ²		
		TOTAL COMMERCIAL AREA (m ²)	331.00	
		TOTAL COMMERCIAL STALLS REQUIRED	8	(±)
		TOTAL COMMERCIAL STALLS PROVIDED AT GRADE	9	
		COMMERCIAL / RESIDENTIAL FLEX STALLS BELOW GRADE	0	
		TOTAL COMMERCIAL STALLS	9	
		TOTAL STALLS REQUIRED (RESI & COMMERCIAL)	87	
		TOTAL STALLS PROVIDED (ABOVE AND BELOW GRADE)	92	
		PARKING VARIANCE REQUIRED	0	

		TOTAL ACCESSIBLE STALLS REQUIRED	4
		ACCESSIBLE STALLS PROVIDED BELOW GRADE	2
		ACCESSIBLE STALLS PROVIDED ABOVE GRADE	2
		TOTAL ACCESSIBLE STALLS PROVIDED	4
2.7.3	LOADING STALLS	TOTAL LOADING STALLS REQUIRED	1
		TOTAL LOADING STALLS PROVIDED	1
		LOADING VARIANCE REQUIRED	0
		STORAGE LOCKERS REQUIRED	47
		TOTAL STORAGE LOCKERS PROVIDED	48
6.27.5	ADDITIONAL REQUIREMENTS		
6.27.5.2	FAR	The overall FAR for the Spring Creek Mountain Village ARP area shall not exceed an overall average of 1.65.	
		CURRENT BUILDING FAR	2.0
6.27.5.5	PEDESTRIAN SCALE	Building design shall be orientated to a community pedestrian scale and integrated into a comprehensive open space and trail network as shown in Figure 7 of the approved Area Redevelopment Plan.	SEE LANDSCAPE DRAWINGS
6.27.5.6	ROOF DESIGN	Roof Design: Roof design shall reflect the direction provided in the Landscape and Architectural Guidelines and support the function, architectural requirement and tradition of providing sheltering roofs in a mountain environment. Roof lines shall be articulated and larger structures shall incorporate a cascade of roofs to break up massing and add visual interest. Minimum roof pitch shall be 8:12 for all visible portions of the roof and dormers. Lower roof slopes may be used, at the discretion of the Development Authority, and without a variance requirement, when this does not significantly add to the mass of the building.	
		MINIMUM ROOF SLOPE REQUIRED	8:12
		PRIMARY CORNER GABLES' SLOPE PROVIDED (CORNERS-NORTH END)	9:12
		SECONDARY GABLES' SLOPE PROVIDED	7:12
6.27.5.9	ROOF OVERHANG	Roof overhang encroachments up to 2.0m beyond the property line into the road Right of Way for block corner architectural elements in Height Zone A (Figure 1), may be granted where the Development Authority is satisfied that the architectural integrity of the building would be enhanced and, if applicable, the municipal reserve land would not be negatively impacted.	
6.27.5.11	BUILDING MATERIALS	Building Materials and Exterior Colours: Building materials and exterior colours shall be in accordance with Section 12, Community Architectural and Urban Design Standards, of the Land Use Bylaw.	
6.27.5.12	LANDSCAPING	Landscaping: Landscaping design and materials shall be in accordance with Section 8 of the Spring Creek Mountain Village Landscape and Architectural Guidelines.	
6.27.5.13	SIGNAGE, CANOPIES AND AWNINGS	Signage, canopies and awnings shall be in accordance with Section 10, Signage Standards and Regulations, of the Land Use Bylaw.	
6.27.6	ZONE A AND ZONE B/C DESIGN REQUIREMENTS		
6.27.6.3	BLOCK INTERIOR SPACE	A minimum of 25% of the interior space of each block shall be contiguous, well-programmed and landscaped open space.	
		TOTAL SITE AREA	3560.13 m ²
		TOTAL INTERIOR SPACE REQUIRED	890.0325 m ² 25%
		AREA OF INTERIOR SPACE A (SEE DIAGRAM BELOW)	380.8 m ²
		AREA OF INTERIOR SPACE B (SEE DIAGRAM BELOW)	579.11 m ²
		TOTAL INTERIOR SPACE PROVIDED (COMBINATION OF OPEN SPACE ON THE GROUND FLOOR EXCLUDING ROADWAY)	± 959.91 m ² 27.0%
			
6.27.6.4	LIVE/WORK ON SPRING CREEK DRIVE	Spring Creek Drive Street Frontage (excluding Village Square and adjacent buildings): A minimum 25% of the street level uses shall be Live/Work studios or commercial in Stages 1 and 2, in accordance with Figure 2. The total commercial area at plan build out shall be no more than 1,500m ² , excluding Live/work units.	
		TOTAL SPRING CREEK DRIVE FRONTAGE	29.26 m
		TOTAL COMMERCIAL FRONTAGE REQUIRED	7.315 m 25%
		TOTAL COMMERCIAL FRONTAGE PROVIDED	29.26 m 100%
		TOTAL ALLOWABLE COMMERCIAL AREA	1,500.00 m ²
		TOTAL COMMERCIAL AREA PROVIDED (GROSS)	± 431 m ²
6.27.6.6	SPRING CREEK GATE FRONTAGE	A minimum of 25% of the street level uses shall be either commercial, live/work studios, or commercial-ready residential units, in accordance with Figure 2. The commercial-ready residential units shall be constructed to a commercial unit safety code standard, so they may be converted to a commercial space in the future, as market demands. The intent is for Live/Work studios and commercial uses to phase out as development extends South on Spring Creek Gate. This will keep the bulk of commercial services in the vicinity of the Village Square. A letter of verification confirming this design standard shall be required from the project architect as a condition of Development Permit.	
		% of Spring Creek Gate frontage that is either commercial or live/work	25%

Spring Creek
The Heart of Canmore

REVISION	DATE	PURPOSE
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PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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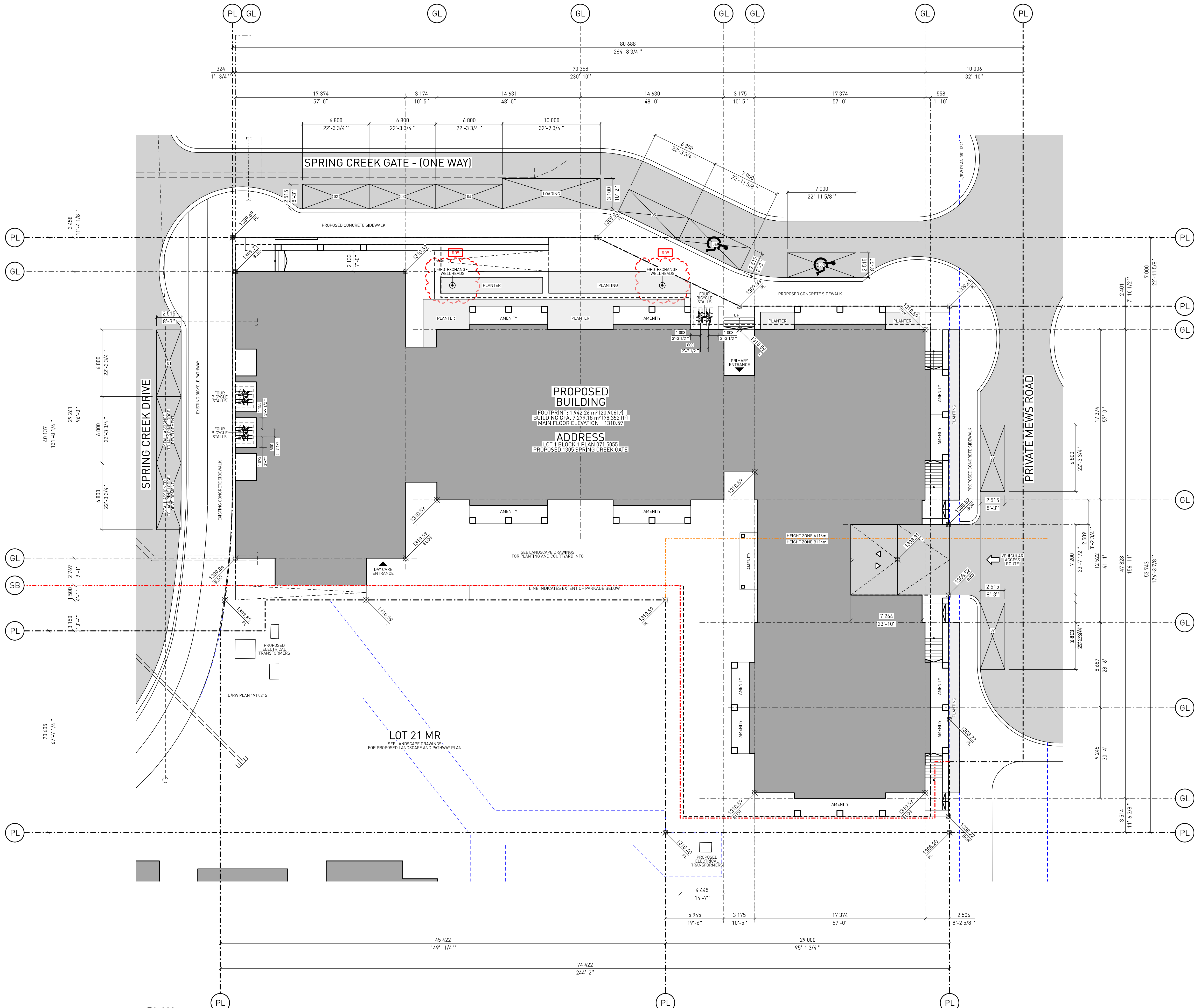
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BYLAW SUMMARY

DRAWING
A-3050-FD-100

DRAWING DATE	SCALE @ ANSI D
2020-02-01	-

REVISION DATE	REVISION
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PLAN
SCALE: AS NOTED

SUMMARY

SITE AREA	3,560.13 m ²	38,321 ft ²
PARKADE	± 2,688.04 m ²	28,934 ft ²
LEVEL 01 GFA	± 1,897.99 m ²	20,430 ft ²
LEVEL 02 GFA	± 1,942.26 m ²	20,906 ft ²
LEVEL 03 GFA	± 1,934.87 m ²	20,827 ft ²
LEVEL 04 GFA	± 1,504.06 m ²	16,190 ft ²
TOTAL GFA	± 7,279.18 m²	78,352 ft²
FAR	± 2.04	

A.B.C 2019 BLDG CLASS 3.2.2.50
 MAX BUILDING AREA (BA) 1,942.26 m² / 20,906 ft²
 FIRE RATINGS 1HR

DAYCARE AREA	± 331 m ²	3,563 ft ²
CHILDREN ALLOWED	± 110 m ²	1,188 ft ²
OUTDOOR SPACE REQ'D	± 55 m ²	594 ft ²

PARKING REQ'D	92	87
PARKING PROVIDED	92	87
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	

BIKE STALLS REQ'D	88
BIKE STALLS PROV.	92

STORAGE UNITS	48
FLOOR ELEVATIONS	Geodetic (m)
ROOF PEAK (16m Height Zone)	1327.93
ROOF PEAK (14m Height Zone)	1324.74
LEVEL 04	1320.14
LEVEL 03	1316.96
LEVEL 02	1313.78
LEVEL 01	1310.59
PARKADE SLAB	1307.2

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.
 FLOOD HAZARD
 Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	6	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL	47
----------------------	-----------

UNIT MIX	Count	Percentage
1-BED	8	17.02%
1-BED + DEN	0	0.00%
2-BED	5	10.64%
2-BED + DEN	17	36.17%
3-BED	5	10.64%
3-BED + DEN	6	12.77%
1-BED PAH	4	8.51%
2-BED PAH	2	4.26%

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ± 2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m): ± 208.89 m² / 2,248 ft² (7.74%)
- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m): ± 40.29 m² / 434 ft² (1.49%)

16m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m): ± 490.06 m² / 5,275 ft² (18%)
- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m): ± 125.85 m² / 1,355 ft² (5%)

Spring Creek
The Heart of Canmore

REVISION	DATE	PURPOSE
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PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
 CANMORE, ALBERTA, CANADA

LOT 1
 BLOCK 1
 PLAN 071 5055

HINDLE ARCHITECTS
 136-2451 DIEPPE AVENUE SW
 CALGARY / ALBERTA / CANADA

PROJECT
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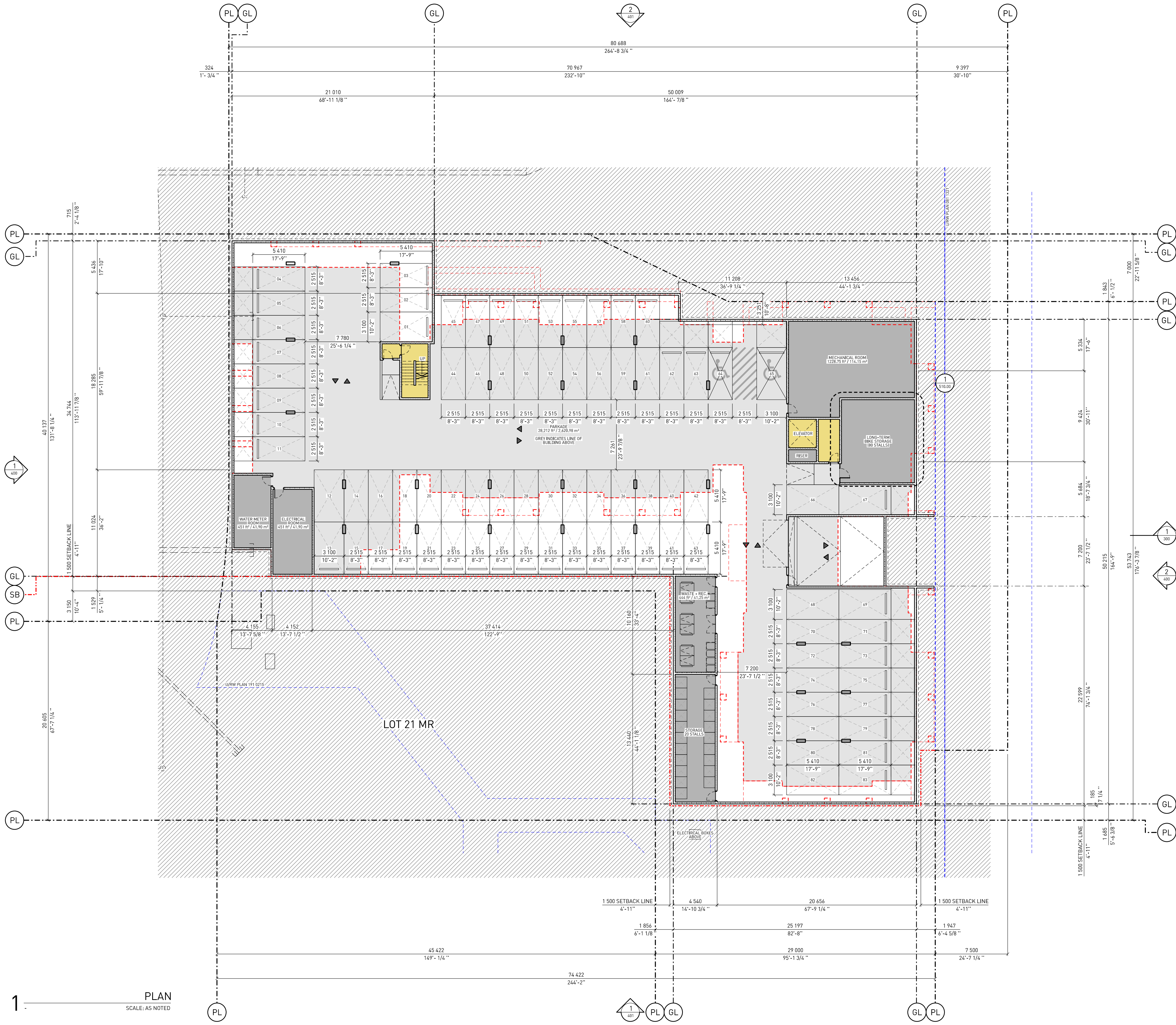
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DRAWING TITLE
SITE PLAN PROPOSED

DRAWING
A-3050-FD-200

DRAWING DATE	SCALE @ ANSI D
2020-02-01	1:200

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SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	2,688.04	28,934
LEVEL 01 GFA	1,897.99	20,430
LEVEL 02 GFA	1,942.26	20,906
LEVEL 03 GFA	1,934.87	20,827
LEVEL 04 GFA	1,504.06	16,190
TOTAL GFA	7,279.18	78,352
FAR	2.04	

A.B.C 2019 BLDG CLASS	3.2.2.50
MAX BUILDING AREA (BA)	1,942.26 / 20,906
FIRE RATINGS	1HR

	m ²	ft ²
DAYCARE AREA	331	3,563
CHILDREN ALLOWED	110	
OUTDOOR SPACE REQ'D	55	594

PARKING REQ'D	92	87
PARKING PROVIDED	92	
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	

BIKE STALLS REQ'D	83
BIKE STALLS PROV.	92
STORAGE UNITS	48

FLOOR ELEVATIONS	Geodetic (m)
ROOF PEAK (16m Height Zone)	1327.93
ROOF PEAK (14m Height Zone)	1324.74
LEVEL 04	1320.14
LEVEL 03	1316.96
LEVEL 02	1313.78
LEVEL 01	1310.59
PARKADE SLAB	1307.2

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	4	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL	47
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UNIT MIX	Count	%
1-BED	8	17.02%
1-BED + DEN	0	0.00%
2-BED	5	10.64%
2-BED + DEN	17	36.17%
3-BED	5	10.64%
3-BED+ DEN	6	12.77%
1-BED PAH	4	8.51%
2-BED PAH	2	4.26%

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) ±208.89 m ² / 2,248 ft ² (7.74%)	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) ±40.29 m ² / 434 ft ² (1.49%)	
16m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ±490.06 m ² / 5,275 ft ² (18%)	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ±125.85 m ² / 1,355 ft ² (5%)	



REVISION	DATE	PURPOSE
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PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
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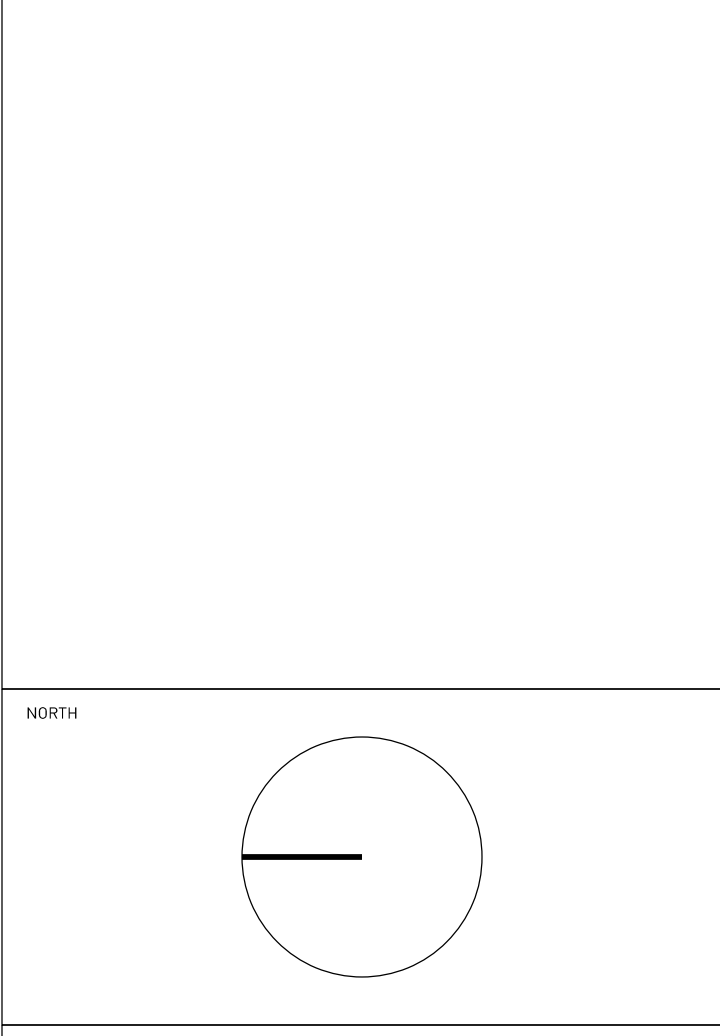
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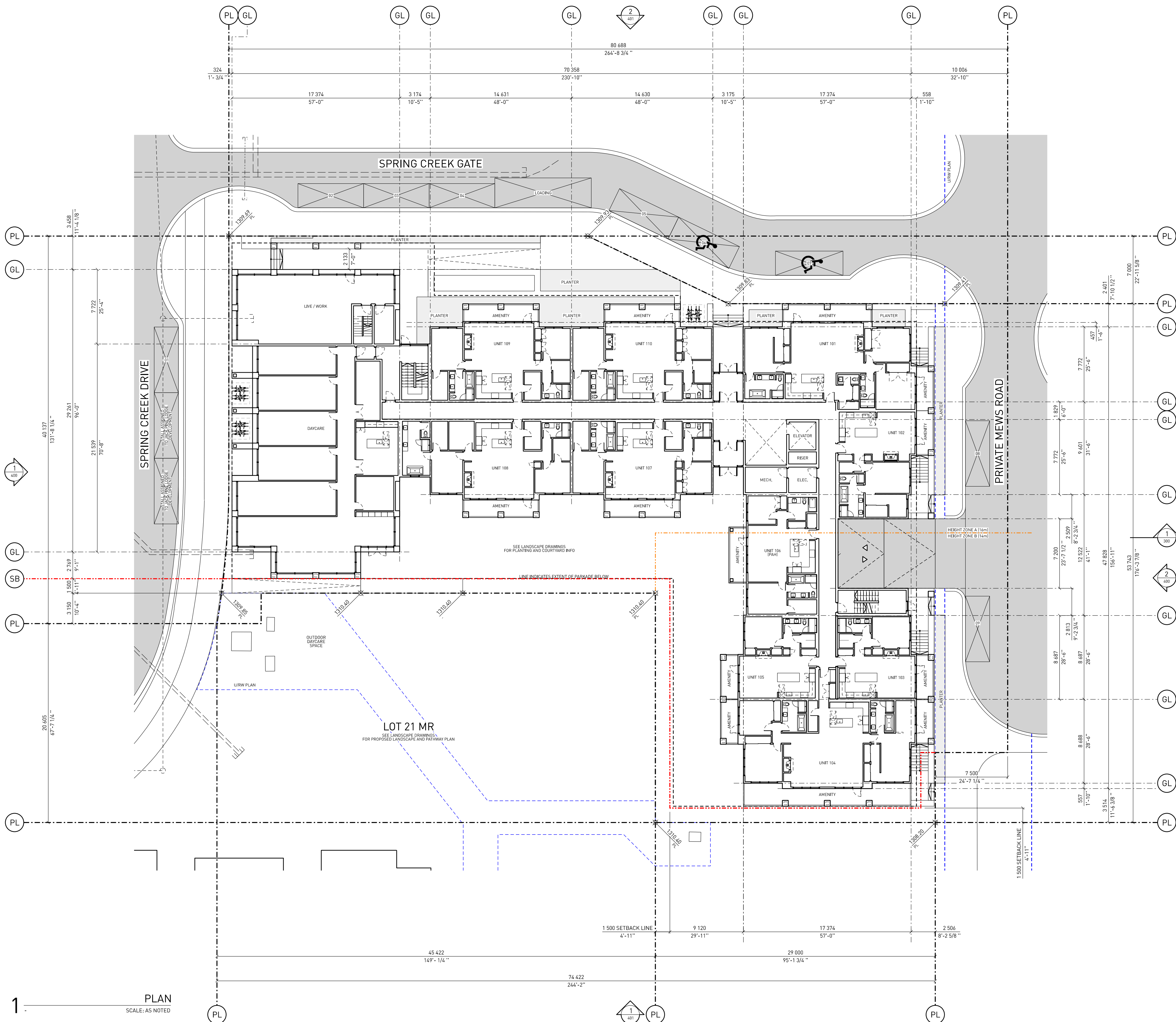
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DRAWING TITLE
GENERAL ARRANGEMENT PLAN PARKADE

DRAWING
A-3050-FD-210

DRAWING DATE	SCALE
2020-02-01	1:200
REVISION DATE	REVISION
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SUMMARY

SITE AREA	3,560.13 m ² / 38,321 ft ²
PARKADE	2,688.04 m ² / 28,934 ft ²
LEVEL 01 GFA	1,897.99 m ² / 20,430 ft ²
LEVEL 02 GFA	1,942.26 m ² / 20,906 ft ²
LEVEL 03 GFA	1,934.87 m ² / 20,827 ft ²
LEVEL 04 GFA	1,504.06 m ² / 16,190 ft ²
TOTAL GFA	7,279.18 m ² / 78,352 ft ²
FAR	2.04
A.B.C 2019 BLDG CLASS	3.2.2.50
MAX BUILDING AREA (BA)	1,942.26 m ² / 20,906 ft ²
FIRE RATINGS	1HR
DAYCARE AREA	331 m ² / 3,563 ft ²
CHILDREN ALLOWED	110
OUTDOOR SPACE REQ'D	55 m ² / 594 ft ²
PARKING REQ'D	92
PARKING PROVIDED	92
TANDEM	34 (68 TOTAL)
SINGLE	13
ACCESSIBLE	4 (4 REQ'D)
BIKE STALLS REQ'D	88
BIKE STALLS PROV.	92
STORAGE UNITS	48
FLOOR ELEVATIONS	Geodetic (m)
ROOF PEAK (16m Height Zone)	1327.93
ROOF PEAK (14m Height Zone)	1324.74
LEVEL 04	1320.14
LEVEL 03	1316.96
LEVEL 02	1313.78
LEVEL 01	1310.59
PARKADE SLAB	1307.2

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	4	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11
PROJECT TOTAL	47		
UNIT MIX			
1-BED	8	17.02%	
1-BED + DEN	0	0.00%	
2-BED	5	10.44%	
2-BED + DEN	17	36.17%	
3-BED	5	10.44%	
3-BED + DEN	6	12.77%	
1-BED PAH	4	8.51%	
2-BED PAH	2	4.26%	

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m): ±208.89 m² / 2,248 ft² (7.74%)
- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m): ±40.29 m² / 434 ft² (1.49%)

16m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m): ±490.06 m² / 5,275 ft² (18%)
- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m): ±125.85 m² / 1,355 ft² (5%)



REVISION	DATE	PURPOSE
00	2020-12-09	ISSUED FOR DEVELOPMENT PERMIT
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PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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DRAWING TITLE
GENERAL ARRANGEMENT PLAN LEVEL 01 / GROUND FLOOR

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A-3050-FD-211

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2020-02-01	1:200
REVISION DATE	REVISION
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PLAN
SCALE: AS NOTED



SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	± 2,688.04	28,934
LEVEL 01 GFA	± 1,897.99	20,430
LEVEL 02 GFA	± 1,942.26	20,906
LEVEL 03 GFA	± 1,934.87	20,827
LEVEL 04 GFA	± 1,504.06	16,190
TOTAL GFA	± 7,279.18	78,352
FAR	± 2.04	

A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26	20,906
FIRE RATINGS	1HR	

	m ²	ft ²
DAYCARE AREA	± 331	3,563
CHILDREN ALLOWED	± 110	
OUTDOOR SPACE REQ'D	± 55	594

PARKING REQ'D	92	87
PARKING PROVIDED		
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	

BIKE STALLS REQ'D	88
BIKE STALLS PROV.	92
STORAGE UNITS	48

FLOOR ELEVATIONS	Geodetic (m)
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ROOF PEAK (14m Height Zone)	1324.74
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LEVEL 03	1316.96
LEVEL 02	1313.78
LEVEL 01	1310.59
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FLOOD HAZARD
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UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
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LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL	47
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UNIT MIX		
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1-BED + DEN	0	0.00%
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2-BED + DEN	17	36.17%
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ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA	± 2,697.56 m ² / 29,036 ft ²
14m HEIGHT ZONE	
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16m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ± 490.06 m ² / 5,275 ft ² (18%)	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ± 125.85 m ² / 1,355 ft ² (5%)	



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PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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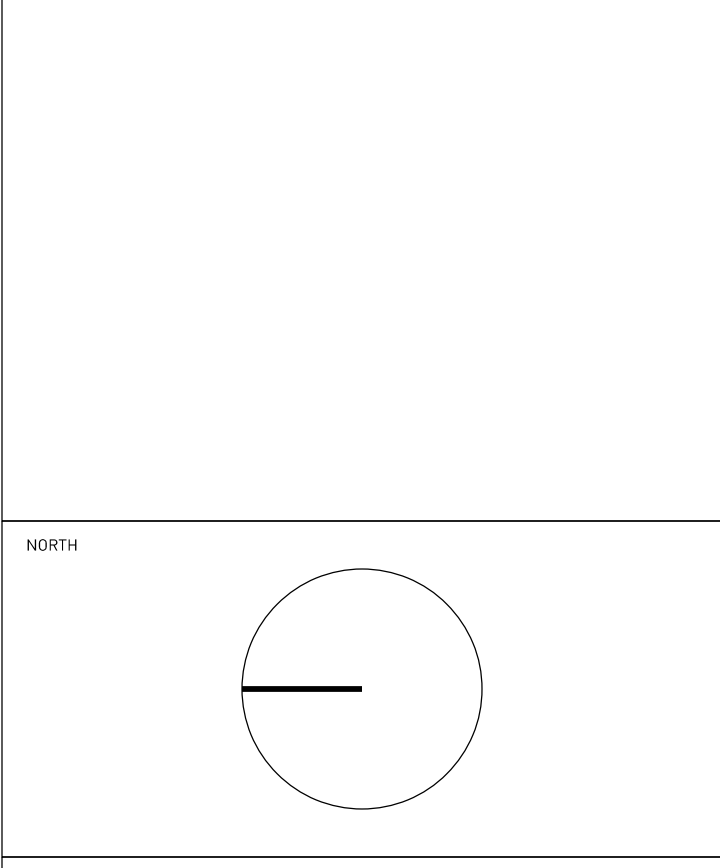
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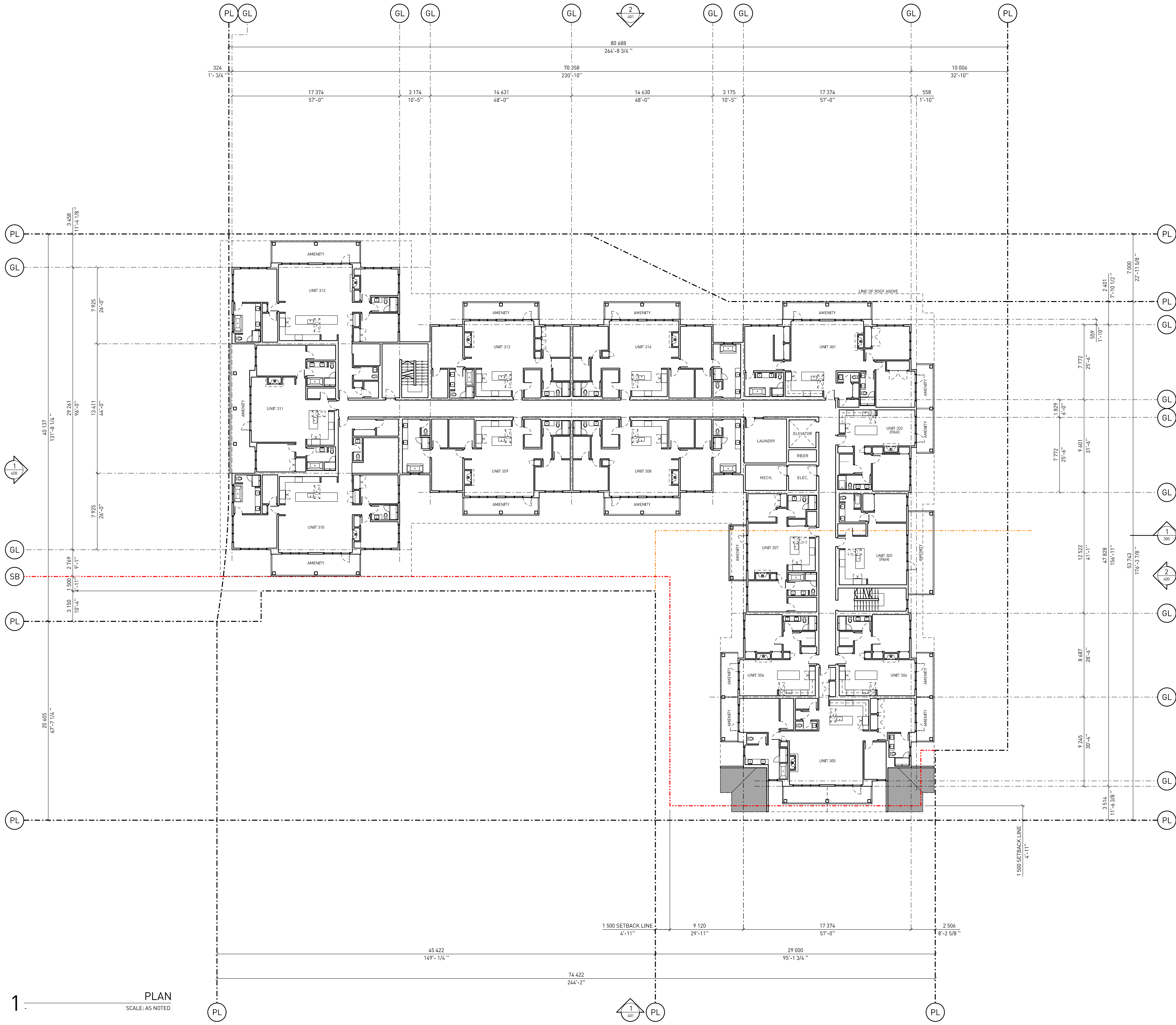
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GENERAL ARRANGEMENT PLAN LEVEL 02

A-3050-FD-212

DRAWING DATE	SCALE @ ANSI D
2020-02-01	1:200
REVISION DATE	REVISION
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SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	2,688.04	28,934
LEVEL 01 GFA	1,897.99	20,430
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FAR	2.04	
A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26	20,906
FIRE RATINGS	1HR	
DAYCARE AREA	331	3,563
CHILDREN ALLOWED	110	
OUTDOOR SPACE REQ'D	55	594
PARKING REQ'D		87
PARKING PROVIDED	92	
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	
BIKE STALLS REQ'D	88	
BIKE STALLS PROV.	92	
STORAGE UNITS	48	
FLOOR ELEVATIONS	Geodetic (m)	
ROOF PEAK (16m Height Zone)	1327.93	
ROOF PEAK (14m Height Zone)	1324.74	
LEVEL 04	1320.14	
LEVEL 03	1316.96	
LEVEL 02	1313.78	
LEVEL 01	1310.59	
PARKADE SLAB	1307.2	

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	6	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL

PROJECT TOTAL	47
---------------	----

UNIT MIX

1-BED	8	17.02%
1-BED + DEN	0	0.00%
2-BED	5	10.44%
2-BED + DEN	17	36.17%
3-BED	5	10.44%
3-BED + DEN	6	12.77%
1-BED PAH	4	8.51%
2-BED PAH	2	4.26%

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m): ±208.89 m² / 2,248 ft² (7.74%)
- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m): ±40.29 m² / 434 ft² (1.49%)

16m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m): ±490.06 m² / 5,275 ft² (18%)
- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m): ±125.85m² / 1,355 ft² (5%)



REVISION	DATE	PURPOSE
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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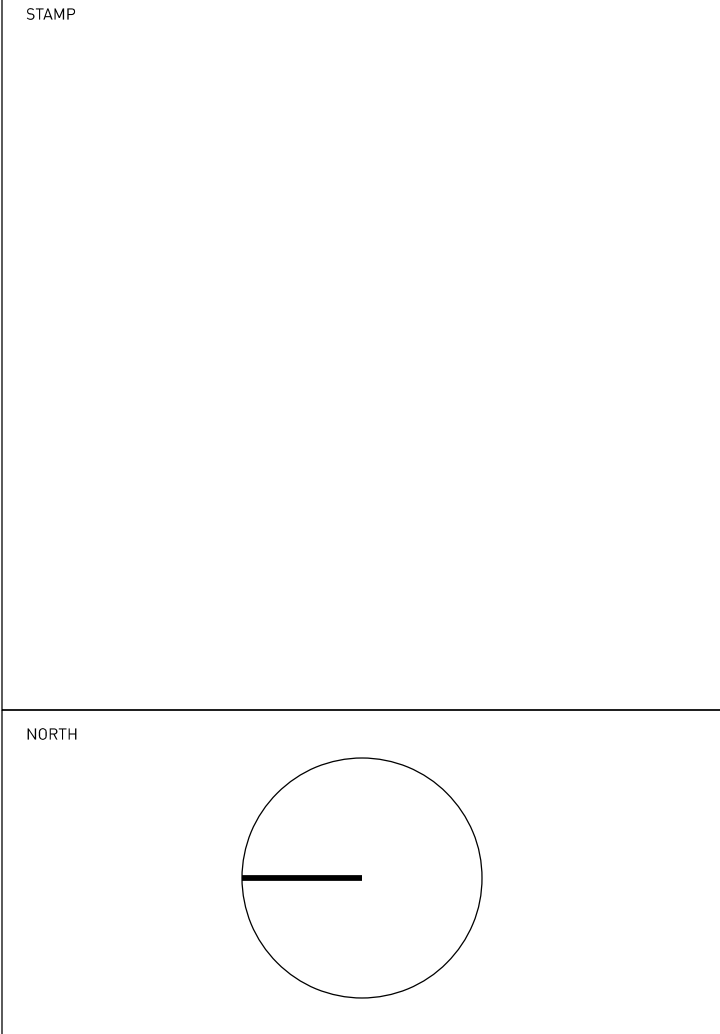
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FOR DEVELOPMENT PERMIT PL20200433

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HA	RC	JH

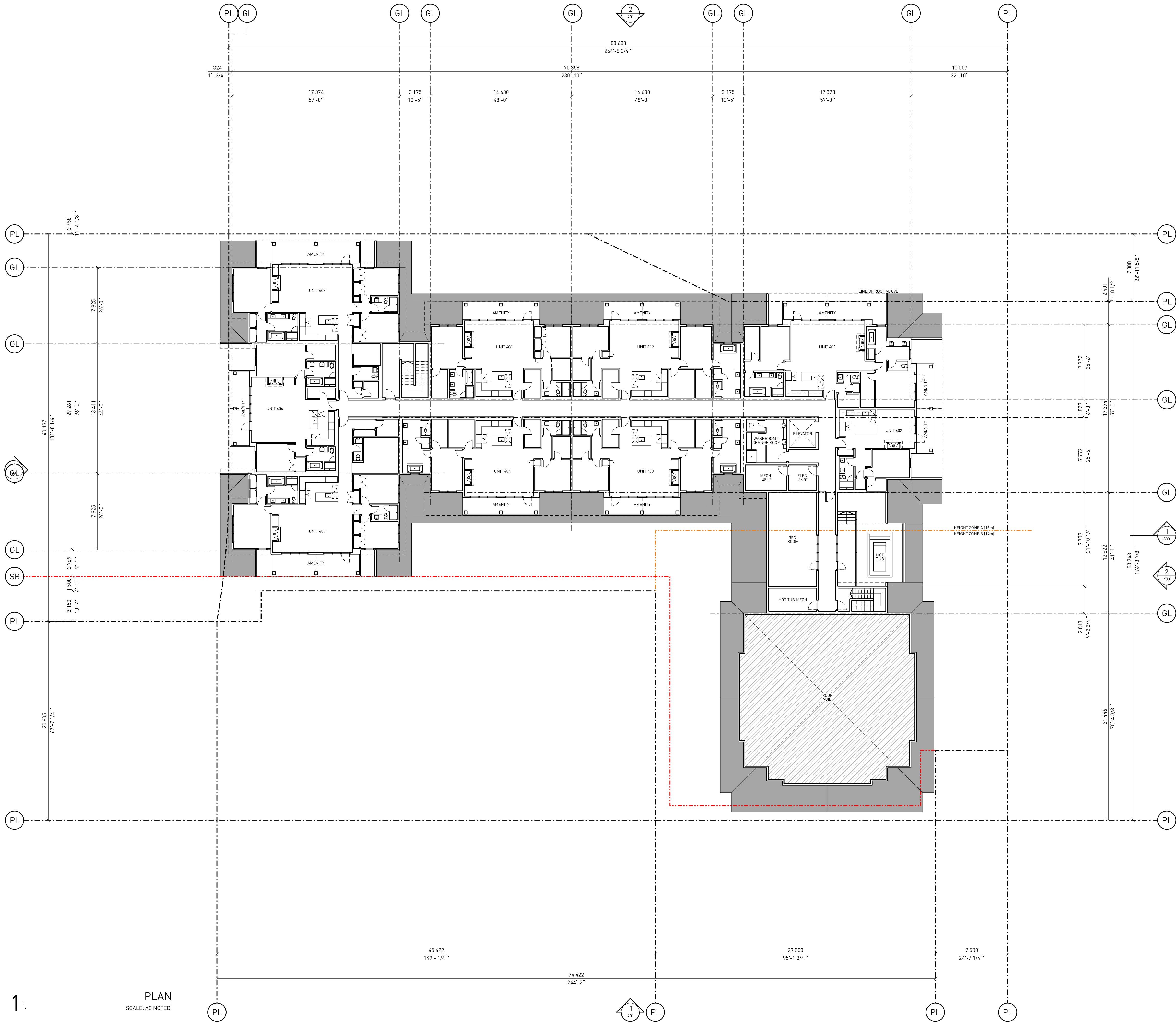


DRAWING TITLE
**GENERAL ARRANGEMENT
PLAN
LEVEL 03**

DRAWING
A-3050-FD-213

DRAWING DATE	SCALE @ ANSI D
2020-02-01	1:200

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SUMMARY

SITE AREA	3,560.13 m ²	38,321 ft ²
PARKADE	± 2,688.04 m ²	28,934 ft ²
LEVEL 01 GFA	± 1,897.99 m ²	20,430 ft ²
LEVEL 02 GFA	± 1,942.26 m ²	20,906 ft ²
LEVEL 03 GFA	± 1,934.87 m ²	20,827 ft ²
LEVEL 04 GFA	± 1,504.06 m ²	16,190 ft ²
TOTAL GFA	± 7,279.18 m²	78,352 ft²
FAR	± 2.04	
A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26 m ²	20,906 ft ²
FIRE RATINGS	1HR	
DAYCARE AREA	± 347 m ²	3,735 ft ²
CHILDREN ALLOWED	± 116 m ²	1,248 ft ²
OUTDOOR SPACE REQ'D	± 58 m ²	623 ft ²
PARKING REQ'D		87
PARKING PROVIDED	92	
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	
BIKE STALLS REQ'D	83	
BIKE STALLS PROV.	88	
STORAGE UNITS	48	

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	6	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11
PROJECT TOTAL	47		

UNIT MIX

1-BED	8	17.02%
1-BED + DEN	0	0.00%
2-BED	5	10.64%
2-BED + DEN	17	36.17%
3-BED	5	10.64%
3-BED + DEN	6	12.77%
1-BED PAH	4	8.51%
2-BED PAH	2	4.26%

UNIT SIZE RANGE

	LOW (ft ²)	HIGH (ft ²)
1-BED	± 625	775
2-BED	± 1,013	1,162
3-BED	± 1,400	2,000
COMMON AMENITY	± 216	521

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) ±208.89 m ² / 2,248 ft ² (7.74%)	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) ±40.29 m ² / 434 ft ² (1.49%)	
16m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ±490.06 m ² / 5,275 ft ² (18%)	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ±125.85m ² / 1,355 ft ² (5%)	



REVISION	DATE	PURPOSE
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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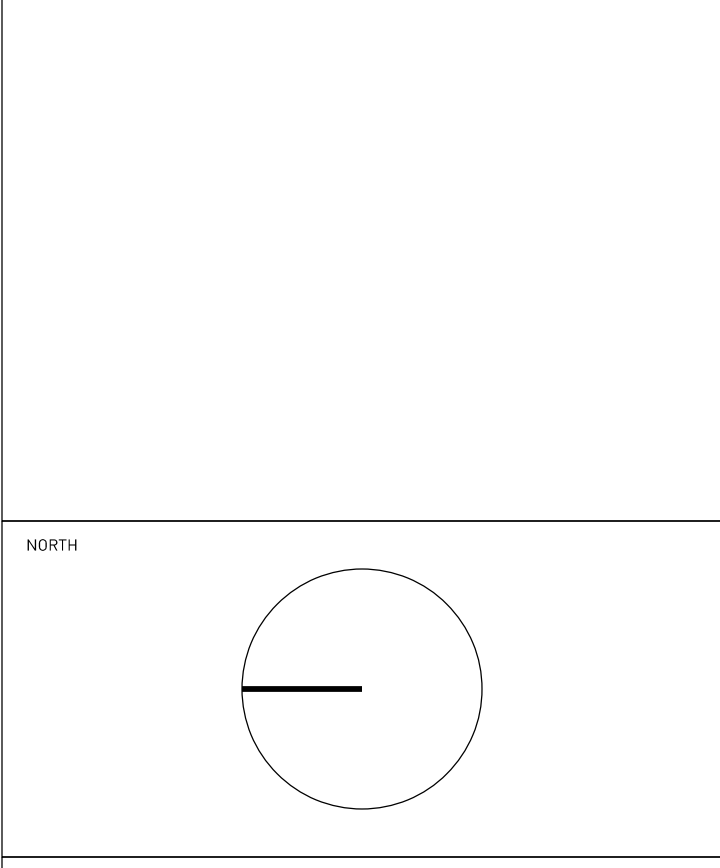
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HA	RC	JH

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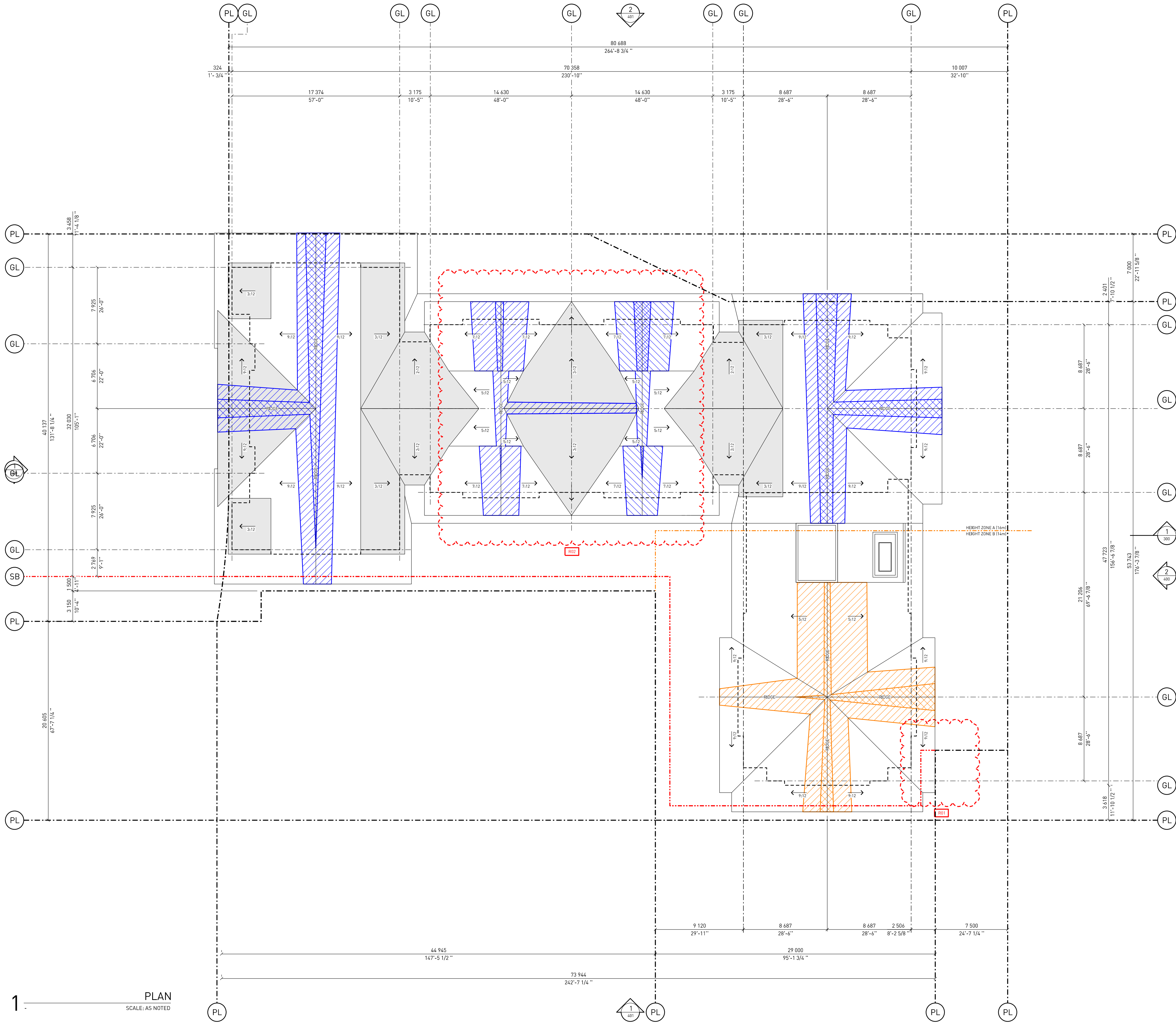
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GENERAL ARRANGEMENT PLAN LEVEL 04

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A-3050-FD-214

DRAWING DATE	SCALE @ ANSI D
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1
PLAN
SCALE: AS NOTED



SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	± 2,688.04	28,934
LEVEL 01 GFA	± 1,897.99	20,430
LEVEL 02 GFA	± 1,942.26	20,906
LEVEL 03 GFA	± 1,934.87	20,827
LEVEL 04 GFA	± 1,504.06	16,190
TOTAL GFA	± 7,279.18	78,352
FAR	± 2.04	

A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26	20,906
FIRE RATINGS	1HR	

	m ²	ft ²
DAYCARE AREA	± 331	3,563
CHILDREN ALLOWED	± 110	
OUTDOOR SPACE REQ'D	± 55	594

PARKING REQ'D	92	87
PARKING PROVIDED	34 (68 TOTAL)	
TANDEM	13	
SINGLE	4 (4 REQ'D)	
ACCESSIBLE		

BIKE STALLS REQ'D	88
BIKE STALLS PROV.	92
STORAGE UNITS	48

FLOOR ELEVATIONS	Geodetic (m)
ROOF PEAK (16m Height Zone)	1327.93
ROOF PEAK (14m Height Zone)	1324.74
LEVEL 04	1320.14
LEVEL 03	1316.96
LEVEL 02	1313.78
LEVEL 01	1310.59
PARKADE SLAB	1307.2

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	6	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL	47
---------------	----

UNIT MIX	Count	Percentage
1-BED	8	17.02%
1-BED + DEN	0	0.00%
2-BED	5	10.64%
2-BED + DEN	17	36.17%
3-BED	5	10.64%
3-BED + DEN	6	12.77%
1-BED PAH	4	8.51%
2-BED PAH	2	4.26%

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA	± 2,697.56 m ² / 29,036 ft ²
14m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) ± 208.89 m ² / 2,248 ft ² (7.74%)	
ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) ± 40.29 m ² / 434 ft ² (1.49%)	
16m HEIGHT ZONE	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ± 490.06 m ² / 5,275 ft ² (18%)	
ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ± 125.85 m ² / 1,355 ft ² (5%)	



REVISION	DATE	PURPOSE
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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HA	RC	JH

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DRAWING TITLE
**GENERAL ARRANGEMENT
PLAN
ROOF LEVEL**

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A-3050-FD-215

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2020-02-01

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3050

PROJECT
SCMV - ARNICA LODGE
-
PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA
LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
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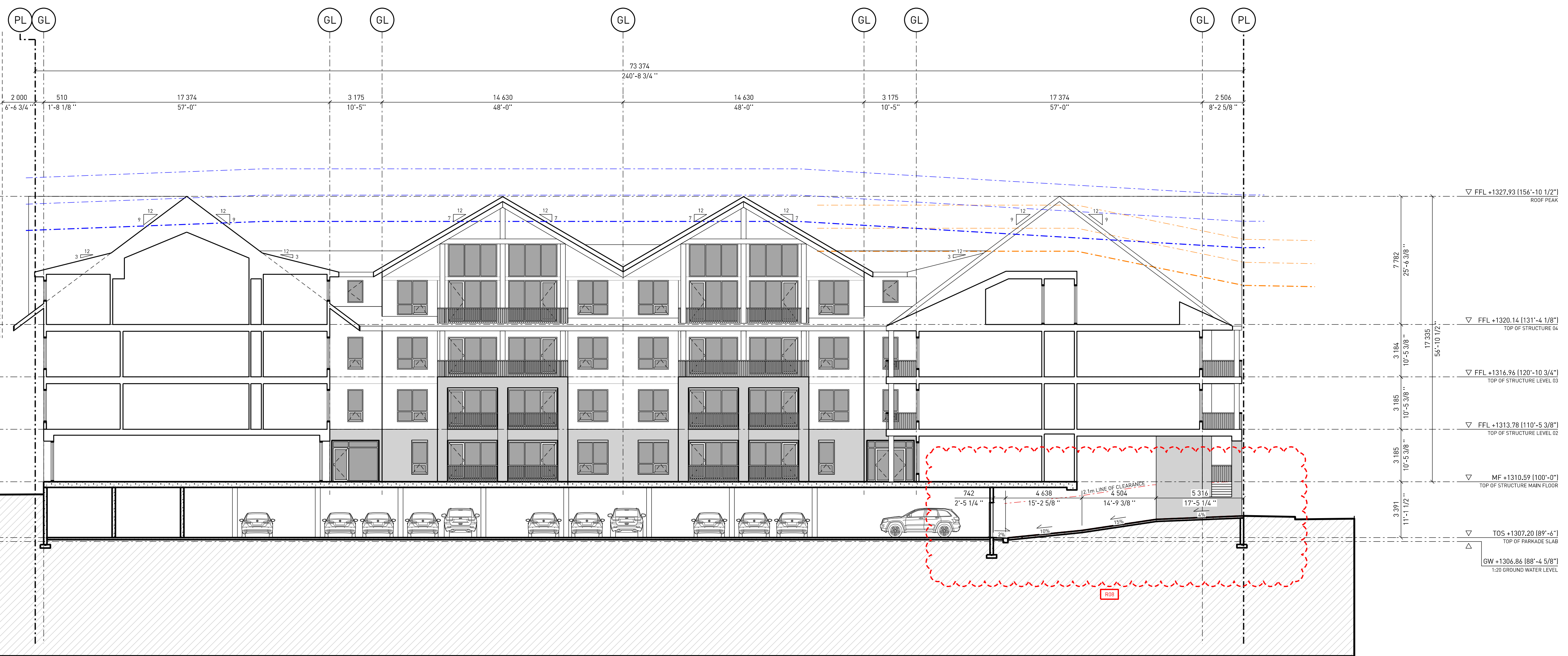
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1 SECTION
AS NOTED

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA : ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) : ±208.89 m² / 2,248 ft² (7.74%)
- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) : ±40.29 m² / 434 ft² (1.49%)

16m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) : ±490.06 m² / 5,275 ft² (18%)
- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) : ±125.85m² / 1,355 ft² (5%)

REVISION	DATE	PURPOSE
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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NORTH

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ELEVATIONS
NORTH + SOUTH

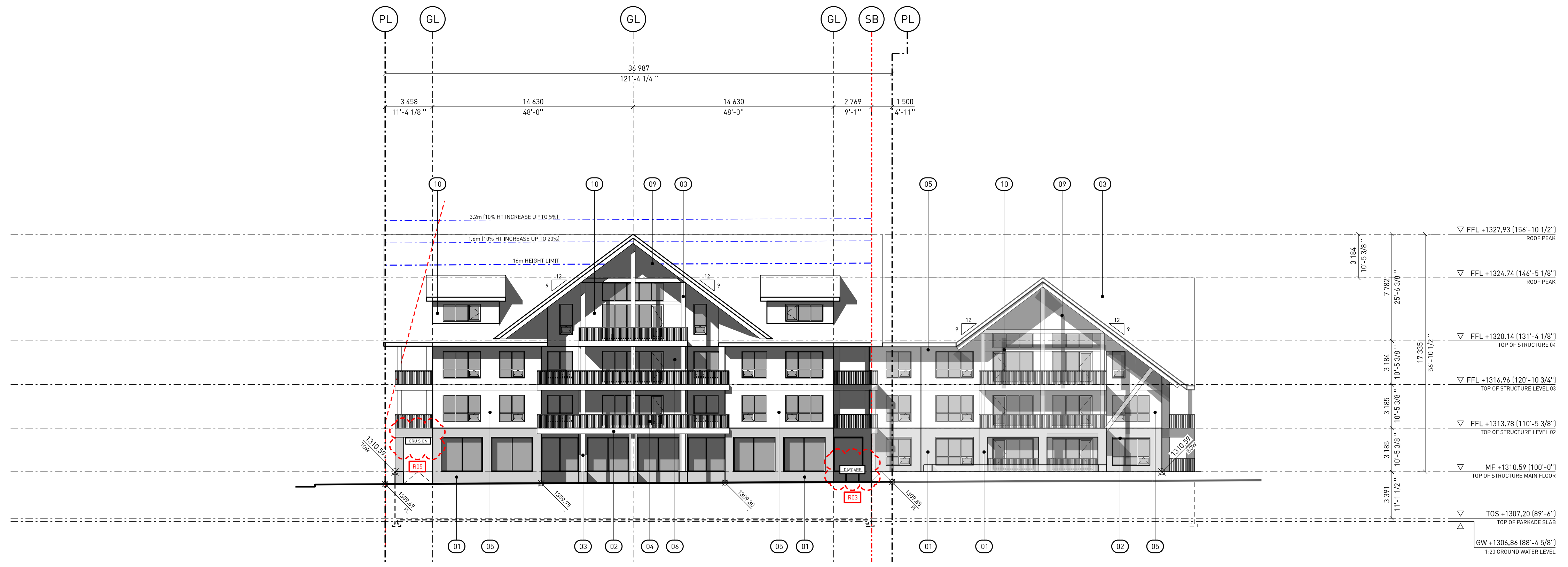
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DRAWING DATE 2020-02-01	SCALE @ ANSI D 1/16" = 1'-0"
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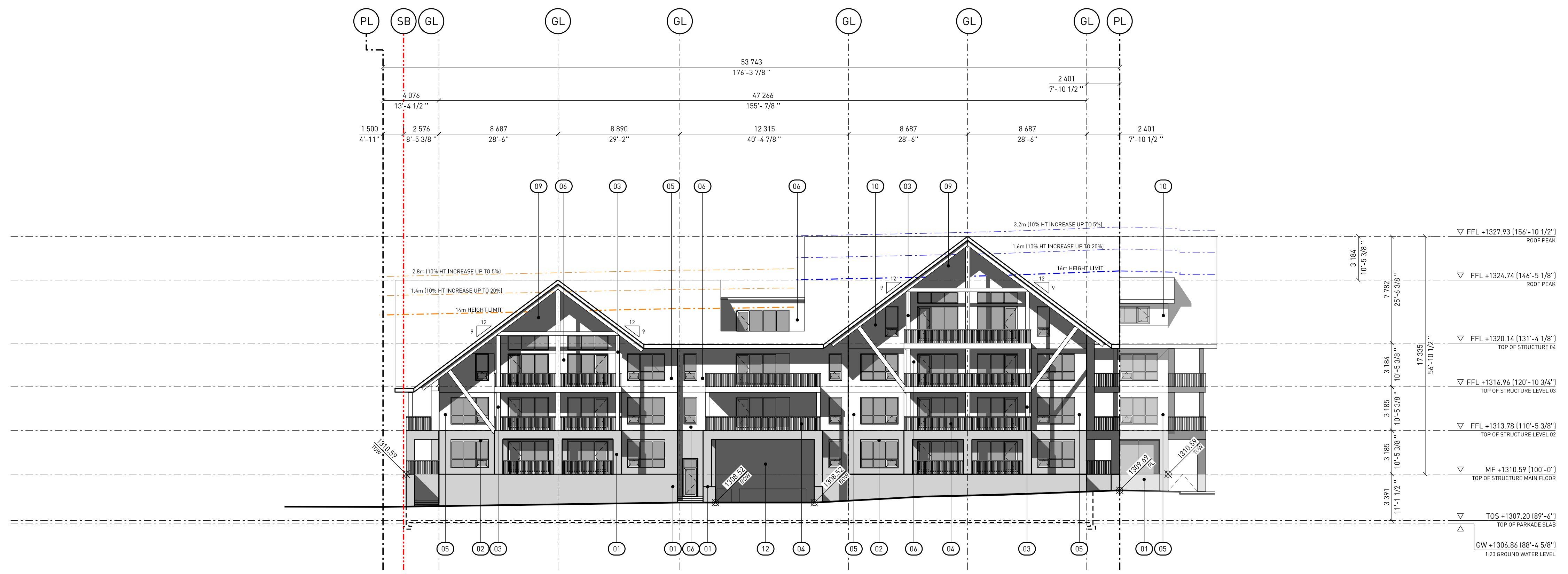
REVISION DATE -	REVISION -
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MATERIAL LEGEND

01	NATURAL STONE COLOUR: GREY / NATURAL
02	PRECAST CONCRETE LINTEL COLOUR: GREY / NATURAL
03	STRUCTURAL TIMBER MEMBER COLOUR: CLEAR / NATURAL
04	VERTICAL WOOD SCREEN / GUARD COLOUR: CLEAR / NATURAL
05	CEMENTITIOUS LAP SIDING COLOUR: DEEP RED
06	PANEL COLOUR: CHARCOAL GREY
07	RIM BOARD COLOUR: DARK GREY
08	WINDOW FRAME COLOUR: BLACK
09	VERTICAL WOOD SIDING COLOUR: CHARCOAL GREY
10	HORIZONTAL WOOD SIDING COLOUR: CHARCOAL GREY
11	COMMERCIAL GLAZING COLOUR: BLACK
12	SMOOTH STUCCO COLOUR: CHARCOAL GREY
13	SMOOTH CONCRETE COLOUR: GREY



1 ELEVATION - NORTH
SCALE: AS NOTED



2 ELEVATION - SOUTH
SCALE: AS NOTED

ROOF HEIGHT BREAKDOWN

TOTAL COMBINED ROOF AREA : ±2,478.06 m² / 26,674 ft²

14m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) : ±212.89 m² / 1,817 ft² (8.22%)
- ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) : ±61.79 m² / 1,140 ft² (2.39%)

16m HEIGHT ZONE

- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) : ±521.34 m² / 5,612 ft² (20%)
- ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) : ±138.21 m² / 1,488 ft² (5%)

REVISION	DATE	PURPOSE
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT	1
BLOCK	1
PLAN	071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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FOR DEVELOPMENT PERMIT PL20200433

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HA	RC	JH

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DRAWING TITLE
ELEVATIONS
EAST + WEST

DRAWING
A-3050-FD-401

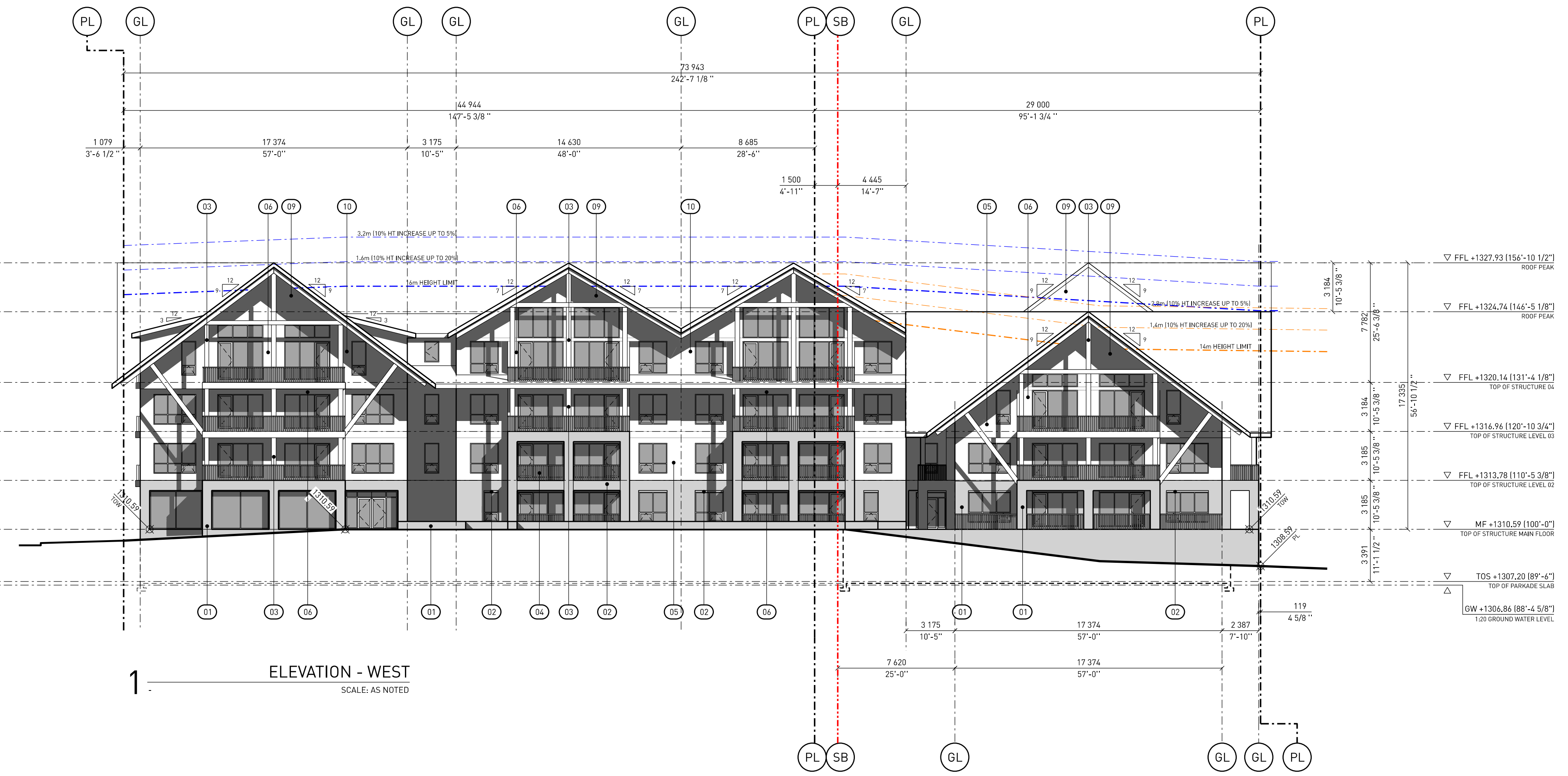
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2020-02-01	1/16" = 1'-0"
REVISION DATE	REVISION
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MATERIAL LEGEND

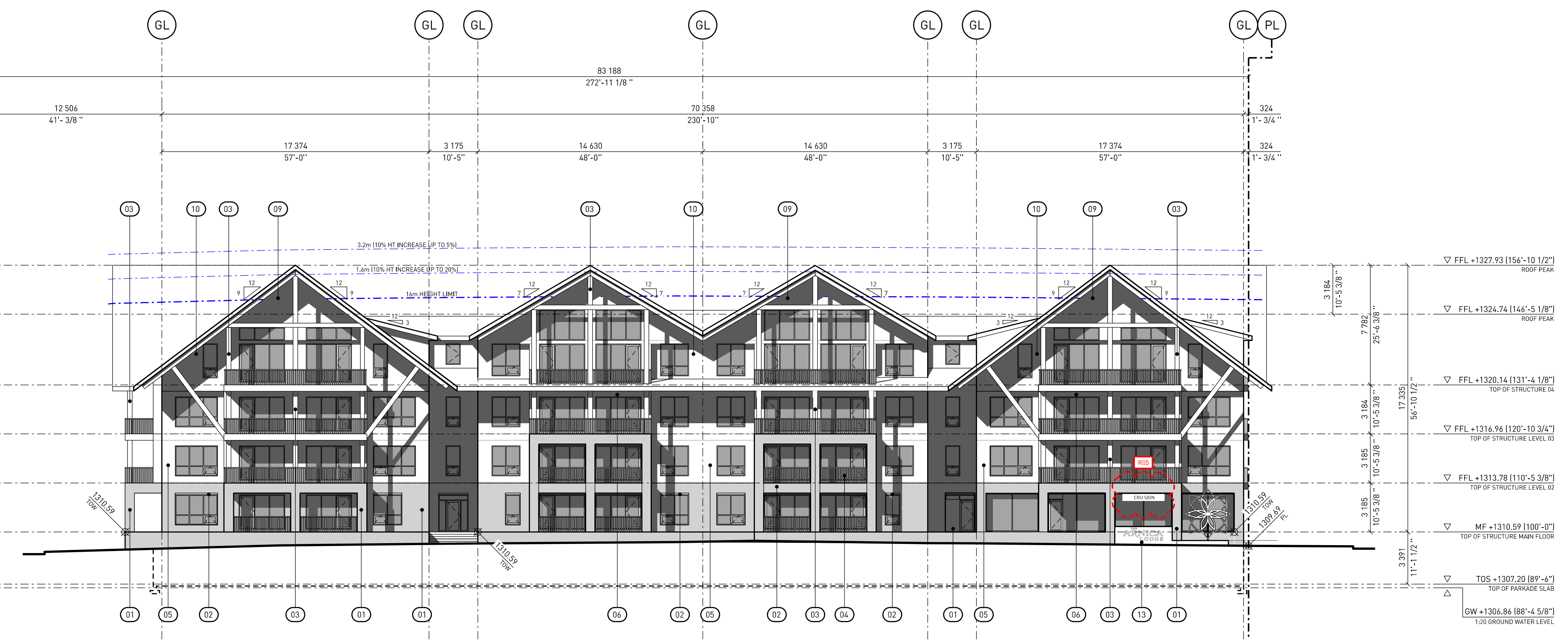
- 01 NATURAL STONE
COLOUR: GREY / NATURAL
- 02 PRECAST CONCRETE LINTEL
COLOUR: GREY / NATURAL
- 03 STRUCTURAL TIMBER MEMBER
COLOUR: CLEAR / NATURAL
- 04 VERTICAL WOOD SCREEN / GUARD
COLOUR: CLEAR / NATURAL
- 05 CEMENTITIOUS LAP SIDING
COLOUR: DEEP RED
- 06 PANEL
COLOUR: CHARCOAL GREY
- 07 RIM BOARD
COLOUR: DARK GREY
- 08 WINDOW FRAME
COLOUR: BLACK
- 09 VERTICAL WOOD SIDING
COLOUR: CHARCOAL GREY
- 10 HORIZONTAL WOOD SIDING
COLOUR: CHARCOAL GREY
- 11 COMMERCIAL GLAZING
COLOUR: BLACK
- 12 SMOOTH STUCCO
COLOUR: CHARCOAL GREY
- 13 SMOOTH CONCRETE
COLOUR: GREY

ROOF HEIGHT BREAKDOWN

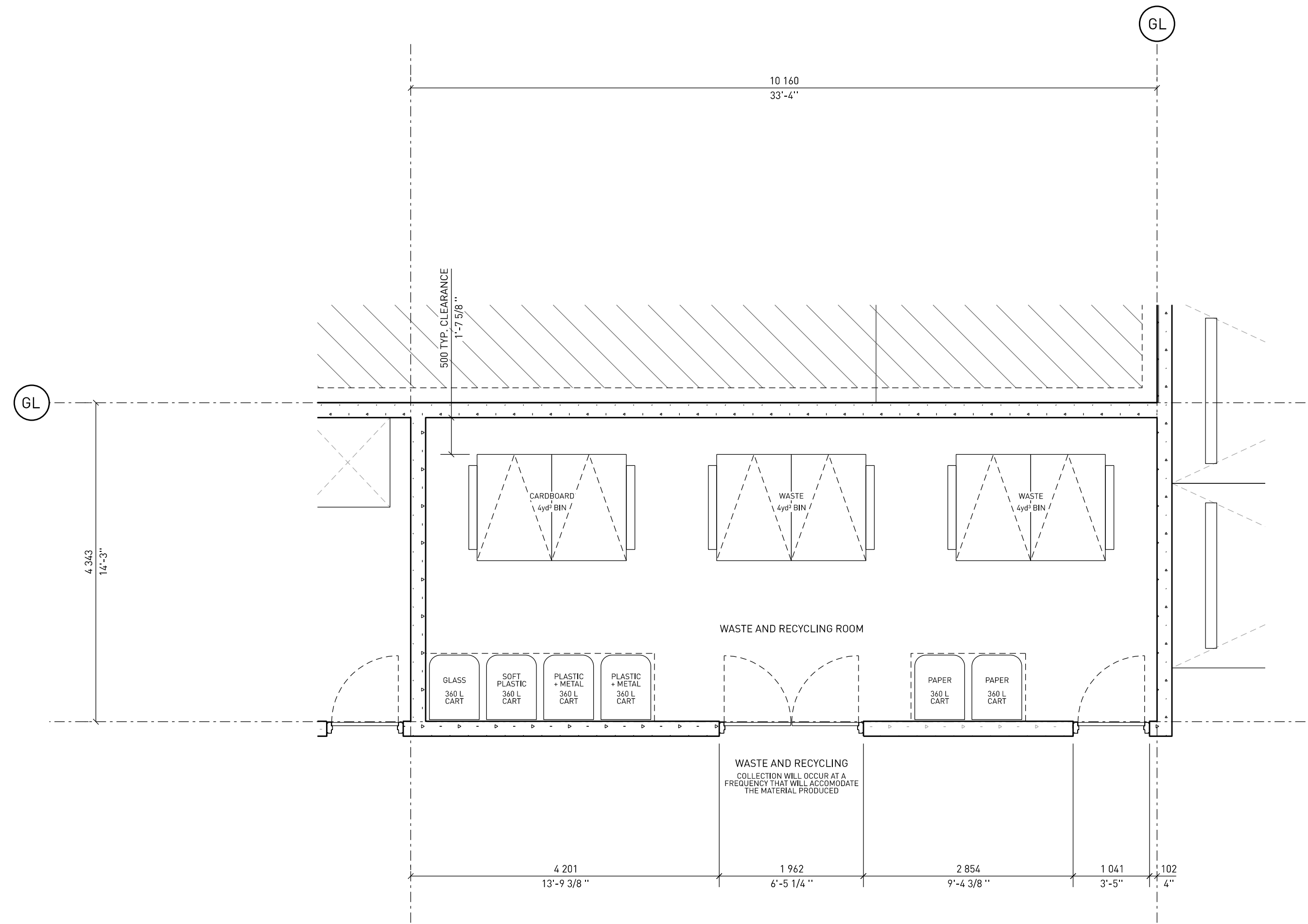
- TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²
- 14m HEIGHT ZONE
 - ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) ±208.89 m² / 2,248 ft² (7.74%)
 - ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) ±40.29 m² / 434 ft² (1.49%)
 - 16m HEIGHT ZONE
 - ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ±490.06 m² / 5,275 ft² (18%)
 - ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ±125.85 m² / 1,355 ft² (5%)



1 ELEVATION - WEST
SCALE: AS NOTED



2 ELEVATION - EAST
SCALE: AS NOTED



1 PLAN
SCALE: AS NOTED

SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	± 2,688.04	28,934
LEVEL 01 GFA	± 1,897.99	20,430
LEVEL 02 GFA	± 1,942.26	20,906
LEVEL 03 GFA	± 1,934.87	20,827
LEVEL 04 GFA	± 1,504.06	16,190
TOTAL GFA	± 7,279.18	78,352
FAR	± 2.04	
A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26	20,906
FIRE RATINGS	1HR	
DAYCARE AREA	± 331	3,563
CHILDREN ALLOWED	± 110	
OUTDOOR SPACE REQ'D	± 55	594
PARKING REQ'D		87
PARKING PROVIDED	92	
TANDEM	34 (68 TOTAL)	
SINGLE	13	
ACCESSIBLE	4 (4 REQ'D)	
BIKE STALLS REQ'D	88	
BIKE STALLS PROV.	92	
STORAGE UNITS	48	
FLOOR ELEVATIONS	Geodetic (m)	
ROOF PEAK (16m Height Zone)	1327.93	
ROOF PEAK (14m Height Zone)	1324.74	
LEVEL 04	1320.14	
LEVEL 03	1316.96	
LEVEL 02	1313.78	
LEVEL 01	1310.59	
PARKADE SLAB	1307.2	

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
Per the Alberta ESRD Flood Hazard Map Application, the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2m per data shown on the ESRD map.

UNIT COUNT & MIX

FLOOR PLAN	1-BED	2-BED	3-BED
LEVEL 01	3	5	2
LEVEL 02	4	6	4
LEVEL 03	4	7	3
LEVEL 04	1	6	2
TOTAL	12	24	11
PROJECT TOTAL	47		
UNIT MIX			
1-BED	8	17.02%	
1-BED + DEN	0	0.00%	
2-BED	5	10.64%	
2-BED + DEN	17	36.17%	
3-BED	5	10.64%	
3-BED + DEN	6	12.77%	
1-BED PAH	4	8.51%	
2-BED PAH	2	4.26%	

ROOF HEIGHT BREAKDOWN

TOTAL ROOF AREA: ±2,697.56 m² / 29,036 ft²

14m HEIGHT ZONE	16m HEIGHT ZONE
<ul style="list-style-type: none"> ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 10% (1.4m) ±208.89 m² / 2,248 ft² (7.74%) ROOF AREA WHICH EXCEEDS 14m HEIGHT BY UP TO 20% (2.8m) ±40.29 m² / 434 ft² (1.49%) 	<ul style="list-style-type: none"> ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 10% (1.6m) ±490.06 m² / 5,275 ft² (18%) ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m) ±125.85m² / 1,355 ft² (5%)

REVISION	DATE	PURPOSE
00	2020-12-09	ISSUED FOR DEVELOPMENT PERMIT
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

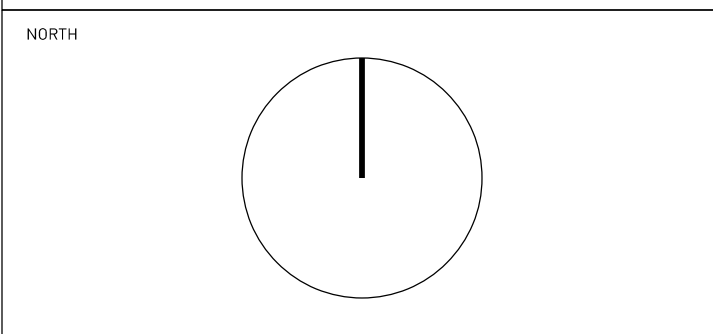
PROJECT
MR ROB MACHIDA
403.971.4833
rob@hindle-architects.com

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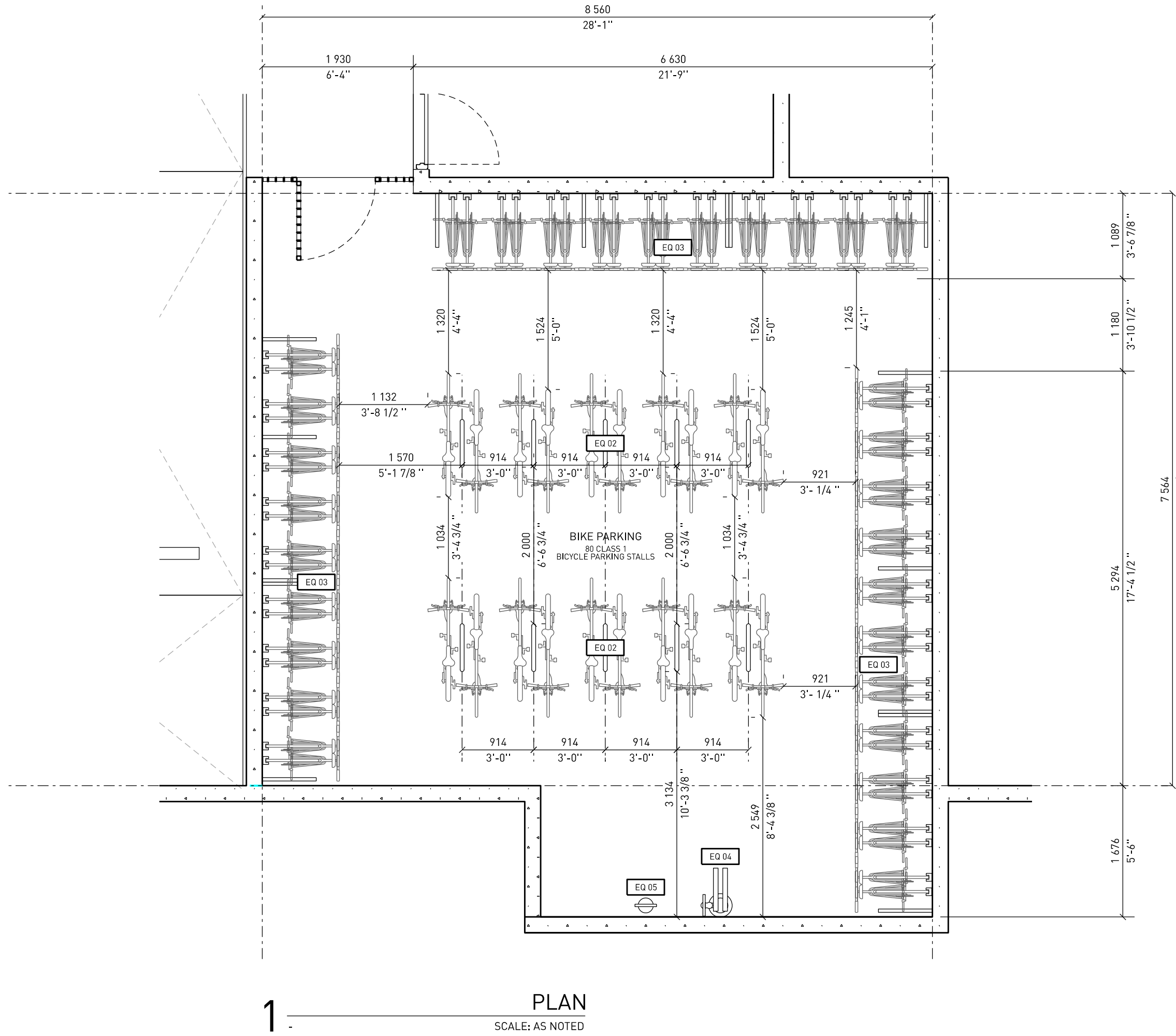
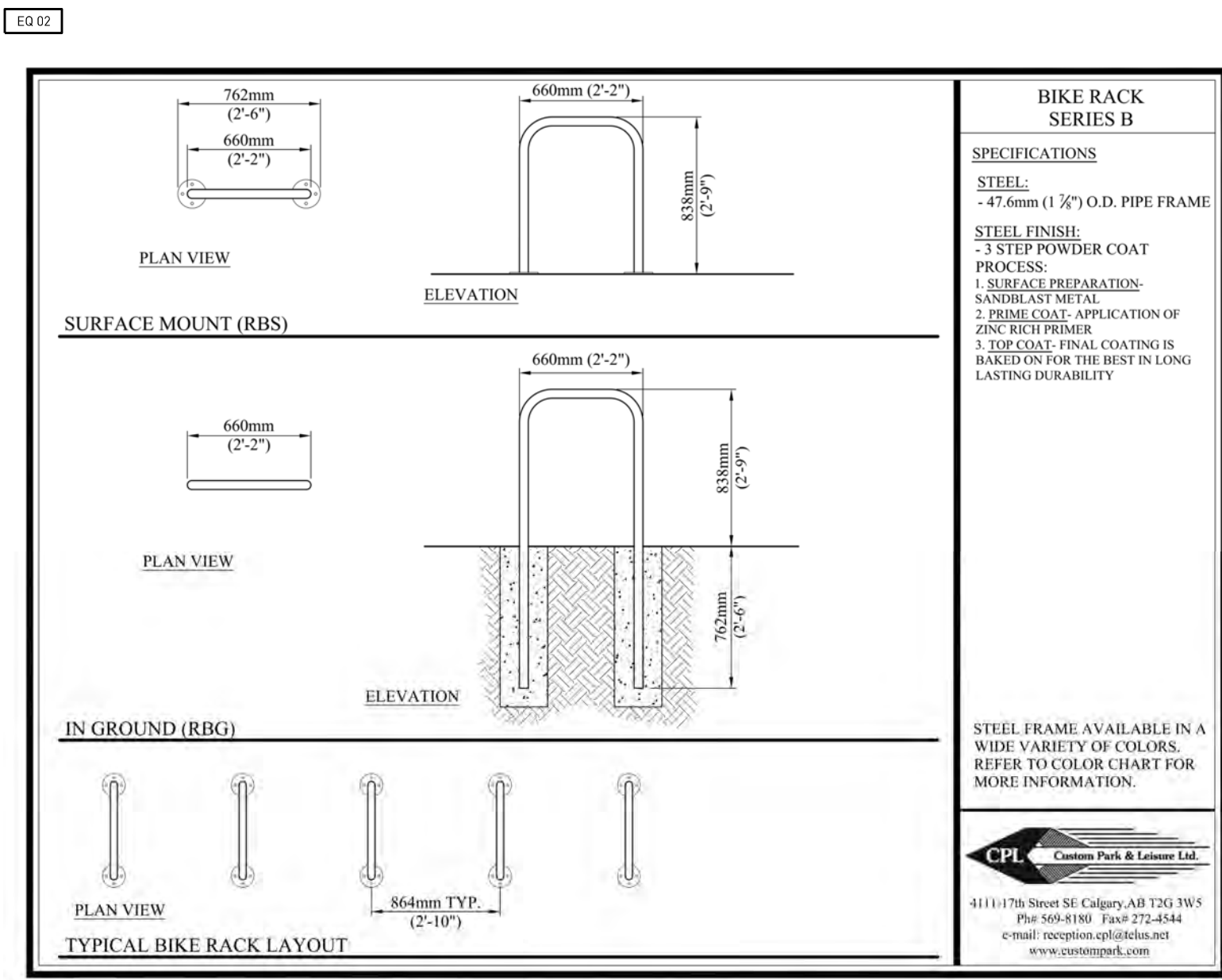


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PLAN
WASTE AND RECYCLING

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A-3050-FD-500

DRAWING DATE 2020-02-01 SCALE @ ANSI D 1:50

REVISION DATE - REVISION -



SUMMARY

	m ²	ft ²
SITE AREA	3,560.13	38,321
PARKADE	2,688.04	28,934
LEVEL 01 GFA	1,897.99	20,430
LEVEL 02 GFA	1,942.26	20,906
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A.B.C 2019 BLDG CLASS	3.2.2.50	
MAX BUILDING AREA (BA)	1,942.26	20,906
FIRE RATINGS	1HR	

	m ²	ft ²
DAYCARE AREA	331	3,563
CHILDREN ALLOWED	110	
OUTDOOR SPACE REQ'D	55	594

PARKING REQ'D	92	87
PARKING PROVIDED	34 (68 TOTAL)	
TANDEM	13	
SINGLE	4 (4 REQ'D)	

BIKE STALLS REQ'D	88
BIKE STALLS PROV.	92

STORAGE UNITS	48
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FLOOR ELEVATIONS	Geodetic (m)
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LEVEL 01	3	5	2
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LEVEL 04	1	6	2
TOTAL	12	24	11

PROJECT TOTAL	47
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UNIT MIX	Count	Percentage
1-BED	8	17.02%
1-BED + DEN	0	0.00%
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2-BED + DEN	17	36.17%
3-BED	5	10.64%
3-BED + DEN	6	12.77%
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ROOF AREA WHICH EXCEEDS 16m HEIGHT BY UP TO 20% (3.2m): ±125.85 m ² / 1,355 ft ² (5%)



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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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rob@hindle-architects.com

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FOR DEVELOPMENT PERMIT PL20200433

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DRAWING TITLE
PLAN BIKE STORAGE

DRAWING
A-3050-FD-510

DRAWING DATE
2020-02-01

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GROUND CONTROL SYSTEMS
Innovative Bike & Board Parking

OFFSET® VERTICAL BIKE RACK
Cut Sheet & Quick Specifications

MATERIALS & FEATURES

- 2 bicycles secured - long term or short term parking solution*
- ASTM A36 Steel for all structural plate (standard)
- 1/2" Solid Steel Rod
- Polyvinyl protective sleeve

FINISH

- DuraPlas® black thermoplastic coating

MOUNTING OPTIONS

- Wall Mount
- Each Offset Vertical Bike Rack mounts to concrete masonry walls and wooden ledger boards.
- Staging Systems
- Staging systems available. See Side Stage™ and Center Stage™ product pages for additional info.
- Rail Wall Mount
- May require Unistrut™ rails for wood studded wall mounting, call for details.

SPACE USE RECOMMENDATIONS

Distance from ground to lowest mounting edge: 42"

Ceiling height: Minimum 92" (no obstructions)

Side wall to rack center:
Minimum 20", recommended 24"

Distance between racks center to center:
Minimum 28", recommended 31"

For layout, ordinance or planning assistance, please contact our planning team @ 800-630-7225

Visit GoConfigure™ app groundcontrolsystems.com to build parking layouts and downloadable PDFs

*Please contact us for additional information on Offset as a long-term parking solution.

GROUND CONTROL SYSTEMS
Innovative Bike & Board Parking

Public Work Stand - 111110
Cut Sheet & Quick Specifications

MATERIALS

- Thick-walled DOM tubing
- Added cabled tools are available
- Stainless steel aircraft cable

FINISH

- UV Resistant Powder Coat (custom colors available)
- Stainless Steel
- Galvanized Steel

MOUNTING

- Surface Mount
- Bolts to concrete with 3/8" anchors
- Note: this unit is to be mounted to concrete only.

MINIMAL SPACE USE RECOMMENDATION

NOTE: These setbacks are for the bike pump and work stand when installed together

- Public Work Stand
- Walls or Object Setbacks: Minimum 48"
- Parallel Wall Setbacks: Minimum 12"
- Perpendicular Street Setbacks: Minimum 60"
- Parallel Street Setbacks: Minimum 96"

*These are our suggested minimal clearances

Public Bike Pump or High Security Bike Pump
Mount in-line with the flange for the Work Stand maximum 6" away.

GROUND CONTROL SYSTEMS
Innovative Bike & Board Parking

High Security Public Bike Pump - PB-141136
Cut Sheet & Quick Specifications

MATERIALS

- Stainless steel exterior
- Rubber exterior and braided steel core hose
- Presta/Schrader pump head
- Impact resistant pressure gauge

FINISH

- Stainless Steel
- Long-lasting, highly durable and resistant to damage from harsh weather

MOUNTING

- Surface Mount
- In-Ground Mount

MINIMAL SPACE USE RECOMMENDATION

Note: These setbacks are for the bike pump and work stand when installed together

- Public Work Stand
- Walls or Object Setbacks: Minimum 48"
- Parallel Wall Setbacks: Minimum 12"
- Perpendicular Street Setbacks: Minimum 60"
- Parallel Street Setbacks: Minimum 96"

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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT 1
BLOCK 1
PLAN 071 5055

HINDLE ARCHITECTS

136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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rob@hindle-architects.com

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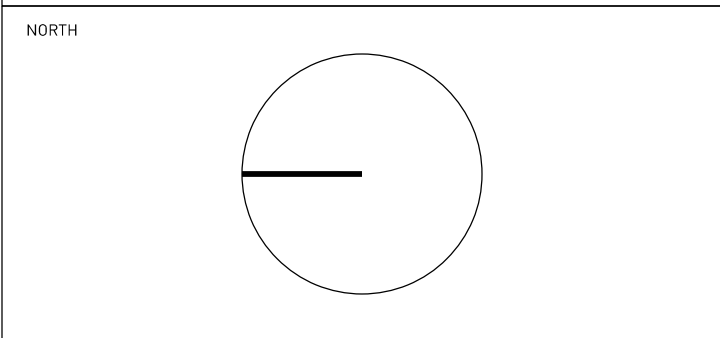
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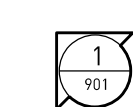
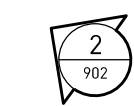
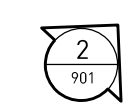
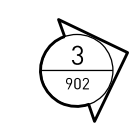
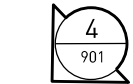
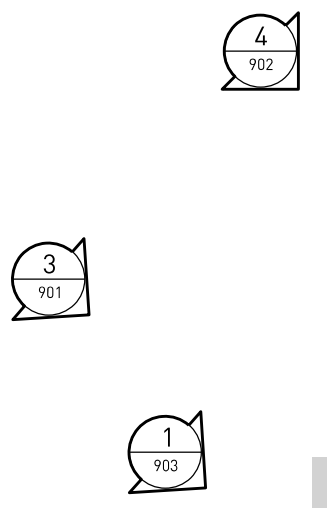
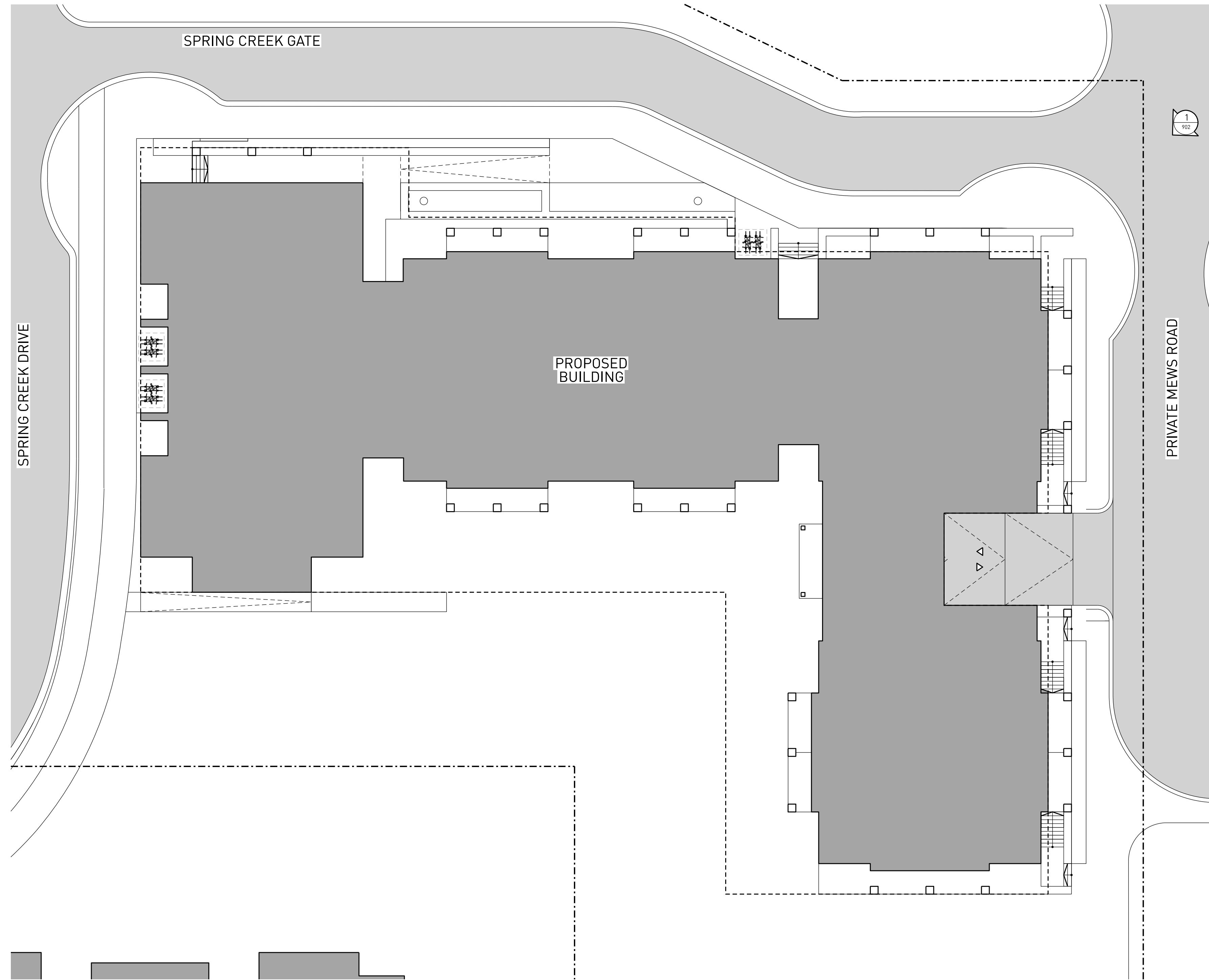


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KEYPLAN

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SW AERIAL



2 VISUALIZATION
NW AERIAL



3 VISUALIZATION
NE AERIAL



4 VISUALIZATION
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3050

PROJECT
SCMV - ARNICA LODGE

PROPOSED 1305 SPRING CREEK GATE
CANMORE, ALBERTA, CANADA

LOT	1
BLOCK	1
PLAN	071 5055

HINDLE ARCHITECTS
136-2451 DIEPPE AVENUE SW
CALGARY / ALBERTA / CANADA

PROJECT
MR ROB MACHIDA
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SUMMER SOLSTICE

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12 PM



2 PM



4 PM



SPRING / FALL EQUINOX

10 AM



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4 PM



WINTER SOLSTICE

10 AM



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3050

PROJECT
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PROPOSED 1305 SPRING CREEK GATE
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LOT 1
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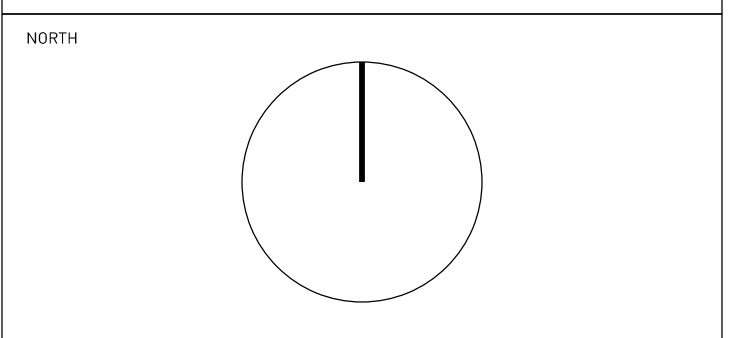
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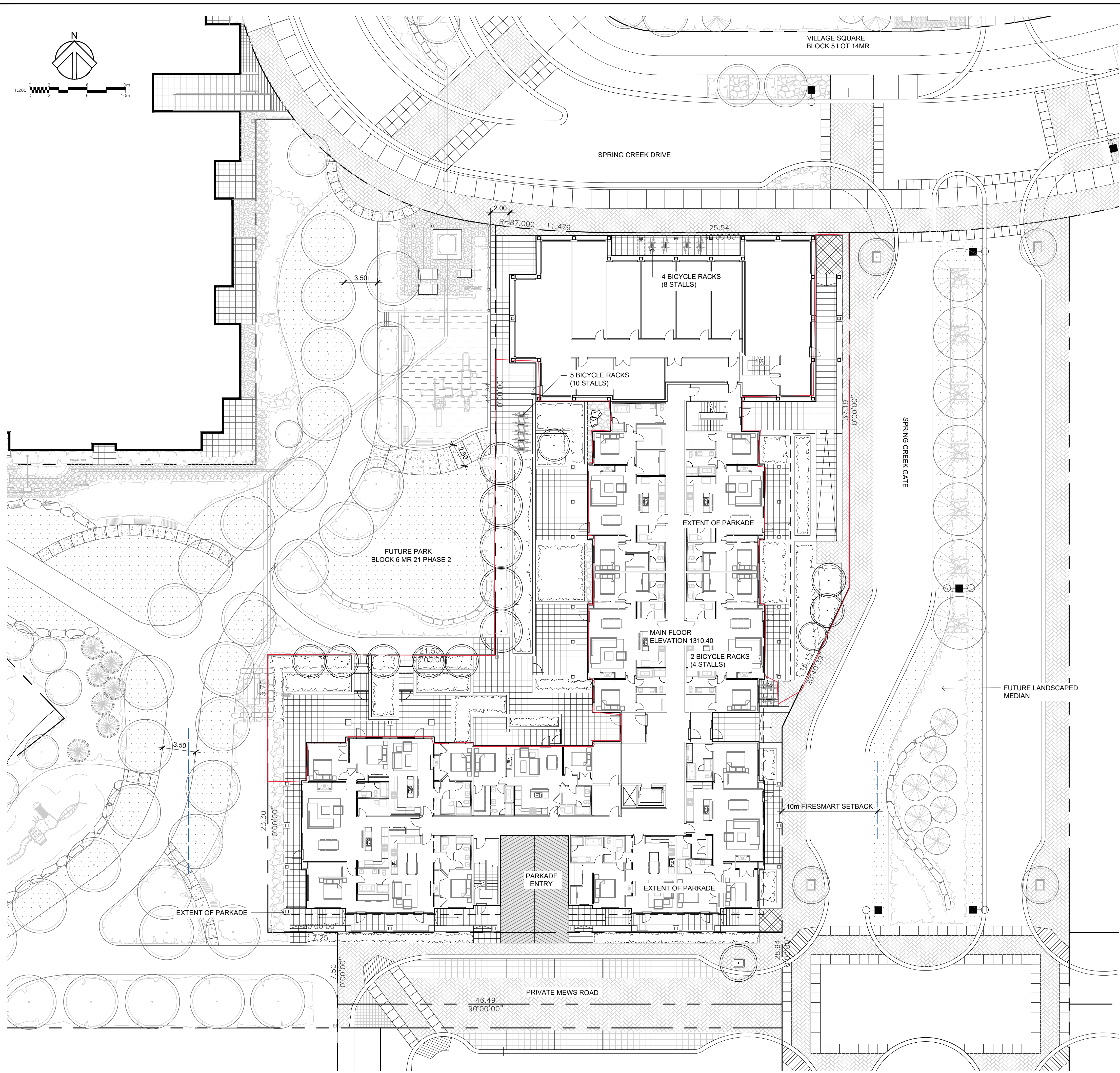
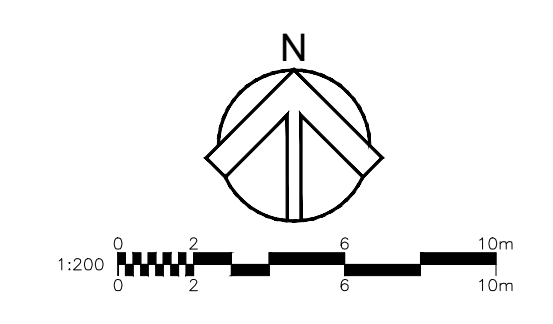


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LEGEND

PROPERTY LINE: - - - - -

EDGE OF PARKADE: [Pattern]

CONCRETE SIDEWALK OR PATIO WITH JOINTING PATTERN, NON-SLIP: [Pattern]

CONCRETE PAVERS AT ROOF DECK AND/OR CONCRETE PATIO: [Pattern]

CONCRETE PAVERS AT STREETSCAPE: [Pattern]

RUBBER SURFACE AT PLAY AREA: [Pattern]

DECORATIVE RIVER STONE WASHED ROCK GROUND COVER 75mm-150mm DIAMETER x 200mm DEPTH OVER BLACK FILTER FABRIC: [Pattern]

PRECAST PLANTER WALL: [Symbol]

STONE PLANTER WALL: [Symbol]

SPECIMEN BOULDERS: [Symbol]

EXTERIOR BICYCLE U-RACK QTY: 11 (22 BICYCLE PARKING SPACES): [Symbol]

FENCE AND GATE AT PLAY AREA: [Symbol]

BENCH / PATIO FURNITURE: [Symbol]

AREA CALCULATIONS

SITE AREA	3,662 m ²
BUILDING FOOTPRINT	50.8% 1,858 m ²
MEWS VEHICULAR ROAD AND CURB	8.6% 314 m ²
VEHICULAR PARKADE RAMP	1.6% 62 m ²
LANDSCAPE AREA AT GRADE	18.4% 673 m ²
LANDSCAPE AREA OVER PARKADE	20.6% 755 m ²
TOTAL LANDSCAPE AREA INCLUDING PATIOS, WALKWAYS AND PEDESTRIAN AREAS	39% 1,428 m ²

*ALL AREAS MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.

SHRUB AND GROUND COVER PLANTING AND MULCH.
ALL PLANTING AT GRADE AT PERIMETER OF THE BUILDING TO ADHERE TO THE TOWN OF CANMORE DISCRETIONARY PLANT SPECIES LIST FOR URBAN MR AREAS. DETAILED SHRUB PLANTING PLAN TO BE COMPLETED AT CONSTRUCTION DRAWING PHASE.

STONE MULCH AT PLANTING BEDS

SHRUB COUNT: 180

LARGE GROWING SHRUBS:
MINIMUM 600mm HEIGHT OR SPREAD, 5 GAL CONTAINER

WATERTON MOCKORANGE	PHILADELPHUS LEWISII 'WATERTON'
---------------------	---------------------------------

LOW GROWING SHRUBS AND PERENNIALS:
MINIMUM 300mm HEIGHT OR SPREAD, 2 GAL CONTAINER

POTENTILLA (VAR SPECIES)	POTENTILLA FRUTICOSA
ALPINE CURRANT	RIBES ALPINUM
BIRCH LEAVED SPIREA	SPIRAEA BETULIFOLIA
ANTHONY WATERER SPIREA	SPIRAEA JAPONICA 'ANTHONY WATERER'
FROEBEL SPIREA	SPIRAEA JAPONICA 'FROBELII'
GOLDFLAME SPIREA	SPIRAEA JAPONICA 'GOLDFLAME'
WILD ROSE	ROSA WOODSII
PRICKLY ROSE	ROSA ACICULARIS

DECIDUOUS TREES
QTY: 15

6 @ 75mm CAL.
6 @ 50mm CAL.
3 @ 35mm CAL.

DECIDUOUS TREES OFF-PROPERTY IN STREETSCAPE
QTY: 2

PRAIRIE SPIRE GREEN ASH	FRAXINUS PENNSYLVANICA
TREMBLING ASPEN	POPULUS TREMULOIDES
PINCHERRY (PARKADE ROOF ONLY)	PRUNUS PENNSYLVANICA

ALL PLANT MATERIAL IS OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CANMORE AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK

--- 1.5m FIRESMART SETBACK

ALL PLANT MATERIAL BETWEEN 0.0m AND 1.5m FROM BUILDING, ADJACENT TO A NON-COMBUSTIBLE BUILDING FACADE WILL BE LOW GROWING, LOW FIRE RISK PLANT MATERIAL, WITH NO MULCH OR A STONE MULCH IN THE PLANTING BED. NON-WOODY, DECIDUOUS, LOW FIRE RISK PLANT MATERIAL WOULD BE WILD ROSE, POTENTILLA, SPIREA, ALPINE CURRANT, HERBACEOUS PERENNIALS OR ANNUALS, CONIFERS, CEDARS, JUNIPERS OR TALL DRY GRASSES WOULD NOT BE PLANTED IN THIS ZONE.

--- 10.0m FIRESMART SETBACK

ALL PLANT MATERIAL BETWEEN 0.0m AND 10.0m FROM BUILDING WILL BE NON-CONIFEROUS PLANT MATERIAL, WITH NO MULCH OR STONE MULCH.

CLIENT

Spring Creek

SPRING CREEK GATE, CANMORE, AB

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IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies.

ISSUES

No.	DESCRIPTION	DATE
01	DP Client Review/Pre App Meeting	2020-10-23
02	Issued for Development Permit	2020-12-04
03	Reissued for Development Permit	2021-01-07
04	Reissued for Development Permit	2021-02-01

REVISIONS

No.	DESCRIPTION	DATE
---	---	---

CONSULTANTS

SEAL

LANDSCAPE ARCHITECT

IBI GROUP
3rd Floor - 227 11 Avenue SW
Calgary AB T2R 1R9 Canada
Tel: 403 270 5600 Fax: 403 270 5610
ibigroup.com

PROJECT

SCMV ARNICA LODGE
TOWN DP NO.: PL20200433
PART OF LOT 1, BLOCK 1, PLAN 071 5055
(PROPOSED LOT 22, BLOCK 6, PLAN 211 _____)
1305 SPRING CREEK GATE, CANMORE, AB

PROJECT NO:
127004

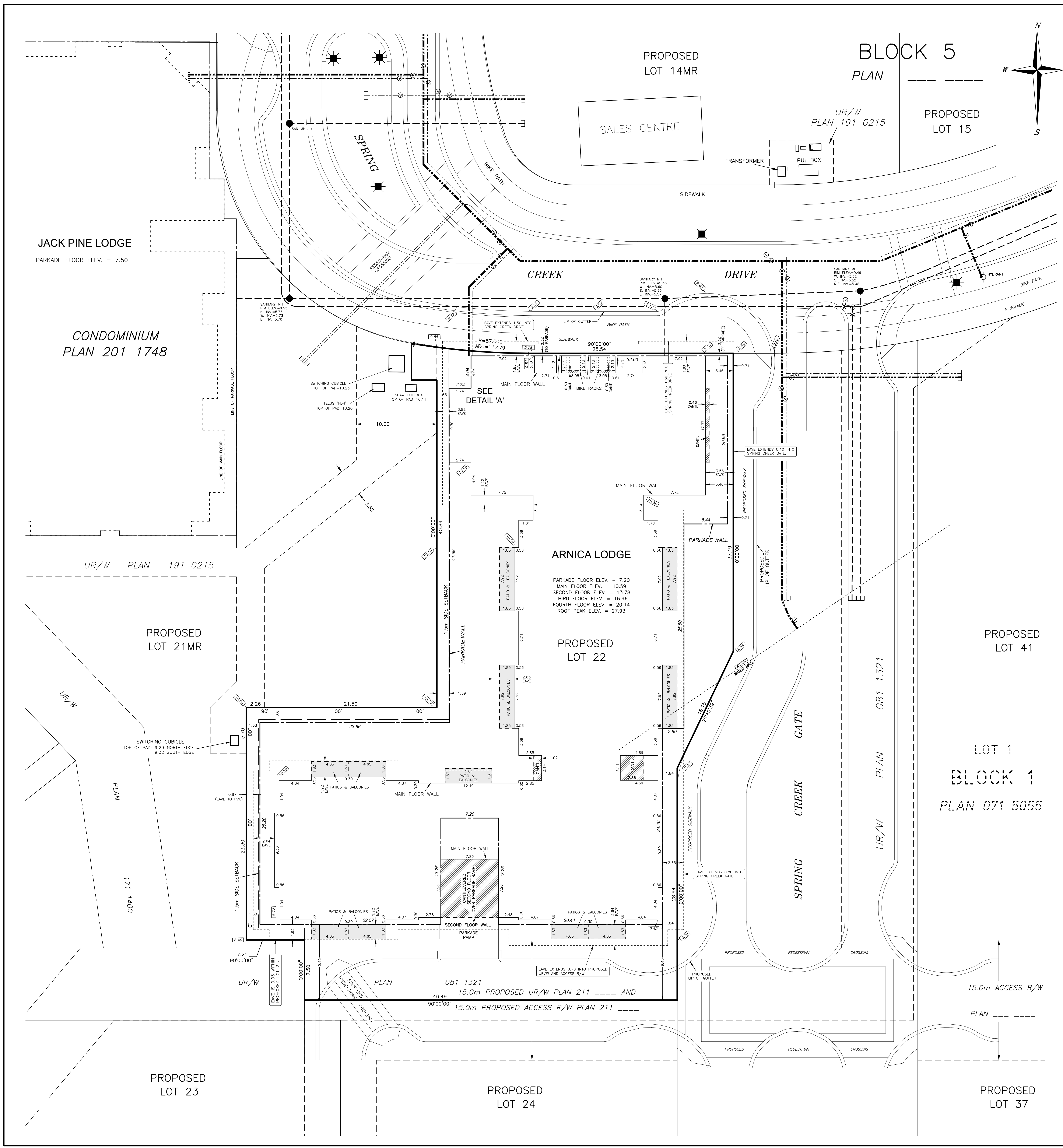
DRAWN BY: CZ/MD	CHECKED BY: BB
PROJECT MGR: BB	APPROVED BY: BB

SHEET TITLE

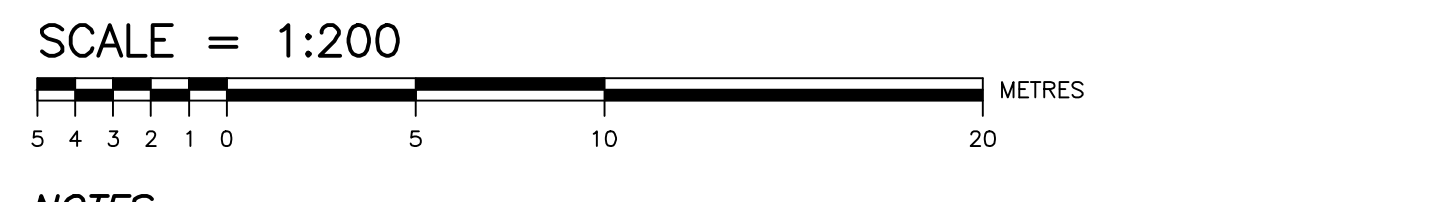
LANDSCAPE PLAN

SHEET NUMBER	ISSUE
L1.0	A

File Location: \\127004_SCMV-Arnica\7.0_Production\03_Design\05_Landscape\127004_Landscape Plan_DP.dwg Last Saved: February 1, 2021, 2:20:49 PM by Maria DiGiacomo
 Plored: Monday, February 1, 2021, 2:20:49 PM by Maria DiGiacomo
 1/11



CANMORE, ALBERTA
PLOT PLAN FOR DEVELOPMENT PERMIT FOR THE ARNICA LODGE AFFECTING PART OF LOT 1, BLOCK 1, PLAN 071 5055 (PROPOSED LOT 22, BLOCK 6, PLAN 211) AND PROPOSED 1305 SPRING CREEK GATE
 PREPARED FOR:
SPRING CREEK MTN. VILLAGE



- NOTES:**
- DISTANCES AND ELEVATIONS ARE IN METRES.
 - ELEVATIONS ARE REFERENCED TO ASCM 178715. ADD 1300.00m FOR GEODETIC.
 - LAND USE CLASSIFICATION OF PROPERTY IS DC SCMV-CR.
 - AREA OF PARCEL SHOWN BOUNDED THUS: AND CONTAINS 3560 m².
 - DESIGN GRADES SHOWN ARE BASED ON AS-STAKED ELEVATIONS AT TIME OF CONSTRUCTION.
 - EXISTING GRADES SHOWN ARE BASED ON A FIELD SURVEY COMPLETED AUGUST 30, 2018. ADDITIONAL GRADES WERE SURVEYED MAY 3, 2019.
 - AREA OF CONDOMINIUM BUILDING:
 - PARKADE = 2613 m² (LOT COVERAGE = 73%)
 - MAIN FLOOR = 1898 m² (LOT COVERAGE = 53.3%) (INCLUDING PORTION OVER RAMP)
 - CANTILEVERED = 70.5 m² (LOT COVERAGE = 1.98%) (EXCLUDES MAIN FLOOR OVER RAMP)

- LEGEND:**
- EXISTING GRADES
 - DESIGN GRADES
 - SANITARY MAIN
 - WATER MAIN
 - IRRIGATION MAIN
 - MANHOLE
 - STREET LIGHT
 - VALVE
 - HYDRANT

CERTIFIED CORRECT THIS 3RD DAY OF FEBRUARY, 2021.

WARREN LIPPITT, A.L.S.

1:100 year design groundwater elevation = 1306.84m as per McElhanney Ltd.

FLOOD HAZARD
 Per the Alberta ESRD Flood Hazard Map Application the lot is within a floodway or flood fringe area. Design flood hazard level elevation = 1308.2 per data shown on the ESRD map.

NOTE: SEE SITE GRADING PLAN (SHEET 2531-11522-C-100) BY MCELHANNERY FOR DETAILED GRADING. SEE LANDSCAPE PLANS FROM IBI GROUP FOR PROPOSED LANDSCAPING.

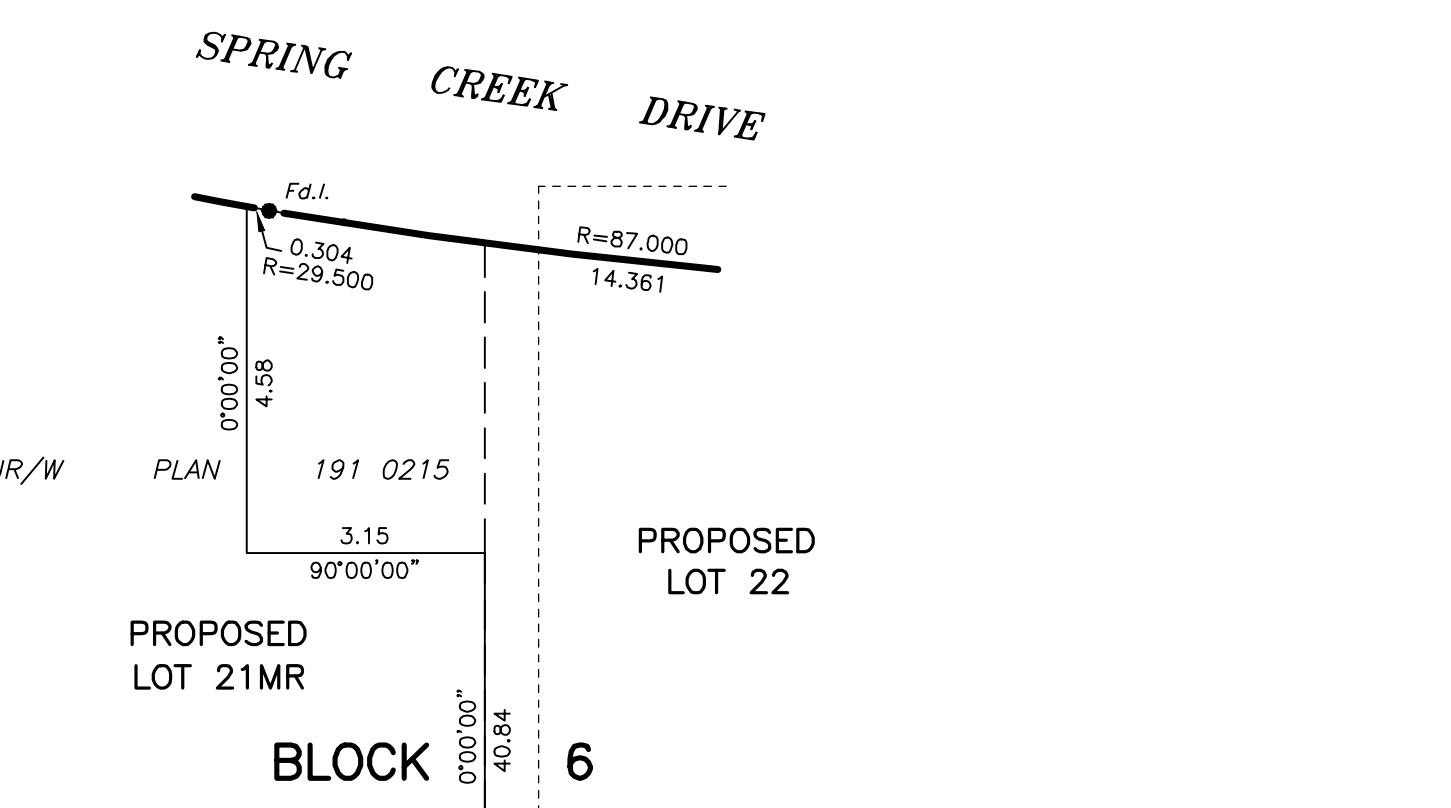
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DETAIL 'A'
 SCALE = 1:100

McElhanney
 Land Surveys (Alta.) Ltd.
 203 - 502 BOW VALLEY TRAIL, CANMORE, ALBERTA T1W 1N9
 PH (403) 678-6363, FAX (855) 407-3895
 FILE: 20-090 20-090D92.DWG
 DRAWN BY: C.T.B. PLOTTED: FEB/03/2021



Town of Canmore
902 - 7th Avenue
Canmore, Alberta, T1W 3K1
Phone: 403.678.1500 Fax: 403.678.1534
www.canmore.ca

Dear Mr. Steinhauer,

Re: Time Extension Agreement for Determination of Decision (PL20200433)

Section 684(1) of the Municipal Government Act requires the Development Authority to make a decision on a Development Permit application within 40 days of determination of a complete application. Section 684(2) enables the applicant and development authority to enter into an agreement to extend this time period. To better evaluate your application we are requesting you enter into the time extension agreement set out below.

If you concur with our request, please insert your name and date into the space provided below and reply to this email or deliver a hard copy to:

Town of Canmore - Planning and Development Department
902 - 7th Avenue
Canmore, Alberta T1W 3K1
Fax: (403) 678-1534

TIME EXTENSION AGREEMENT:

As the applicant to the above Development Permit and in accordance with Section 683(2) of the Municipal Government Act, I hereby enter into an agreement with the Town of Canmore to extend the time prescribed under Section 684(1) for the development authority to make a decision on PL20200433 to **February 26, 2021**.

Date:

Feb 4, 2021

Applicant Signature:

Drew Steinhauer

To

Brian Kinzie, P.Eng.
Project Engineer
Town of Canmore

From

Darin Langhorst, P.Eng., BFA
Division Manager, Municipal
McElhanney

Re

Arnica Lodge – Traffic Memo (Town file: PL20200433)

Date

January 28, 2021 (REVISION #1)

File Number

2531-11522

This technical memo has been provided in response to discussions with the Town related to the proposed development of the Arnica Lodge in Spring Creek Mountain Village (SCMV). The memo is specifically responding to a series of points in your Jan 17, 2021 email to the developer requiring clarification on each item as part of the Development Permit review process. The points from that email will be reiterated in the technical memo, for clarity, before each response for a straightforward question and answer format.

1. POINTS TO ADDRESS

As noted above, the points below have copied from the January 17, 2021 email and have been numbered for ease of reference for potential discussion.

- 1) *Capacity of the daycare, including staff (currently identified as 116 kids) and associated number of trips during the peak period.*

RESPONSE – The daycare has an operational capacity for 48 children plus 8-10 staff.

- 2) *Hours and days of operation, including time periods identified for pick up and drop off.*

RESPONSE – The daycare is planned to operate Monday – Friday from 6:00am-6:00pm daily. While each client’s schedule will be unique, typically drop-offs will occur between 7:00-9:00am and pick-ups will occur between 4:00-6:00pm.

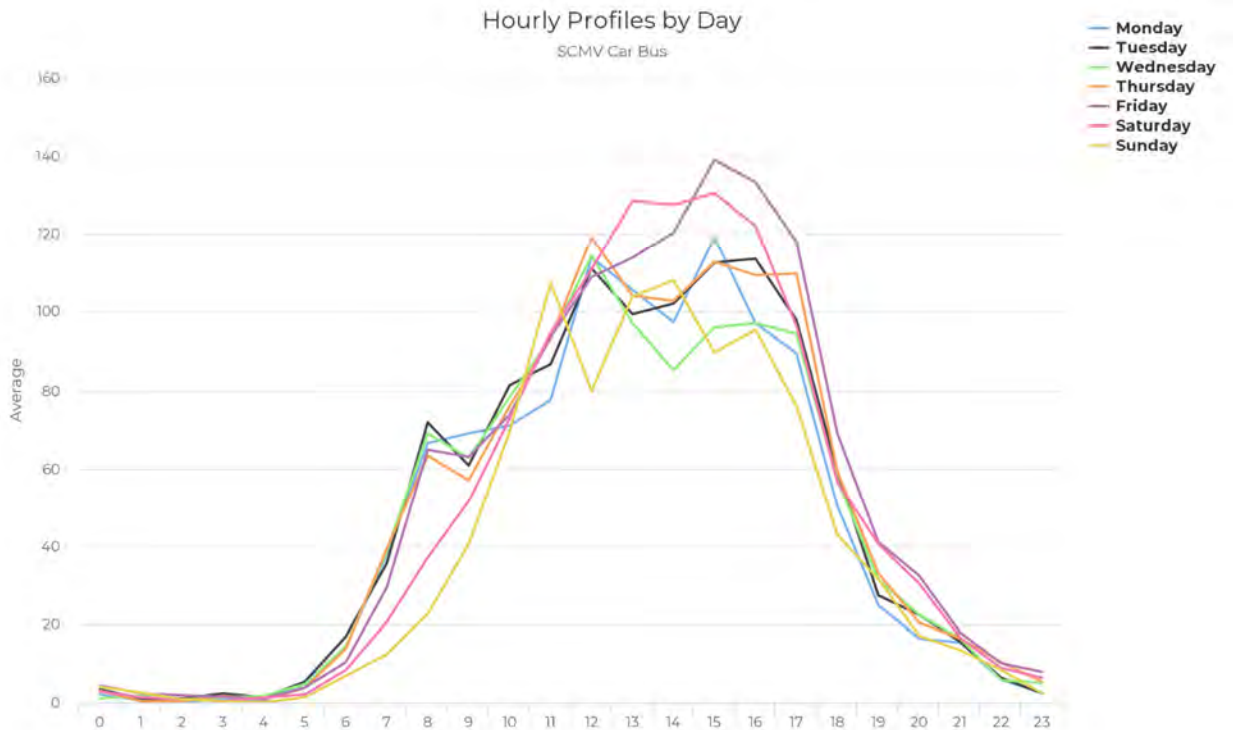
- 3) *Share of the trips associated with the daycare use that are anticipated to happen by walking, cycling, driving or transit.*

RESPONSE – The developer has contacted the Mountain Munchkins daycare in Canmore to get an estimate of the mode share that their customers use. The other daycare noted that, while they do not collect detailed data on this, they do note that the mode share for non-motorized trips is higher in the summer months. They estimated that during the winter months, ~95% of clients used vehicles and ~5% used non-motorized modes. During the summer months, ~80% of clients used vehicles and ~20% used non-motorized modes.

With respect to transit, SCMV has confirmed that there is no intent to run transit routes through SCMV so it is assumed that daycare clients will not rely on transit for drop-offs and pick-ups.

- 4) *Typical duration of a pick-up/drop-off trip and how those trips are expected to be distributed through peak times.*

RESPONSE – Based on discussions with Mountain Munchkins, drop-offs and pick-ups typically take about 10minutes per client and are clustered into a 7:00-9:00am drop-off period and a 4:00-6:00pm pick-up period. The following data was downloaded from the Town of Canmore’s Eco-Counter traffic counter at the north end of SCMV and illustrates the trend for typical weekly traffic, based on data collected in 2021.



This shows that the peak traffic for SCMV occurs during the middle of the day which is offset from the morning drop-off. The afternoon pick-up period begins at approximately the same time that ambient vehicular traffic drops off sharply between 3-4pm and continues to fall through the evening. While afternoons will be busier than mornings, the daycare will not superimpose its demands onto the midday daily peak on Spring Creek Drive. It is also worth noting that, based on observations, there is ample surface parking in SCMV during off-peak times in the morning and late afternoon.

- 5) *Quantification of parking supply in the surrounding area that will be accessible to parents of children attending daycare (on-street parking, on-street loading zones, whether the parkade allows access to parents and any stalls that may be used for loading within the building, or not).*

RESPONSE – As in all previous phases of SCMV, the surface parking on the streets is shared by a variety of businesses in the commercial units. While specific stalls and parking lots are not dedicated to the various commercial units in SCMV, the total amount of street parking gradually being created is consistent with the SCMV ARP for the total stalls required for the total area of commercial space in the overall development. Depending on the location, parking spaces are signed with 2, 4, or 24-hour maximum parking durations and some “flex stalls” are dedicated for short term usage with a 30-minute time limit.

Based on the length of available parking around the Arnica Lodge building frontage, there will be:

- 2-hr parking for ~8 passenger vehicles on the north and east sides of the building,
- 24-hr parking for 2-3 passenger vehicles on the south side of the building,
- one 30-minute short-term stall on the east side of the building, and
- one handicapped parking stall on the east side of the building.

This only includes parking directly adjacent to the building and this number would roughly double if including stalls on the west side of Spring Creek Gate and on the south side of the mews road. Please note that there are another existing 30-minute parking stall and 30-minute handicapped stall along Spring Creek Drive along the

curve between Jack Pine Lodge and Arnica Lodge. There will not be any 4-hour parking stalls adjacent to Arnica Lodge.

For a visual representation of the new stalls around Arnica Lodge, refer to sheet C-104 of the Spring Creek Gate Subdivision Phase 1 servicing drawings that are also going through Town approvals at this time. Please note that there will be revisions to the second submission of subdivision servicing drawings in the near future that will be consistent with the description above as there were minor signage changes to the subdivision design.

- 6) *Quantification of publicly-accessible bike parking facilities that will accommodate drop-off at the daycare.*

RESPONSE – Referring to the Arnica Lodge drawings, there are currently 12 bike stalls shown (8 on Spring Creek Drive and 4 on Spring Creek Gate). This amount is based on the parking calculations summarized in the “Bylaw Summary” sheet A-3050-FD-100 of the architectural drawing set. The 12 short-term bike stalls are based on the calculation method from the Land Use Bylaw which requires 0.25 stalls/unit for the residential apartment building.

SCMV has confirmed that the landscape architect is adding 8 more bike parking stalls in revisions that are currently in-progress for a total of 20 bike short-term bike parking stalls. These additional 8 stalls are in excess of the LUB requirements for residential usage.

Based on Table 2.7-1 of the LUB, a daycare is a non-residential parking Class D. While calculation methods are outlined in the LUB for classes A-C, Table 2.7-2 says that the parking stall needs for a class D usage are to be determined by a parking study. We also note that for bike stalls, the LUB requires that any fractional stalls be rounded up to the nearest whole number.

As noted earlier, approximately 5% (winter) to 20% (summer) of clients are expected to use non-motorized modes. Assuming that ~4-6 clients may be dropping or picking up simultaneously, this translates to a need for 1 bike stall in the winter and 2 bike stalls in the summer.

With 8-10 staff, assuming 2-4 drive vehicles to work, results in 4-8 staff using non-motorized modes. We expect this would result in 2-4 staff cycling to work daily based on the 2030 mode share goals in the Town’s 2018 ITP as these users would be more likely to be able to cycle in all weather conditions than clients with small children.

The total of 2 bike stalls for clients plus 4 bike stalls for staff is less than the 8 additional short-term stalls discussed above. We believe this meets the intent of the LUB and is consistent with the Town’s ITP.

- 7) *Comment on number of daycare staff and whether they will have access to supply of vehicular/bike parking within the building or will use surrounding on-street parking, if they drive.*

RESPONSE – Daycare staff will have access to visitor stall parking on the streets within SCMV and for publicly accessible, above ground bike parking. Vehicle and bike parking within the parkade of Arnica Lodge will not be used by daycare staff. Based on the proximity of staff accommodations to the daycare, it is only expected that 2-4 staff will use vehicles to drive to work.

- 8) *Comment from the applicant’s engineer on the expected operation during peak periods of pick-up and drop-off based on the factors above and the number of trips as spread throughout that time period, and any associated issues based on the above review (U-turning, double-parking, parking in adjacent neighbourhoods across the creek, etc.).*

RESPONSE – As with Mountain Munchkins, we do expect that most clients will use vehicles for drop off and pick up and that vehicular use will be higher in the winter months. However, the SCMV’s more central location near the downtown core and Bow Valley Trail business strip is expected to result in a slightly higher non-motorized

mode share. For a 48-child facility, 10-minute drop-off, and a 2-hour drop-off period, it is expected that between 4-6 stalls will be utilized by clients during drop-off and pick-up times. For vehicles, it is expected that both 30-minute parking stalls adjacent to, and near, the daycare will be used. The 2-hour parking stalls along Spring Creek Gate closest to the daycare are also expected to be used during these periods. The afternoon pick-up period is expected to be busier as more of the street parking may be used by other visitors and clients may need to park further south in SCMV, a short walk from the daycare.

It is fully expected that clients will perform legal U-turns during drop-off and pick-up times. The first location where this is expected is at the intersection on Spring Creek Drive northwest of Jack Pine Lodge. Drivers coming from the roundabout on Bow Valley Trail are expected to use this U-turn location to access 30-minute parking along Spring Creek Drive between Jack Pine Lodge and Arnica Lodge. The second location is on Spring Creek Gate southeast of Arnica Lodge. This location would be used after parking along the Arnica Lodge frontage before U-turning north to get back to Spring Creek Drive. As noted above, U-turns in these locations are completely legal and the wide medians and low speeds in SCMV provide a safe environment for U-turns to be made.

Due to the compact nature of SCMV's roadway design, we do not expect that clients will attempt to double park. In addition, because the daycare drop-off and pick-up peak times are offset from peak traffic in SCMV, the potential for this is lower to begin with.

Due to the short duration of drop-off and pick-up times, and the location of the nearest "offsite" parking outside of SCMV, we do not expect that clients will spillover park in adjacent neighborhoods as it would result in a walk of several hundred meters. It is our expectation that the shared commercial parking model in SCMV will continue to be a success with the Arnica Lodge development as it has been proven to work in previous phases of the overall redevelopment.

2. CLOSURE

Based on the analysis conducted, the traffic demands and parking needs of the daycare can be accommodated by the design of the overall subdivision which is being developed in a way that is consistent with the parking and commercial space metrics outlined in the SCMV Area Redevelopment Plan.

We trust that this memorandum sufficiently details the methodology and key findings and analysis carried out for the proposed daycare in the Arnica Lodge development. Should you have any questions or require any further information, please do not hesitate to contact the undersigned.

Sincerely,

McElhanney Ltd.

Prepared by:

Darin Langhorst, P.Eng., BFA
Division Manager, Municipal
dlanghorst@mcelhanney.com

This report has been prepared by McElhanney Ltd. at the request of Spring Creek Mountain Village. The information and data contained herein represent McElhanney's best professional judgment in light of the knowledge and information available to McElhanney at the time of preparation. Except as required by law, this memo and the information and data contained herein are to be treated as confidential and may be used and relied upon only by the client, its officers, and employees.

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Sustainability Screening Report Process Impact - Offset Matrix

Project / Application Details from Applicant	<i>Input information in shaded cells</i>
For Residential Only Projects	
Proposed Residential Units	0
Gross Floor Area (sq. m.) of Residential Development	0
Net Residential Density per ha. (excluding MR, ER and roads)	0
For Commercial Only Projects	
Gross Floor Area (sq. m.) of Commercial Development	
For Industrial Only Projects	
Gross Floor Area (sq. m.) of Industrial Development	0
For Mixed Use Only Projects	
Proposed Residential Units	47
Gross Floor Area (sq. m.) of Residential Development	7279
Gross Floor Area (sq. m.) of Commercial Development	347
Total Gross Floor Area (sq.m.) of Commercial Development	347
Floor Area Ratio of Commercial Development	0.10
Site Area (sq. m.)	3560
Site Area Previously Undeveloped (sq. m.)	0
Total Gross Floor Area (sq.m.) of all development	7626
Average Sales Price Proposed for Residential Units	\$750,000
Estimated Assessment Value: commercial	\$500,000
Estimated Assessment Value: residential	\$36,000,000
New public road length (m)	0
Length of designated public trail (m)	0
Number of jobs created over median income (\$33,500)	0
Number of jobs created below median income (\$33,500)	0

1 FTE = 40 hours / week or 0.5FTE = 20 hours / week

Project / Application Details to be calculated by Town	
Distance from Downtown along road network (metres)	1245
Distance from Waste Water Treatment Plant along sewer gravity (metres)	213
Distance from Waste Water Treatment Plant along sewer pressure (metres)	1987
Amount of land within or adjacent to Environmental Sensitive Areas	0

Sustainability Screening Report Process Impact - Offset Matrix

Summary Page

Overall Results	Impact	%
Economic Sustainability	-1.45	4.62
Environmental Stewardship	-9.23	29.45
Social Fabric	-20.66	65.93

Offset	%
6.47	9.42
26.34	38.31
35.94	52.27

Total Impact -31.34

Total Offset 68.76

Net Score **37.42**

Economic Sustainability	
Income and Wages	0.00
Non-Residential Tax Assessment	-1.45

Economic Sustainability	
0.00	InfraCycle Assessment
0.00	Increasing commercial assessment
0.00	New employment above median salary
0.00	New employment outside of 4 significant sectors
1.00	Floor space for Economic Development & Tourism
5.47	Percentage of local construction labour value
0.00	Economic leadership or innovation

Environmental Stewardship	
Residential Water Consumption	-1.69
Commercial Water Consumption	-0.10
Residential Solid Waste Generation	-1.21
Commercial Solid Waste Generation	-0.20
All Building Energy use and GHG emissions	-4.64
Transportation	0.00
Infrastructure (sanitary-gravity)	0.00
Infrastructure (sanitary-pressure)	0.00
Environmentally Sensitive Lands	0.00
Land Consumption	0.00
Efficient Residential Land Use	0.00
Efficient Commercial Land Use	0.00
Efficient Industrial Land Use	0.00
Efficient Mixed Use Residential Land Use	0.00
Efficient Mixed Use Commercial Land Use	0.00
Metres of trails / capita	-1.38
Metres of new roads to service development	0.00

Environmental Stewardship	
0.50	Residential / commercial mix of uses
4.34	Higher density than current levels
2.00	Access to community services from <u>residences</u>
0.00	Access to services from the <u>commercial</u> site
0.50	Water saving measures
1.00	Rain water harvesting system or infiltration
1.50	Construction waste diversion rate
2.00	Long-term, operating waste diversion
0.00	Parking stalls are un-assigned
0.50	Bike parking of adequate quality
1.50	Average size of the dwellings
0.00	LEED Certified
6.00	Built Green Certified
0.00	Other green building certification programs
0.50	Commercial energy consumption reduction
2.00	Residential energy consumption reduction
1.00	Environmentally sensitive land protection
0.00	Minimize density adjacent to sensitive lands
0.00	Reuse an existing contaminated site
3.00	Environmental leadership or innovation

Social Fabric	
Affordability of Market housing (in relation to median income)	-5.89
PAH Housing	-2.90
Seniors Housing	-2.32
Employee Housing	-1.74
Childcare spaces	-2.31
Library	-0.92
Food Bank Usage	-1.85
Social Assistance Payments	-1.82
Crimes Against Persons and Property	-0.92

Social Fabric	
34.94	Units of perpetually affordable housing
0.00	Cash contribution towards PAH
0.00	Bedrooms of employee housing
0.00	Bedrooms for employees earning < median income
0.00	Cash contribution towards employee housing
0.00	Units of seniors housing
0.00	Percentage of the employees housed
0.00	Employees rental assistance 10% below market levels
1.00	Percentage of site ares for social interaction
0.00	Reuse an existing historic property or building
0.00	Exceed minimum municipal reserve requirements
0.00	Accessible recreation or cultural facilities or programs
0.00	Contribution to recreation facilities
0.00	Support school enrollment
0.00	Support for current childcare facilities
0.00	Support for cultural establishments
0.00	Support for other non-profit community organizations
0.00	Unique supports for community programming
0.00	Support for special events
0.00	Public art component
0.00	Public consultation program
0.00	Social leadership or innovation