

Agenda
Canmore Planning Commission
Canmore Civic Centre – Council Chambers
Wednesday, July 5, 2023, at 2:00 p.m.

- A. Call to Order
- B. Approval of Minutes of the April 26, 2023, meeting
- C. Development Permit Application:
 - 1. PL20230138
121 Bow Meadows Crescent
Lot 8 Block 7 Plan 951 2298
Site and Building Amendments to PL20210301
Variances: None
 - 2. PL20230111
1 Silvertip Trail
Lot 1, Block 17, Plan 971 1512
Signs (1 Freestanding, 1 Flush-Mounted, 3 Individual Letter Signs)
Sign Area, Sign Location, Sign Orientation, Letter Height, Sign Quantity
- D. Other Planning Business
None
- E. Next Scheduled Meeting
July 26, 2023
- F. Adjourn

**TOWN OF CANMORE
MINUTES
Canmore Planning Commission
Council Chambers
Wednesday, April 26, 2023, at 2:00 p.m.**

MEMBERS PRESENT

Whitney Smithers (Chair) General Manager of Municipal Infrastructure
Florian Jungen Public Representative
Miranda Spessot Public Representative
Brian Talbot Public Representative
Shawn Kennedy Public Representative
Tanya Foubert Councillor
Jeff Hilstad Councillor

MEMBERS ABSENT

None.

ADMINISTRATION PRESENT

Lauren Miller Planning & Development Manager
Riley Weldon Development Planner
Jolene Noël Secretary (Recorder)

CALL TO ORDER

Chair W. Smithers called the Wednesday, April 26, 2023, regular meeting to order at 1:59 p.m.

ADOPTION OF AGENDA

Chair W. Smithers moved that the Agenda of the Canmore Planning Commission meeting of April 26, 2023, be adopted.

**MOTION CARRIED
UNANIMOUSLY**

ADOPTION OF MINUTES

Chair W. Smithers moved that the adoption of the March 1, 2023, minutes of the Canmore Planning Commission meeting be approved as presented.

**MOTION CARRIED
UNANIMOUSLY**

DEVELOPMENT PERMIT APPLICATION

Development Permit Application:

PL20220303

1734 Bow Valley Trail

Block A, Plan 6122JK

98 Unit Visitor Accommodation with one Commercial Unit

Variances to building height, eaveline height and Floor Area above eaveline

Minutes approved by: _____

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented a visual and verbal presentation of the application.

APPLICATION QUESTIONS FROM THE COMMISSION

Administration answered questions from the Commission.

QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON

The Applicant, Chris Sparrow with MTA Architecture, presented a visual and verbal presentation of the application and answered any questions from the Commission.

QUESTIONS/COMMENTS FROM THE PUBLIC.

None.

Break 3:00 – 3:13

DECISION

Chair W. Smithers moved that application PL20220303 be APPROVED, subject to the conditions of approval as set out in the Schedule A, with the amendment to include an addition to the Specific Conditions as follows:

Prior to the issuance of the Development Permit, the Developer shall submit a revised site plan and landscape plan showing improved access to the public plaza from Bow Valley Trail and the public sidewalk/pathway where feasible. The drawings shall be provided to the satisfaction of the Town of Canmore.

**MOTION CARRIED
UNANIMOUSLY**

DEVELOPMENT PERMIT APPLICATION

Development Permit Application:

PL20230005

1 Silvertip Trail

Lot 1 Block 17 Plan 971 1512

Excavation, Stripping and Grading

No Variances

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented a visual and verbal presentation of the application.

APPLICATION QUESTIONS FROM THE COMMISSION

Administration answered questions from the Commission.

QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON

The Applicants, Chris Conner and Michelle Ouellette with McElhanney, presented a visual and verbal presentation of the application and answered any questions from the Commission.

The Applicant proposed an amendment to the Specific Conditions of the Schedule A, point 8 to read "The development permit shall be in effect for fourteen or twenty-four months from the date of issuance".

Minutes approved by: _____

QUESTIONS/COMMENTS FROM THE PUBLIC.

None.

DECISION

Chair W. Smithers moved that application PL20230005 be APPROVED subject to the conditions of approval as set out in the Schedule A, including an amendment to Specific Condition 9 and an addition of Specific Condition 10 to read as follows:

Condition 9: The Developer shall remediate the approved development area to the satisfaction of the Town of Canmore should additional development of the approved development area does not commence within 12 months of the commencement of the excavation, stripping, and grading. The 12-month commencement of excavation, stripping and grading deadline may be extended by six months at the discretion of the Development Officer, who shall consider the impacts of the excavation, stripping and grading development on the adjacent properties. Remediation may include sediment, erosion and dust control, and landscaping and other aesthetic measures.

Condition 10: The developer shall provide a cost estimate and development security of 125% of the cost estimate in a form acceptable to the Town of Canmore, based on estimated costs to remediate the site to the satisfaction of the Town of Canmore.

OTHER PLANNING BUSINESS

None.

NEXT SCHEDULED MEETING

May 31, 2023

ADJOURNMENT

Chair W. Smithers moved that the meeting be adjourned.

MOTION CARRIED

4:40 P.M.

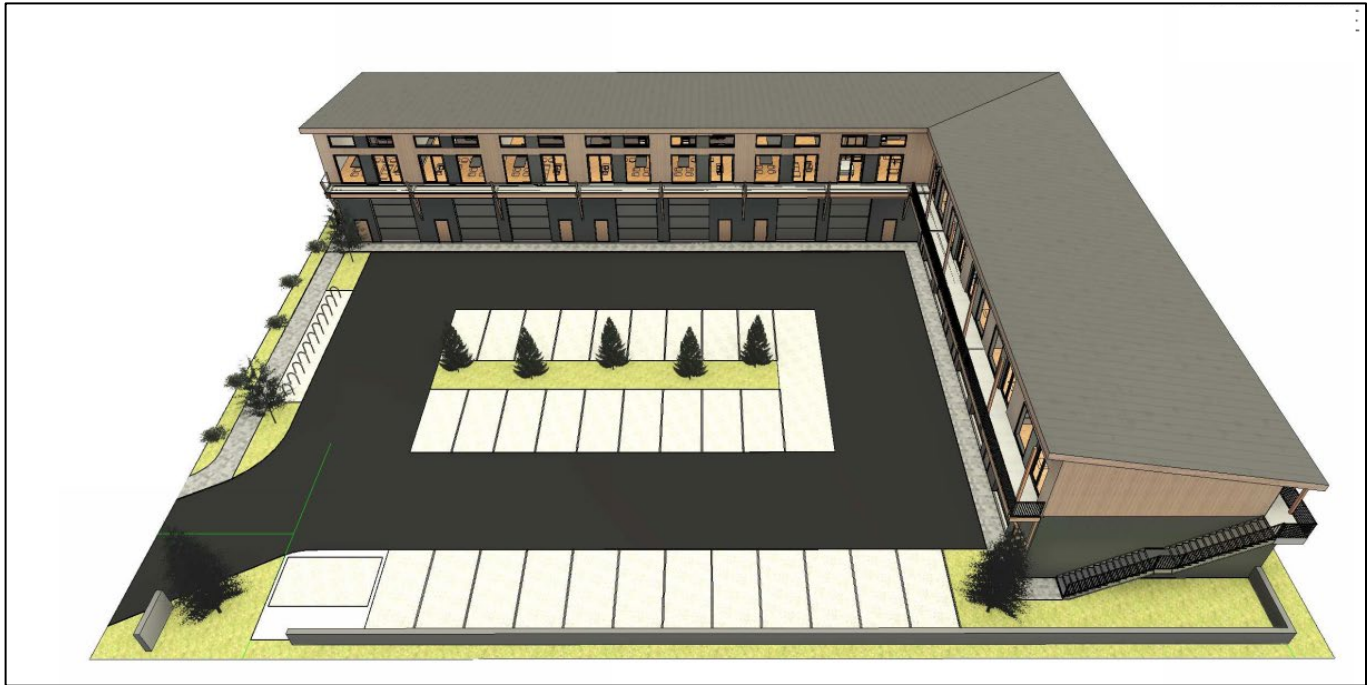
Whitney Smithers, CPC Chair

Jolene Noël, Secretary

Minutes approved by: _____

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	JULY 5, 2023
PROPOSED DEVELOPMENT:	SITE AND BUILDING AMENDMENTS TO PL20210301
APPLICATION NUMBER:	PL20230138
LEGAL DESCRIPTION:	LOT 8, BLOCK 7, PLAN 9512298
CIVIC ADDRESS:	121 BOW MEADOWS CRESCENT
CURRENT USE(S):	UNDER PL20210301, APPROVED FOR A MIXED-USE BUILDING WITH 24 UNITS: <ul style="list-style-type: none">• EMPLOYEE HOUSING (12 UNITS)• WAREHOUSE (6 UNITS)• CONTRACTOR SERVICE AND REPAIR (4 UNITS)• LIGHT MANUFACTURING (2 UNITS)
APPLICANT:	LEA LOHNES, MONTANE ARCHITECTURE
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: <ul style="list-style-type: none">• 5.3 IND 2 GENERAL INDUSTRIAL DISTRICT

EXECUTIVE SUMMARY

This application proposes site and building amendments to PL20210301, a mixed-use development, including employee housing, that was approved by the Canmore Planning Commission (CPC) on May 25, 2022. The subject site is located at 121 Bow Meadows Crescent. Development at the site has not yet commenced.

Due to the amount and design of employee housing units, Administration was not supportive of PL20210301. Some of the proposed amendments included in this application further intensify this use. Administration therefore does not support this amending application.

BACKGROUND

The staff report for PL20210301 is attached to this report for background (see Attachment 7).

This application is considered under the Municipal Government Act to be 'de novo' or new. At its discretion, the CPC may decide to review the development in its entirety or just the proposed amendments.

AMENDMENTS

1. CHANGES TO EMPLOYEE HOUSING

The applicant proposes revisions that impact the approved twelve units of employee housing (see Attachment 4):

- a. The number of employee housing bedrooms has increased from twelve to fifteen. Under PL20210301, the units were approved as one-bedroom units. The proposed units now include one two-bedroom (95m²) and one three-bedroom unit (100.38m²).
- b. The residential front common entrance and common interior circulation areas have been removed. Units are now accessed by an exterior walkway and stairway on each side of the building. The applicant has designed the walkway and stairways to include shelter and lighting.
- c. The "lounge room", initially proposed as a valuable indoor common amenity space for the occupants of the employee housing units, has been removed. The applicant believes private amenity space is more desirable than common amenity space and has therefore doubled the size of each unit's deck to compensate.
- d. The common laundry room has been removed. Each unit will now have in-suite laundry.

As mentioned earlier in this report, Administration was not supportive of employee housing at this location for reasons outlined in the staff report provided to CPC for PL20210301 (see Attachment 7) and is therefore not supportive of this intensification. As employee housing is a discretionary use in the IND 2 District, the CPC will need to evaluate the appropriateness of these changes and determine whether they still align with their rationale for approval of housing in this development.

2. MISCELLANEOUS CHANGES

The proposed amendments also include several miscellaneous changes to the site and building:

- a. Site Changes
 - a. The on-site vehicle parking has been increased and reconfigured (from 22 stalls to 28 stalls)
 - b. The screened waste area has been moved closer to the front property line
 - c. A landscaping bed has been created in the centre of the parking lot
 - d. Long-term and short-term bicycle parking has been reconfigured
 - e. A picnic table has been added
- b. Architectural Changes
 - a. The building's exterior colours have been changed from cream colour to grey and timber colours.
 - b. A large portion of the building's exterior materials have been changed from basic metal to faux wood metal
 - c. A loft has been added to Bay 7 (an industrial bay located on the main floor)
 - d. The design of the roof has been altered (see north-east corner)

These changes comply with the requirements of the Land Use Bylaw. However, as the project includes discretionary uses, the CPC could require changes if it felt some of the changes were inadequate for planning reasons. Administration,

however, generally agrees with the applicant that the proposed changes listed above are enhancements from that previously approved.

SUBMITTED COMMENTS

A Notice of Application was posted on the site for ten days. Administration received no comments or questions.

OPTIONS FOR CONSIDERATION

The CPC has three options:


1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

Administration recommends that the Canmore Planning Commission REFUSE PL20230138. Should the Commission decide to approve this application, draft conditions of approval have been prepared and set out in the Schedule A (see Attachment 6).

ATTACHMENTS:

1. Site Context [Including aerial photo of area with site identified]
2. Zoning [Including zoning map of area with zoning of site & adjacent sites identified]
3. Bylaw Conformance Review
4. Submitted Plans [Including sections, elevations & renderings]
5. Schedule A – Conditions of Approval
6. Staff Report for PL20210301



Nathan Grivell
Development Planner

ATTACHMENT I – SITE CONTEXT



Aerial View of Site



View of Site Looking East Along Bow Meadows Crescent

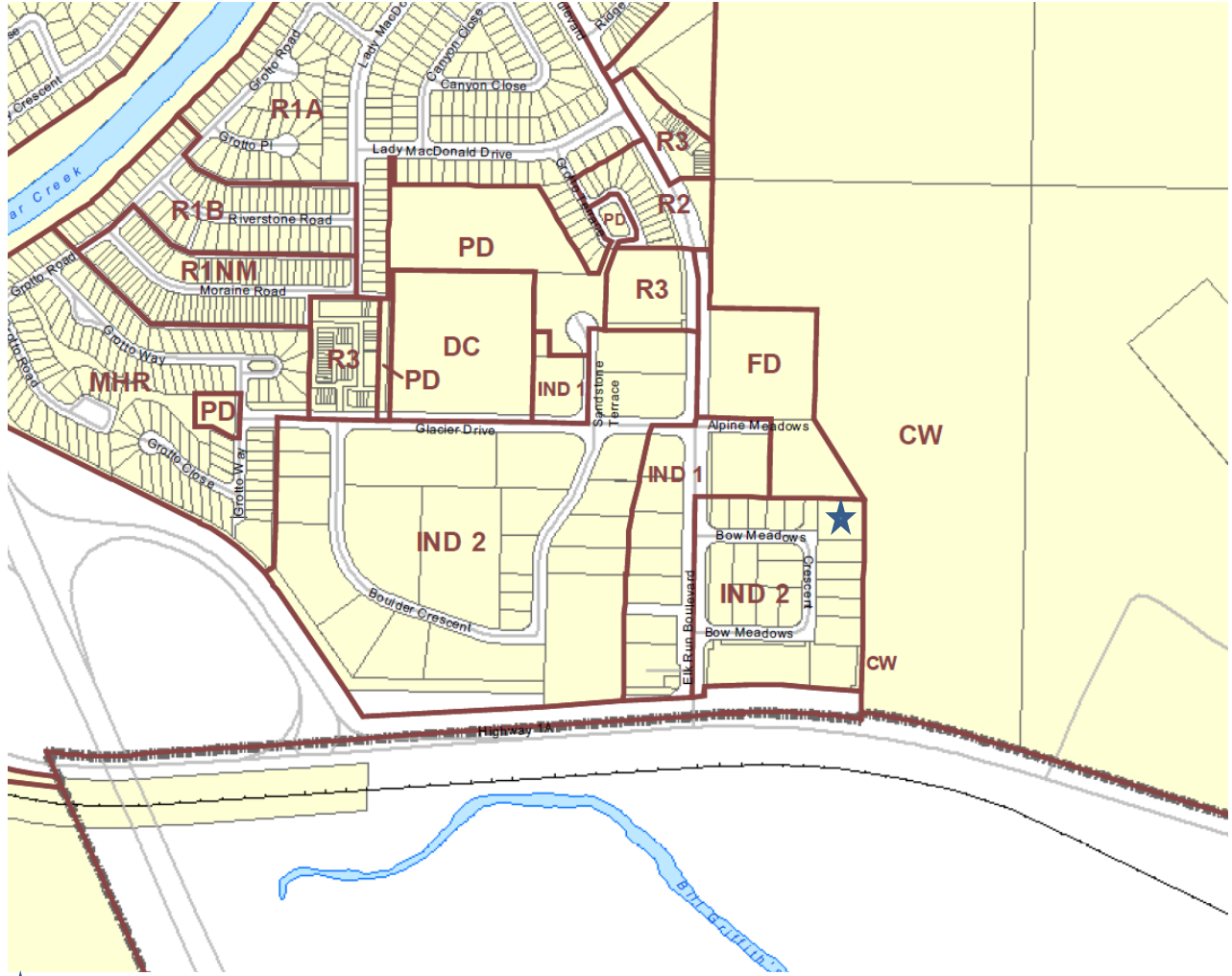


View of Site Looking North Along Bow Meadows Crescent



View of Site Looking South-East.

ATTACHMENT 2 – ZONING



★ Subject Site

ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
MAX FLOOR AREA RATIO (FAR)	N/A	N/A	No
FRONT YARD SETBACK	MIN 7.50 M	45.61 M	No
SIDE YARD SETBACK (WEST)	0.00 M	2.36 M	No
SIDE YARD SETBACK (SOUTH)	0.00 M	4.69 M	No
REAR YARD SETBACK	0.00 M	2.00 M	No
MAX BUILDING HEIGHT	11 M	11 M	No
MAX BUILDING EAVELINE HEIGHT	N/A	N/A	No
SITE COVERAGE	N/A	N/A	No
LANDSCAPING AREA	0%	25%	No
TREES	0	11	No
SHRUBS	0	89	No
PARKING VEHICLE PARKING BICYCLE PARKING	MIN 13 VEHICLE PARKING STALLS 29 LONG TERM BICYCLE STALLS 14 SHORT TERM BICYCLE STALLS	28 VEHICLE PARKING STALLS 29 LONG TERM BICYCLE STALLS 14 SHORT TERM BICYCLE STALLS	No No No

ATTACHMENT 4 – SUBMITTED PLANS



121 BOW MEADOWS

ISSUED FOR: 04/13/2023 DP ADDENDUM 1

CLIENT: ASHTON CONSTRUCTION

121 Bow Meadows Crescent, Canmore

ARCHITECTURAL DESIGN BY:
MONTANE ARCHITECTURE

LANDSCAPE DESIGN BY:

INTERIOR DESIGN BY:

CIVIL ENGINEERING BY:

STRUCTURAL ENGINEERING BY:

PRECONSTRUCTION SERVICES BY:

DRAWING LIST

Sheet Number	Sheet Name
A000	TITLE SHEET
A001	LEGENDS AND SCHEDULES
A002	WINDOW/DOOR SCHEDULE
A100	SITE PICTURE AND SITE SURVEY
A101	SITE PLAN
A102	LANDSCAPE PLAN
A201	MAIN FLOOR PLAN
A202	2ND FLOOR PLAN
A203	ROOF PLAN
A204	BICYCLE SHELTER
A205	MEZZANINE
A401	ELEVATIONS
A501	SECTIONS

OUTLINE SPECIFICATION

EXTERIOR ELEMENTS	Metal Roofing	INTERIOR ELEMENTS
Windows and Patio Doors	Metal Siding	Gypsum Wallboard
<ul style="list-style-type: none"> 1 heavy wall, multi chamber UV stable PVC extrusions, with aluminum clad exterior, conforming to CSA A440 2 Glazing - double glazed, argon filled, Low E 180 exterior glass, interior clear glass. 3 Opening units - size and operation as noted on drawings 4 Basis of Design: PlyGem, Lux Windows 	<ul style="list-style-type: none"> 1 Prefinished galvanized sheet steel, 24 gauge, 16" wide pans; concealed fastenings, complete with all flashings, trims accessories required for a complete installation. 2 Underlayment - No 15 asphalt saturated non-perforated felt to CSA A123.3 	<ul style="list-style-type: none"> 1 conforming to ASTM C1396M, fire rated where noted, sag resistant for ceilings. Provide all moldings, trims, accessories required for complete installation.
Exterior Doors		Paint
<ul style="list-style-type: none"> 1 Metal clad insulated doors. 2 Frames - solid wood frame, painted. 3 Glazing - Double glazed, clear tempered glass insulated units. 4 Basis of Design: PlyGem, Lux Windows 	<ul style="list-style-type: none"> 1 Refinished 24 gauge galvanized steel, 6 1/16" x 12" length x 3/8" depth panels with concealed fasteners; 40 year guarantee. 2 Basis of Design - MAC Metal Architecture Wood Collection Cork. 	<ul style="list-style-type: none"> 1 Paint High Performance Architectural Latex Institutional, Low Odour Interior Latex Eggshell finish for walls, flat finish for ceilings, semigloss finish for doors, frames, wood trims.
Garage Door	Railings	Millwork and Trims
<ul style="list-style-type: none"> 1 Insulated prefinished steel panel door, electric motor operation. 2 Basis of Design: Wayne Dalton 2300 Series, Contemporary Style panels. 	<ul style="list-style-type: none"> 1 Welded aluminum, prefinished railings, engineered to meet building code requirements, including anchoring systems. Colour as selected by Consultant. 2 Glazing - minimum 1/4" tempered glass. 	<ul style="list-style-type: none"> 1 Cabinetwork to AWI standards, premium grade. Finishes as noted on drawings. 2 Wood trim and baseboards: MDF or Pine, profiles and sizes to match existing or as noted on drawings.
Thermal/Moisture Components	Traffic Deck Finish	Doors and Frames
<ul style="list-style-type: none"> 2 Air/Moisture Barrier saturated asphalt, breathable 60 minute rated building paper 3 Batt Insulation mold resistant, fire resistant mineral wool insulation 4 Vapour Barrier minimum 6 mil polyethylene sheet vapour barrier complete with joint tape and fasteners. 5 Spray Foam Insulation - high yield, closed cell spray polyurethane foam, R-7/inch. 6 Horizontal Waterproof membrane - liquid applied, rapid curing, elastomeric compound, basis of design - Henry CM100. 7 Foundation Insulation - rigid type 3 or 4 polystyrene, with compatible adhesives and fasteners. 	<ul style="list-style-type: none"> 1 Polyester reinforced PVC membrane with ultraviolet resistance, fully adhered installation with heat-welded seams and perimeter attachment. 2 Comply with CAN/CSB-37.54. 3 Basis of Design - Duradek Ultra. 	<ul style="list-style-type: none"> 1 Wood doors and frames; commercial grade, solid core, paint grade face with profiles to match existing. Fire rated as noted. 2 Metal frames - zinc wipe coated steel, 1.214 mm metal core thickness, full flush seamless, fire rated where noted 3 Hardware; institutional grade, ball bearing hinges, rim mounted panic devices, door closers, deadlocks, lever style latches and locksets. Finish to match existing. Wherever possible products to match existing hardware.

WALL ASSEMBLIES

TYPE	ASSEMBLY	FIRE RATING	STC RATING
W1 EXTERIOR 2x6 WALL W/ METAL SIDING	METAL SIDING AS PER ELEVATION 1x2 DIAGONAL WOOD STRAPPING @ 610mm 2 LAYERS OF BUILDING PAPER 3/8" O.S.B. SHEATHING 2x6 WOOD STUDS @ 406mm o.c. R24 MINERAL WOOL BATT INSULATION VAPOUR BARRIER 12.7 mm GYPSUM BOARD		
W2 EXTERIOR 2x6 WALL W/ METAL SIDING 45MIN FRR	METAL SIDING AS PER ELEVATION DIAGONAL WOOD STRAPPING 1x2 @ 610mm 2 LAYERS OF BUILDING PAPER 3/8" O.S.B. SHEATHING 2x6 WOOD STUDS @ 406mm o.c. SEMI-RIGID STONE WOOL BATT INSULATION R24 VAPOUR BARRIER 12.7 mm TYPE X GYPSUM BOARD	45 MIN	
W3 EXTERIOR 2x6 WALL W/ METAL SIDING 1H FRR	METAL SIDING AS PER ELEVATION DIAGONAL WOOD STRAPPING 1x2 @ 610mm 2 LAYERS OF BUILDING PAPER 5/8" TYPE X DENSGLASS 2x6 WOOD STUDS @ 406mm o.c. (2x6) SEMI-RIGID STONE WOOL BATT INSULATION R24 VAPOUR BARRIER 15.9 mm TYPE X GYPSUM BOARD	1 H	
W4 EXTERIOR 2x6 WALL W/ METAL SIDING 1H FRR	METAL SIDING AS PER ELEVATION DIAGONAL 1/2" PLYWOOD STRAPPING (2" STRIPS) 2 LAYERS OF BUILDING PAPER 5/8" TYPE X DENSGLASS 2x6 WOOD STUDS @ 406mm o.c. SEMI-RIGID STONE WOOL BATT INSULATION R24 VAPOUR BARRIER 15.9 mm TYPE X GYPSUM BOARD	1 H	
W5 EXTERIOR FOUNDATION WALL	PARGING AND LATH ABOVE GRADE (EXTEND 150mm BE LOW GRADE) 2" RIGID INSULATION CONCRETE WALL		
P1 DEMISING WALL RESIDENTIAL W4b	15.9 mm Type X GYPSUM BOARD 2x4 WOOD STUDS @ 610mm o.c. GLASS FIBRE BATT INSULATION RESILIENT METAL CHANNELS @ 610 mm o.c. 15.9 mm TYPE X GYPSUM BOARD 15.9 mm TYPE X GYPSUM BOARD	1 H	54
P2 DEMISING WALL INDUSTRIAL W3b	15.9 mm Type X GYPSUM BOARD 2x4 WOOD STUDS @ 610mm o.c. GLASS FIBRE BATT INSULATION RESILIENT METAL CHANNELS @ 610 mm o.c. 15.9 mm TYPE X GYPSUM BOARD	1 H	48
P3 DEMISING WALL INDUSTRIAL-PLUMB. W3b	15.9 mm Type X GYPSUM BOARD 2x4 WOOD STUDS @ 610mm o.c. GLASS FIBRE BATT INSULATION RESILIENT METAL CHANNELS @ 610 mm o.c. 15.9 mm TYPE X GYPSUM BOARD	1 H	48
P4 PARTITION WALL	12.7 mm GYPSUM BOARD 2x4 WOOD STUDS @ 610mm o.c. 12.7 mm GYPSUM BOARD		
P5 PLUMBING WALL	12.7 mm GYPSUM BOARD 2x6 WOOD STUDS @ 610mm o.c. 12.7 mm GYPSUM BOARD		
P6 CMU WALL	200 mm CMU	1 H	

FLOOR ASSEMBLIES

TYPE	ASSEMBLY	FIRE RATING	STC RATING
F1 SLAB ON GRADE	FINISHED FLOOR AS PER F.F.P. CONCRETE SLAB (AS PER STRUCTURAL) RADON/VAPOUR BARRIER MEMBRANE GRAVEL		
F2 BETWEEN 1ST, 2ND FLOOR F9d	FINISH AND UNDERLAYMENT AS PER F.F.P. 19 mm SUBFLOOR (PLYWOOD / OSB) 406mm TJI @ 406mm o.c. GLASS FIBRE BATT INSULATION BETWEEN JOISTS RESILIENT METAL CHANNELS @ 610 mm o.c. 15.9 mm TYPE X GYPSUM BOARD 15.9 mm TYPE X GYPSUM BOARD	1 H	54
F3 BETWEEN 1ST, 2ND FLOOR - EXTERIOR F9d	DURADEK 6 mm G15 PLYWOOD WATERPROOF MEMBRANE 19 mm SUBFLOOR (PLYWOOD / OSB) DIMENSIONAL LUMBER SLEEPERS SLOPED AT 2% 241mm TJI @ 406mm o.c. GLASS FIBRE BATT INSULATION BETWEEN JOISTS RESILIENT METAL CHANNELS @ 600 mm o.c. 15.9 mm TYPE X GYPSUM BOARD 15.9 mm TYPE X GYPSUM BOARD	1 H	54
F4 BALCONY	DURADEK 19 mm SUBFLOOR (PLYWOOD / OSB) 241mm TJI @ 406mm o.c. SLOPED 2% 15.9 mm TYPE X GYPSUM BOARD 15.9 mm TYPE X GYPSUM BOARD CEMENTITIOUS BOARD SOFFIT PAINTED WHITE	1 H	
F5 MEZZANINE FLOOR	FINISH AND UNDERLAYMENT AS PER F.F.P. 19 mm SUBFLOOR (PLYWOOD / OSB) 306mm TJI @ 406mm o.c. GLASS FIBRE BATT INSULATION BETWEEN JOISTS 15.9 mm TYPE X GYPSUM BOARD 15.9 mm TYPE X GYPSUM BOARD	1 H	
F6 SIDEWALK	BROOM FINISHED CONCRETE ASSEMBLY AS PER CIVIL		

ROOF ASSEMBLIES

TYPE	ASSEMBLY	FIRE RATING	STC RATING
R1 MAIN ROOF	STANDING SEAM METAL ROOF ROOF UNDERLAYMENT 7/16" OSB 2X4 STRAPPING @ 610mm o.c 406mm JOISTS @ 610mm R40 GLASS FIBRE BATT INSULATION 13mm SAG RESISTANT GYPSUM BOARD		
R2 MAIN ROOF OVERHANG	STANDING SEAM METAL ROOF ROOF UNDERLAYMENT 7/16" OSB 2X4 STRAPPING @ 610mm o.c 302mm JOISTS @ 610mm (AS PER STRUCTURAL) METAL SOFFIT		
R3 COLD ROOF OVER STAIRS	STANDING SEAM METAL ROOF ROOF UNDERLAYMENT 7/16" OSB 2x12 JOISTS @ 610mm METAL SOFFIT		

CEILING ASSEMBLIES

TYPE	ASSEMBLY	FIRE RATING	STC RATING
C1 TYPICAL DROPPED CEILING/BULKHEAD	DIMENSIONAL LUMBER FRAMING TO SUIT 13mm SAG RESISTANT GYPSUM BOARD		

ABBREVIATIONS

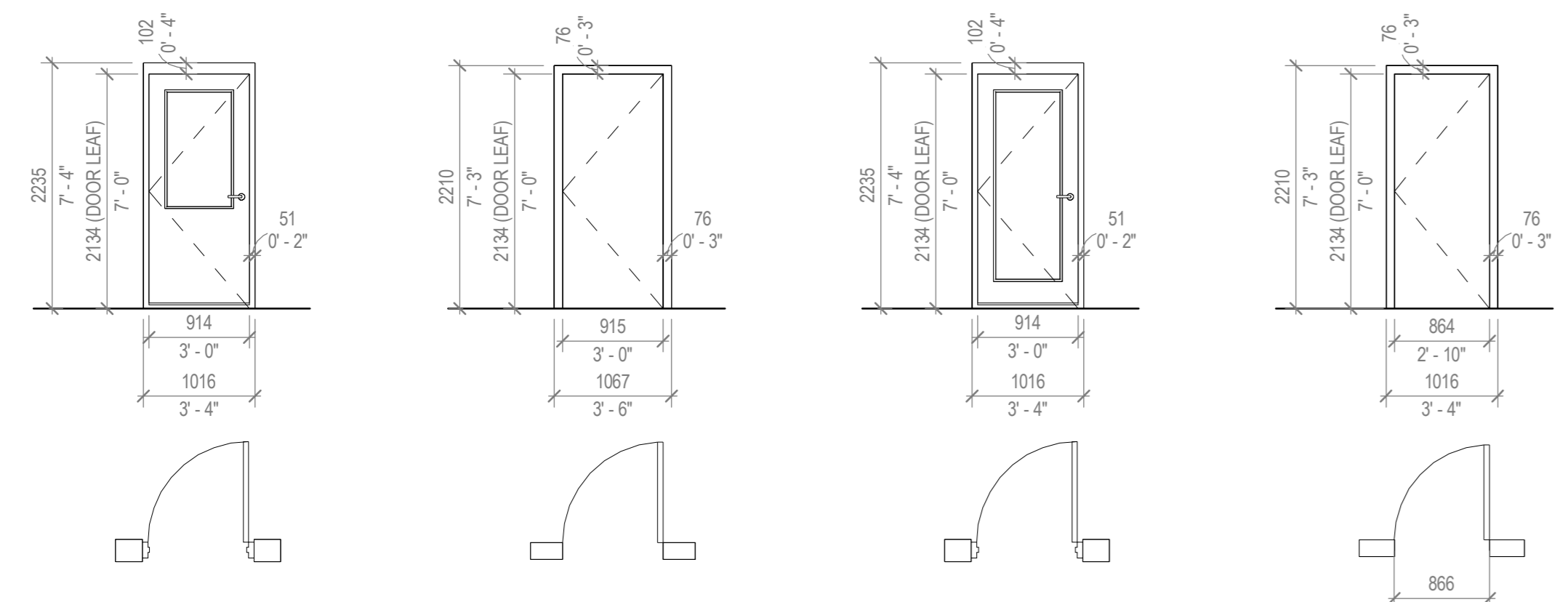
DS	DOWN SPOUT	GALV	GALVANIZED	RIA	RETURN AIR
ACC	ACCESSIBLE	GB	GRAB BAR	RB	RUBBER BASE
ACFL	ACCESS FLOOR	GBN	GARBAGE BIN	RCP	REFLECTED CEILING
ACT	ACTUAL	GC	GENERAL CONTRACTOR	RE	ROOF DRAIN
AD	AREA DRAIN	GL	GLASS / GLAZING	RD	REVOLVING DOOR
ADJ	ADJACENT	GRD	GROUND	REIN	REINFORCED
AFJ	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD	REF	REFERENCE
ANM	ANNULATED	GWG	GEORGIAN WIRE GLASS	REFR	REFRIGERATOR
ALUM	ALUMINUM	GYP	GYPSUM	REQD	REQUIRED
ANP	ANNUNCIATOR PANEL	HO	HONEY-COMB	RES	RESILIENT FLOORING
ANCO	ANKOZED	HOSE	HOSE BIB	REV	REVISION
APPROX	APPROXIMATE	HC	HOLLOW CORE	RM	ROLLING DOOR
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	RR	RAPID ROLL DOOR
AUTO	AUTOMATIC	HC	HOLLOW CORE	RS	RESILIENT SHEET
AVB	AIR VAPOUR BARRIER	HCW	HOLLOW CORE WOOD	RF	REFLECTED CEILING
AVB	AIR VAPOUR BARRIER	HD	HANGAR DOOR	RFL	RUBBER
AVM	AIR VAPOUR MOISTURE BARRIER	HER	HEADER	RWB	RAINWATER LEADER
B	BASE	HW	HARDWARE	SA	SUPPLY AIR
BF	BIFOLD DOOR	HM	HOLLOW METAL	SA	SELF-ADHERED MEMBRANE
BLDG	BUILDING	HO	HONEY-COMB	SAM	SELF-ADHERED MEMBRANE
BM	BEAM	HOR	HORIZONTAL	SC	SOLID CORE
BO	BOTTOM OF	HR	HOUR	SCW	SOLID CORE WOOD
BOL	BOLLARD	HSK	HOLEKEEPING	SD	SINGLE SINGE DOOR
BUR	BUILT UP ROOFING	HSS	HOLLOW STEEL	SF	SQUARE FEET
CAB	CABINET	HT	HEIGHT	SFL	SAFETY FLOOR
CB	CATCH BASIN	HVAC	HEATING / VENTING / AIR CONDITIONING	SG	STRUCTURAL GLAZING
CD	CEILING DOOR	HVY	HEAVY	SHT	SHEET
CG	CORNER GUARD	HW	HOT WATER	SMT	SIAMSE CONNECTION
CIP	CAST IN PLACE	HT	HEIGHT	SM	SIMILAR
CJ	CONTROL JOINT	HT	HEIGHT	SL	SLIDING DOOR
CL	CENTRE LINE	ID	INSIDE DIAMETER	SMC	STEEL METAL CARRIER
CLG	CEILING	INFO	INFORMATION	SO	SLAB ON GRADE
CLR	CLEARANCE	INSUL	INSULATION	SP	STAND PIPE
CLP	COMPOSITE METAL PANEL	INT	INTERIOR	SP	SPECIFICATION
CMU	CONCRETE MASONRY UNIT	IMP	INSULATED METAL PANEL	SQ	SQUARE
COL	COLUMN	ISO	POLYISOCYANURATE	SS	STAINLESS STEEL
COM	CUSTOMERS OWN MATERIAL	JAN	JANITOR CLOSET	SSM	SOLD SURFACING MATERIAL
CONC	CONCRETE	KIT	KITCHEN	ST	STONE
CONST	CONSTRUCTION	L	LENGTH	STC	SOUND TRANSMISSION CLASS
CORR	CORRIDOR	LAV	LAVATORY	STD	STANDARD
CPT	CARPET	LND	LINOLEUM	STL	STEEL
CPT-T	CARPET TILE	LL	LIVELOAD	STP	STORAGE
CS	COUNTER SHUTTER	LVR	LOUVER	STRUC	STRUCTURAL SUSPENDED
CT	CERAMIC TILE	M	METER	TBD	TO BE DETERMINED
CW	CURTAIN WALL	MAX	MAXIMUM	TD	TRENCH DRAIN
CW	COMPLETE WITH	MECH	MECHANICAL	TEL	TELEPHONE
D	DEGREE	MED	MEDIUM	TEMP	TEMPORARY
D	DEGREE	MEL	MELANINE	TERR	TERRAZZO
DEMO	DEMOLITION	MEP	MECHANICAL, ELECTRICAL AND PLUMBING	TO	TOP OF
DF	DRINKING FOUNTAIN	ME	MEZZANINE	TOC	TOP OF CURB
DI	DIAMETER	MF	MINERAL FIBRE	TOF	TOP OF FLOOR
DM	DIMENSION	MFR	MANUFACTURER	TOS	TOP OF STEEL
DL	DEAD LOAD	MH	MANHOLE	TP	TRANSITION STRIP
DN	DOWN	MN	MINIMUM	TSG	TEMPERED SAFETY GLASS
DNWR	DURAWAR	MSC	MISCELLANEOUS	TYP	TYPICAL
DP	DEPTH	MDG	MOLDING	UG	UNDER GROUND
DR	DOOR	MLK	MILLIMETER	UN	UNLESS NOTED OTHERWISE
DW	DISH WASHER	MP	METAL PANEL	US	UNDERSIDE
DWG	DRAWING	MTD	MOUNTED	V	VENEER
EA	EACH	MTL	METAL	VB	VAPOUR BARRIER
EJ	EXPANSION JOINT	MTL	METAL	VCT	VINYL COMPOSITE TILE
EL	ELEVATION	NA	NOT APPLICABLE	VERT	VERTICAL
ELEC	ELECTRICAL	NF	NO FRAME (FRAMELESS)	VEST	VESTIBULE
ELEV	ELEVATOR	NC	NOT IN CONTRACT	VF	VERIFY IN FIELD
EP	ELECTRICAL PANEL	NR	NUMBER	W	WIDTH
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	NTS	NOT TO SCALE	WC	WALL COVERING
EPK	EPOXY	OIC	ON CENTRE	WC	WALL CLOSET
EQ	EQUAL	OD	OUTSIDE DIAMETER	WO	WOOD
ES	EMERGENCY SHOWER	OH	OVERHEAD DOOR	WH	WATER HEATER
EXIST	EXISTING	OH	OVERHEAD	WP	WATERPROOF
EXP	EXPOSED	OPG	OPENING	WPR	WALL PROTECTION
EXP-S	EXPOSED STRUCTURE	OPP	OPOSITE	WRM	WASHROOM
EXT	EXTERIOR	OS	OWNER SUPPLIED	WV	WOOD VENEER
ENS	EYE WASH STATION	OWSJ	OPEN WEB STEEL JOIST	XHVY	EXTRA HEAVY
F	FRAME	P	PAINT (colour)		
FAAP	FIRE ALARM ANNUNCIATOR PANEL	PC	POWDER COAT		
FAB	FABRIC	P CONC	POLISHED CONCRETE		
FC	FLASH COVE	PL	PLANTER DRAIN		
FD	FLOOR DRAIN	PERP	PERPENDICULAR		
FDN	FOUNDATION	PH	PHASE		
FE	FIRE EXTINGUISHER	PL	PROPERTY LINE		
FEE	FINISH FLOOR	PLAM	PLASTIC LAMINATE		
F8E	ELEVATION	PLYWD	PLYWOOD		
FFFE	FURNITURE FIXTURES & EQUIPMENT	PO	POLYSTYRENE		
FHC	FIRE HOSE CABINET	POLY	POLYETHYLENE		
FLR	FLOOR	POLY-U	POLYURETHANE		
FIO	FACE OF	PREFAB	PREFABRICATED		
FOC	FACE OF CONCRETE	PREFIN	PREFINISHED		
FOG	FACE OF GLAZING	PS	PRESSED STEEL		
FOS	FACE OF STUD	PSFR	PRESSED STEEL FRAME		
FP	FRAME PROTECTION	PT	PRESSURE TREATED		
FRR	FIRE RESISTANCE RATING	PTD	PAINTED		
FT	FOOTFEET	QT	QUARRY TILE		
G ()	GLASS (type)	R	RADIUS		

GENERAL NOTES

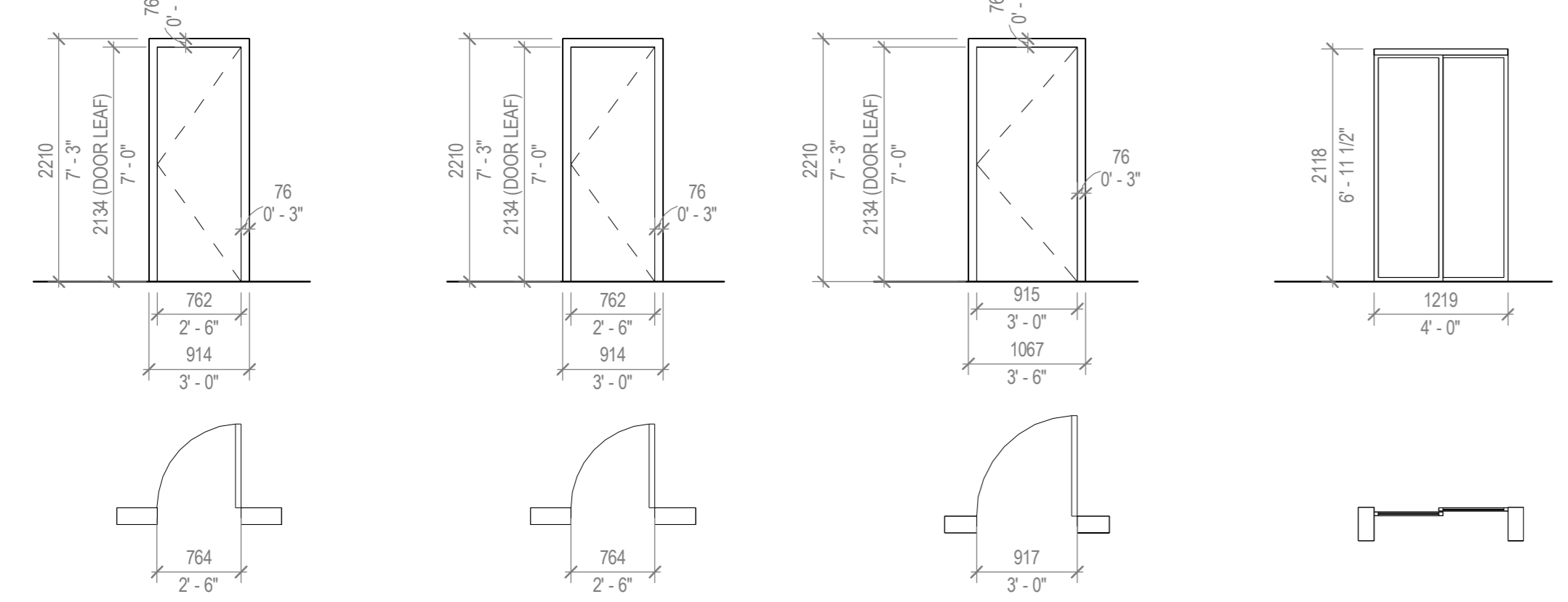
- 1 drawings are not to be scaled
- 2 all dimensions and installations are to be verified on site
- 3 contractor to comply to all current ALBERTA BUILDING CODE rules plus any and all authorities having jurisdiction during all phases of work
- 4 it is the contractors responsibility to bring all omissions, discrepancies, including dimensions, to the attention of the designer prior to the commencing of any work
- 5 any patching, repair, refinishing, reconstruction & repainting work required as a result of performance of work for this contract shall incorporate and be performed with materials to match same and shall match required fire ratings
- 6 where "TYPE X" gypsum wall board is noted on drawings, provide fire-rated gypsum wall board with U.L.C. label
- 7 pre-drilled inserts are to be used when attaching or fastening materials or fittings to masonry or concrete walls, floors, slabs or ceiling assemblies
- 8 refer to structural drawings and specifications for reinforcing and core filling of masonry walls at wall openings, corners & terminations unless noted otherwise
- 9 where indicated on electrical drawings, provide 19mm/3/4" plywood backing to sides noted for surface mounting electrical panels, paint prior to installation
- 10 provide solid blocking (2"x6") in stud partitions behind all recessed or flush mounted equipment & accessories at all anchor points
- 11 it is the contractors responsibility to coordinate his own forces & his sub trades to ensure that holes cut for penetrations through the exterior wall systems are not oversized, after installation of any penetrations, the voids between the penetration opening and the penetration materials shall be completely sealed to ensure the integrity of the air/vapour barrier
- 12 where architectural, structural, mechanical or electrical installations penetrate wall and/or floor assemblies seal any such penetrations with fire rated acoustic sealant & maintain required fire rating & acoustic minimums
- 13 these architectural drawings shall be read in conjunction with structural engineer's letter, notes and shop drawings as well as mechanical & electrical drawings & roof truss/ joist supplier/ manufacturer's drawings
- 14 approved primer shall be used on all peel and stick products
- 15 all wood cladding products including siding, knee braces, wall shingles, trim and boards shall be back primed prior to installation

SYMBOL LEGEND

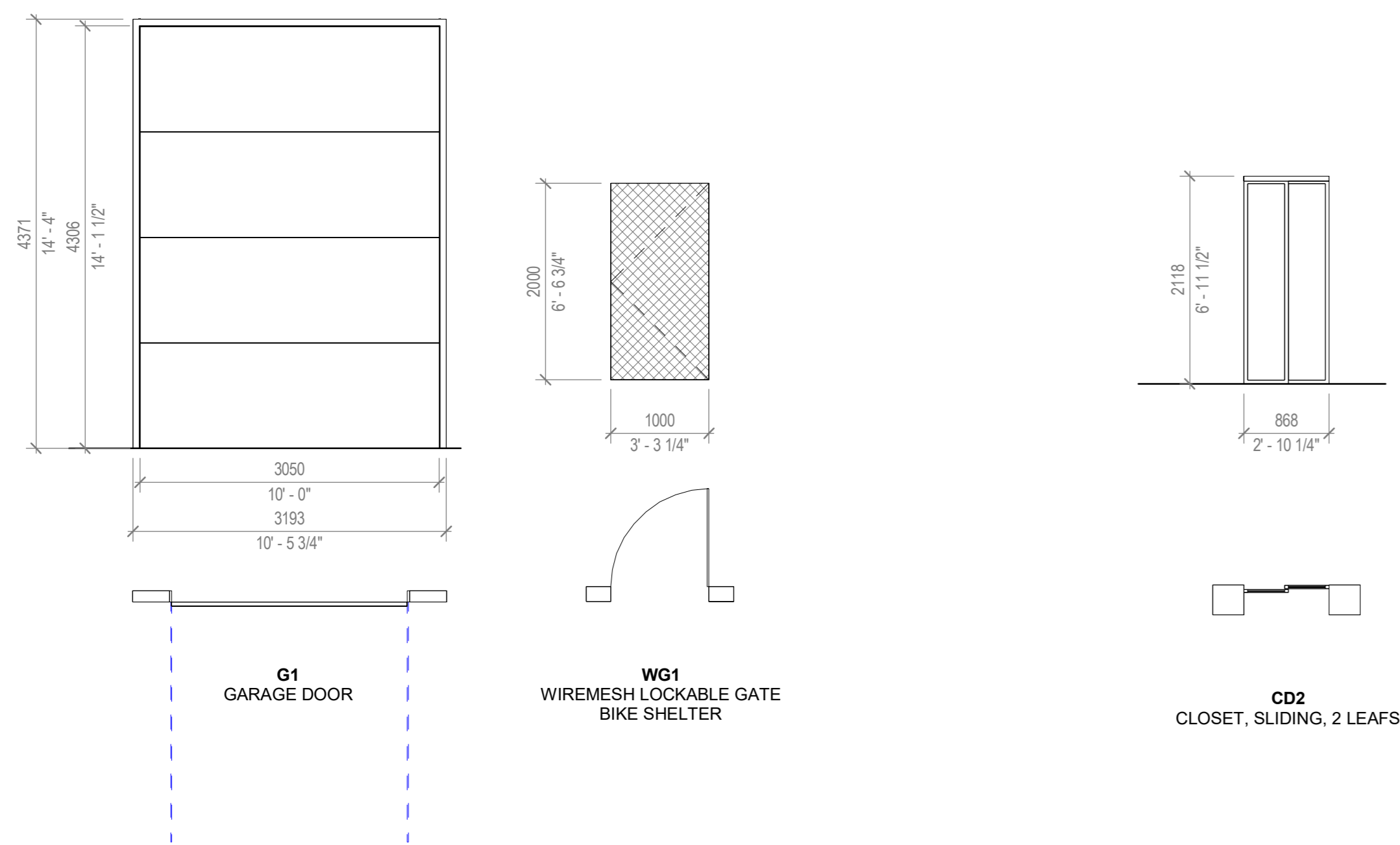
ANNOTATION SYMBOLS	PLAN DETAIL REFERENCE	BUILDING SECTION REFERENCE	WALL / DETAIL SECTION REFERENCE	EXTERIOR ELEVATION REFERENCE	INTERIOR ROOM ELEVATION REFERENCE	GRID TAG	LEVEL TAG	HEIGHT ELEVATION TAG	SPOT ELEVATION TAG	ROOM TAG	DOOR NUMBER TAG	EXTERIOR WINDOW TAG	REVISION TAG	ASSEMBLY SYMBOLS	FINISHES SYMBOLS
	DETAIL NUMBER		BUILDING SECTION REFERENCE		WALL / DETAIL SECTION REFERENCE		GRID TAG		LEVEL TAG		ROOM TAG		EXTERIOR WINDOW TAG		ASSEMBLY SYMBOLS
	SECTION NUMBER		SECTION NUMBER		SECTION NUMBER		LEVEL NAME		LEVEL ELEVATION		DOOR NUMBER TAG		EXTERIOR WINDOW TAG		REVISION TAG
	DRAWING NUMBER		DRAWING NUMBER		DRAWING NUMBER		LEVEL NAME		LEVEL ELEVATION		ROOM TAG		EXTERIOR WINDOW TAG		REVISION TAG
	DRAWING NUMBER		DRAWING NUMBER		DRAWING NUMBER		LEVEL NAME		LEVEL ELEVATION		ROOM TAG		EXTERIOR WINDOW TAG		REVISION TAG
	DRAWING NUMBER		DRAWING NUMBER		DRAWING NUMBER		LEVEL NAME		LEVEL ELEVATION		ROOM TAG		EXTERIOR WINDOW TAG		REVISION TAG
	DRAWING NUMBER		DRAWING NUMBER		DRAWING NUMBER		LEVEL NAME		LEVEL ELEVATION		ROOM TAG		EXTERIOR WINDOW TAG		REVISION TAG
	DRAWING NUMBER		DRAWING NUMBER		DRAWING NUMBER		LEVEL NAME		LEVEL ELEVATION		ROOM TAG				



D1 ENTRANCE DOOR INDUSTRIAL
D2 ENTRANCE DOOR INDUSTRIAL (MECHANICAL, EL., SPRINKLER ROOM)
D3 ENTRANCE DOOR RESIDENTIAL
D4 INTERIOR SINGLE SWING BEDROOMS

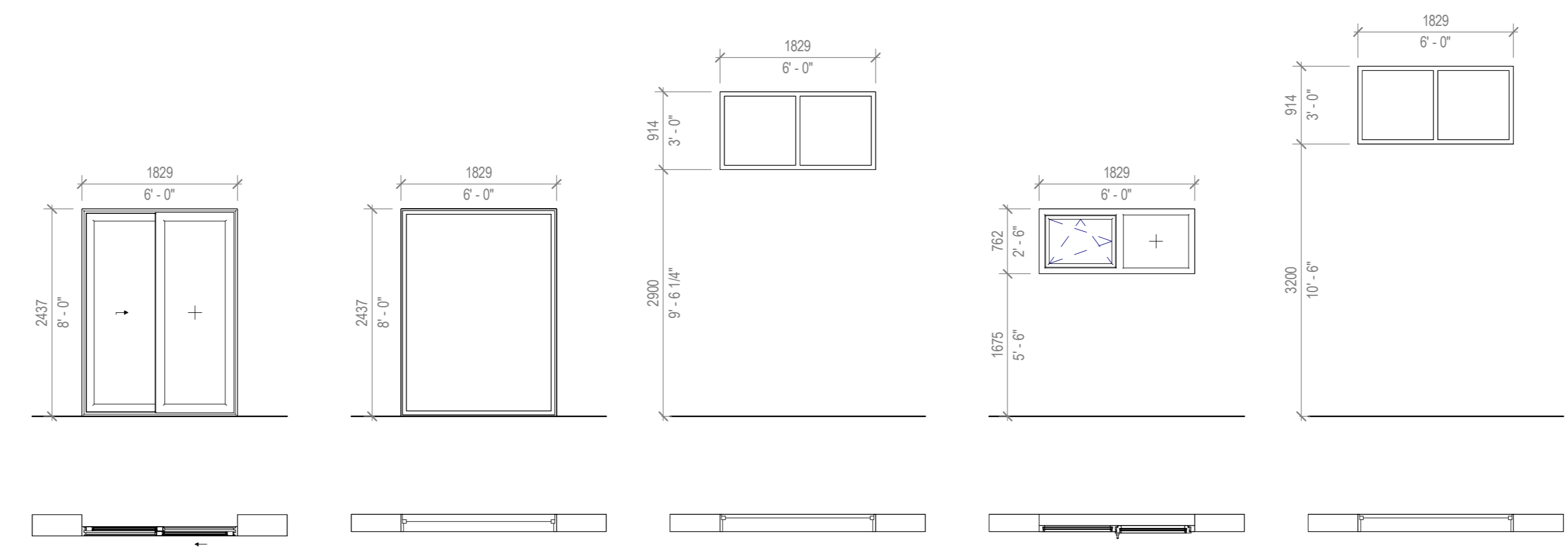


D5 INTERIOR SINGLE SWING BATHROOMS RESIDENTIAL
D6 INTERIOR SINGLE SWING WASHROOMS INDUSTRIAL
D7 INTERIOR SINGLE SWING STORAGE INDUSTRIAL



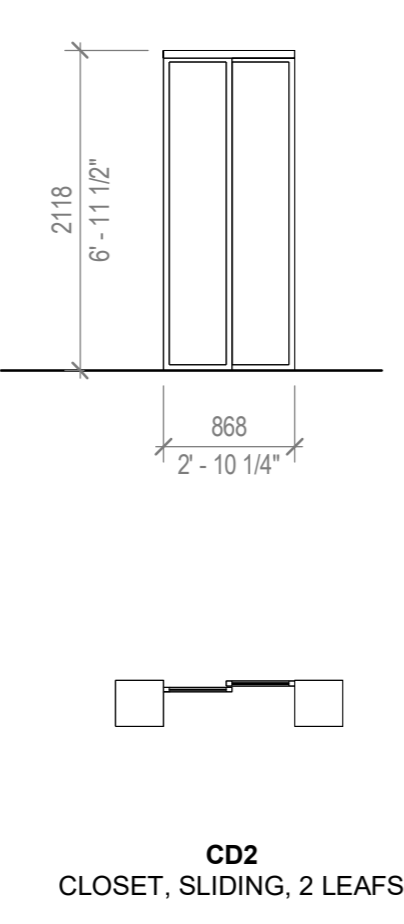
G1 GARAGE DOOR
WG1 WIREMESH LOCKABLE GATE BIKE SHELTER

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	COUNT	TYPE	FIRE RATING
CD1	1.219	2.134	20	CLOSET, SLIDING, 2 LEAFS	N/A
CD2	0.868	2.134	10	CLOSET, SLIDING, 2 LEAFS	N/A
D1	0.914	2.134	12	ENTRANCE DOOR, INDUSTRIAL	N/A
D2	0.915	2.134	4	ENTRANCE DOOR, INDUSTRIAL 2	N/A
D3	0.914	2.134	12	ENTRANCE DOOR	N/A
D4	0.864	2.134	15	INTERIOR SINGLE SWING, BEDROOMS	N/A
D5	0.762	2.134	36	INTERIOR SINGLE SWING, BATHROOMS, RESIDENTIAL	N/A
D6	0.762	2.134	1	INTERIOR SINGLE SWING, BATHROOMS, INDUSTRIAL	N/A
D7	0.915	2.134	3	INTERIOR SINGLE SWING, STORAGE	45 min
G1	3.050	4.300	12	GARAGE DOOR	N/A
WG1	1.000	2.000	9	WIREMESH GATE	N/A



W1 2 LEAF SLIDING WINDOW 1 LEAF SLIDING, 1 LEAF FIXED
W2 FIXED WINDOW
W3 HIGH SILL FIXED WINDOW
W4 2 LEAF HIGH SILL WINDOW 1 LEAF OPERABLE, 1 LEAF FIXED
W5 HIGH SILL FIXED WINDOW

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	COUNT	TYPE	
W1	1.829	2.437	13	SLIDING WINDOW, 1 LEAF SLIDING, 1 LEAF FIXED	
W2	1.829	2.437	11	FIXED WINDOW	
W3	1.829	0.914	24	HIGH SILL 2 LEAF FIXED WINDOW	
W4	1.829	0.762	14	HIGH SILL WINDOW 1 LEAF OPERABLE, 1 LEAF FIXED	
W5	1.829	0.914	24	HIGH SILL 2 LEAF FIXED WINDOW	



CD1 CLOSET, SLIDING, 2 LEAFS
CD2 CLOSET, SLIDING, 2 LEAFS

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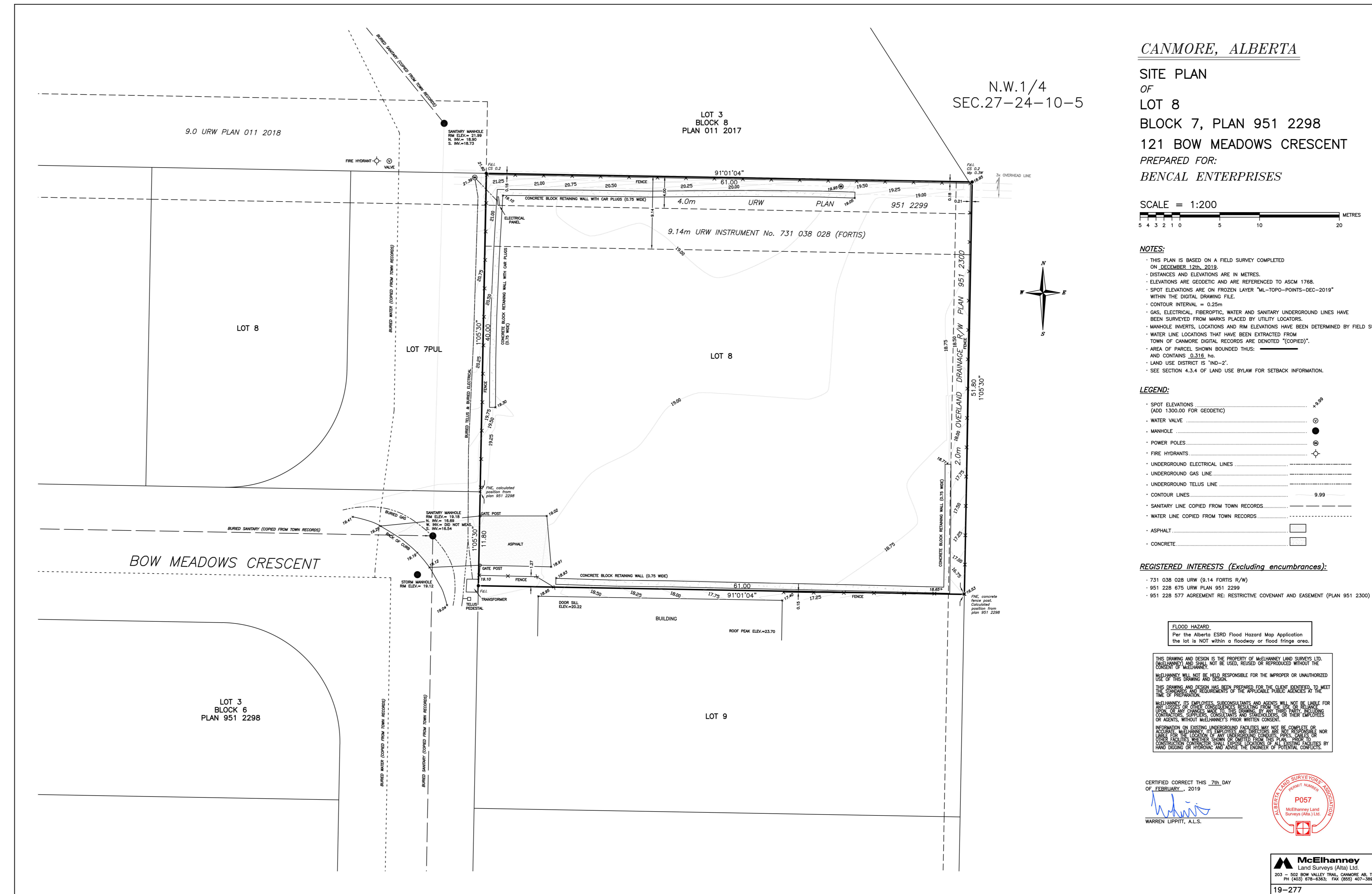
121 BOW MEADOWS

121 Bow Meadows Crescent, Chamone

WINDOW/DOOR SCHEDULE

PLOT DATE: 2023-04-13 3:40:33 PM

A002



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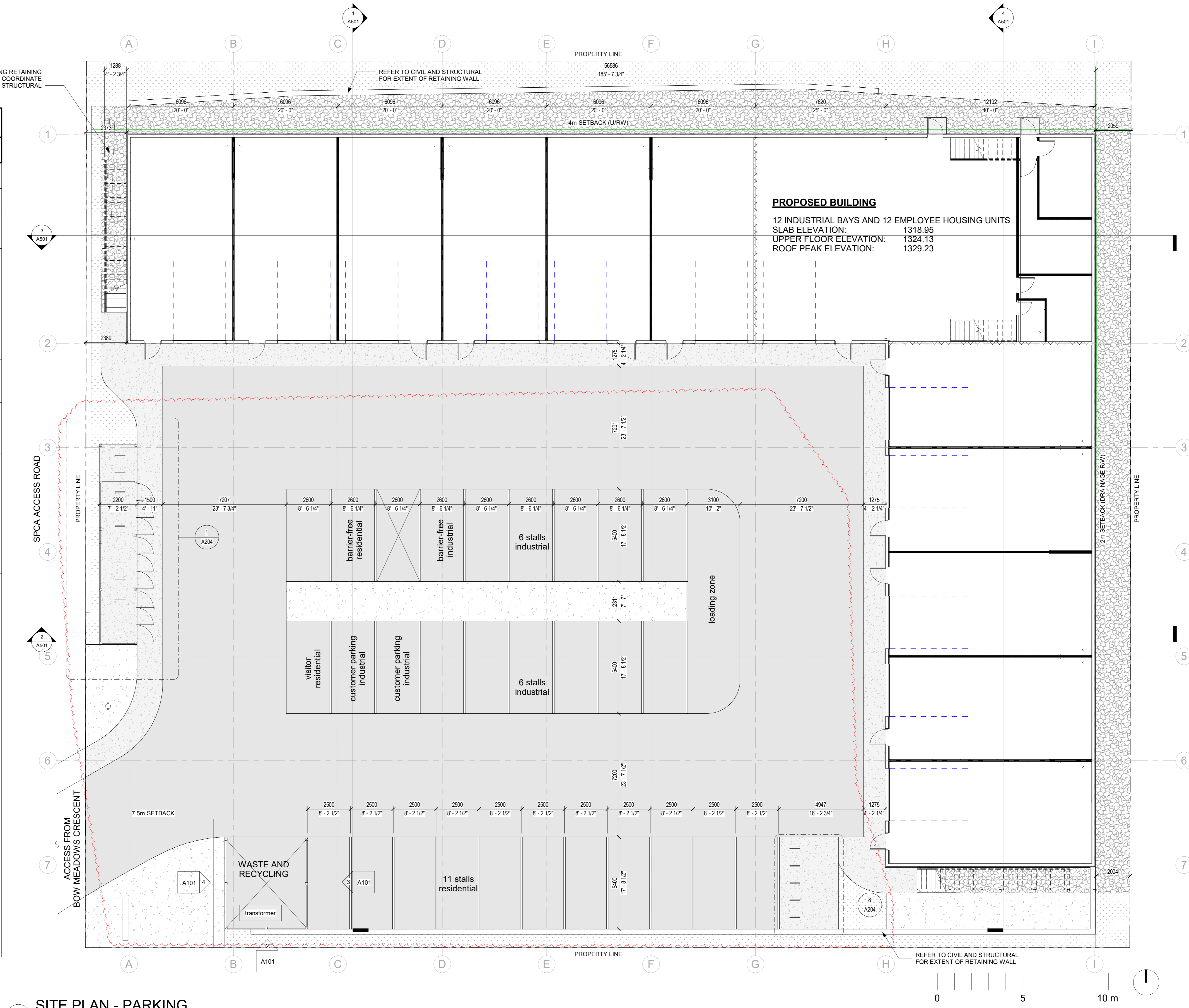
121 BOW MEADOWS

SITE PICTURE AND SITE SURVEY

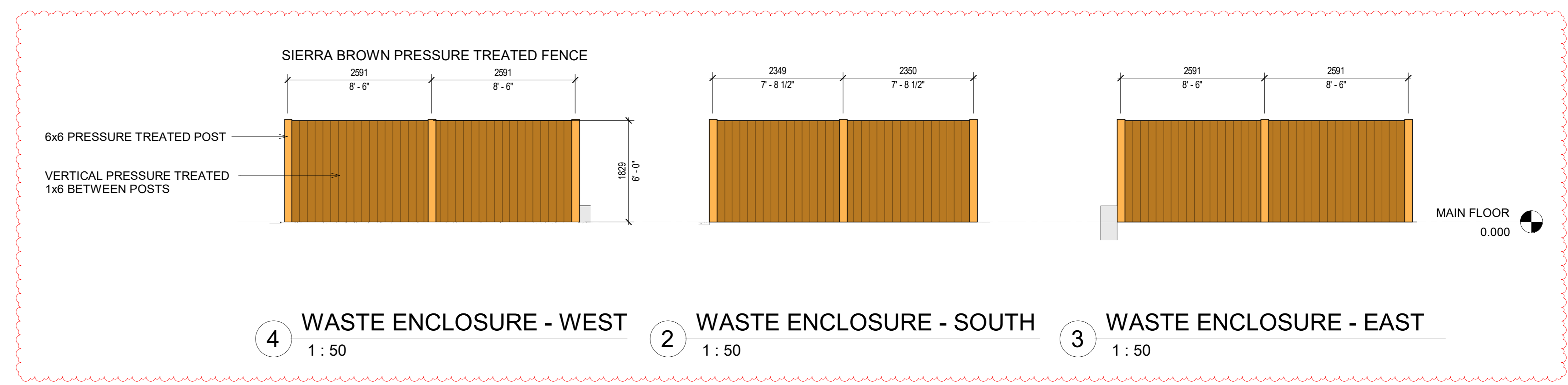
PLOT DATE: 2023-04-13 3:40:36 PM

A100

SITE SUMMARY AND LAND USE		
BY-LAW ITEM	DESCRIPTION	REFERENCE
LEGAL DESCRIPTION	LOT 8, BLOCK 7, PLAN 9512298	
MUNICIPAL ADDRESS	121 BOW MEADOWS CRESCENT, CANMORE, AB	
APPLICABLE BY-LAW AND REFERENCES	TOWN OF CANMORE LAND USE BYLAW	APRIL 1, 2020
ZONING, PERMITTED AND DISCRETIONARY USES	ZONING: IND-2 GENERAL INDUSTRIAL DISTRICT PERMITTED USE: INDUSTRIAL USE DISCRETIONARY USE: EMPLOYEE HOUSING APPROVED USE: EMPLOYEE HOUSING (12 UNITS) WAREHOUSE (6 UNITS) CONTRACTOR SERVICE AND REPAIR (4 UNITS) LIGHT MANUFACTURING (2 UNITS)	BYLAW 5.3 NOTICE OF DECISION PL20210301
GEODETTIC ELEVATION	19.50	
REQUIRED SETBACKS	FRONT YARD: 7.5m REAR YARD: 0m SIDE YARD: 0m	BYLAW 5.3.3
SITE AREA	3159.02 m ²	
SITE COVERAGE	1179.95 m ² / 3159.02 m ² = 37.35%	BYLAW
BUILDING HEIGHT ALLOWED	11m	BYLAW 5.3.3.6
BUILDING AREA	MAIN FLOOR 1070.62 m ² 2ND FLOOR 875.43 m ² TOTAL 1946.05 m ²	
FAR	0.62	
PARKING REQUIRED	WAREHOUSE: 0 PARKING STALLS REQUIRED CONTRACTOR SERVICE AND REPAIR: 0 PARKING STALLS REQUIRED LIGHT MANUFACTURING: 0 PARKING STALLS REQUIRED MAXIMUM NUMBER OF PARKING STALLS ALLOWED (INDUSTRIAL): 10 REGARDLESS OF GFA PER PROPOSED USE EMPLOYEE HOUSING: 1 PARKING STALL / DWELLING UNIT = 12 STALLS RESIDENTIAL VISITOR P.: 0.15 PARKING STALLS / DWELLING UNIT = 1.8 STALLS TOTAL MINIMUM PARKING STALLS REQUIRED: 13.80 = 13 STALLS	NOTICE OF DECISION PL20210301 SPECIFIC CONDITION 4 BYLAW 2.7.6.2 TABLE 2.7-2 2.7.7.1 TABLE 2.7-3
BICYCLE PARKING REQUIRED / PROVIDED	CLASS C INDUSTRIAL BIKE STALLS SHORT-TERM BICYCLE STALLS REQUIRED: 1 BIKE STALL PER 100 M ² = 987 M ² / 100 M ² = 10 STALLS STALLS PROVIDED: 12 STALLS (1 PER BAY) LONG-TERM BICYCLE STALLS REQUIRED: 1 BIKE STALL PER 100 M ² = 987 M ² / 100 M ² = 10 STALLS STALLS PROVIDED: 12 STALLS (1 PER BAY) RESIDENTIAL BIKE STALLS SHORT-TERM BICYCLE STALLS REQUIRED: 25 STALLS / DWELLING UNIT = 25 X 12 = 3 STALLS STALLS PROVIDED: 4 STALLS LONG-TERM BICYCLE STALLS REQUIRED: 1.5 STALLS / DWELLING UNIT = 1.5 X 12 = 18 STALLS STALLS PROVIDED: 18 STALLS	NOTICE OF DECISION PL20210301 2.7.7.1 TABLE 2.7-3
LOADING REQUIRED / PROVIDED	1 LOADING BAY REQUIRED 1 LOADING BAY PROVIDED	NOTICE OF DECISION PL20210301



1 SITE PLAN - PARKING
1 : 100



LANDSCAPE PLAN LEGEND	
	PROPERTY LINE
	GRASS (NATIVE SEED MIX)
	CONCRETE SIDEWALK
	WASHED GRAVEL 100mm DEPTH OVER BLACK FILTER FABRIC
	ASPHALT
	STONE MULCH AT PLANTING BEDS
	SPECIMEN BOULDERS
	PICNIC TABLE QTY: 2
	METAL BIKE RACK
	METAL FENCE
	PRECAST RETAINING WALL - COORDINATE WITH CIVIL

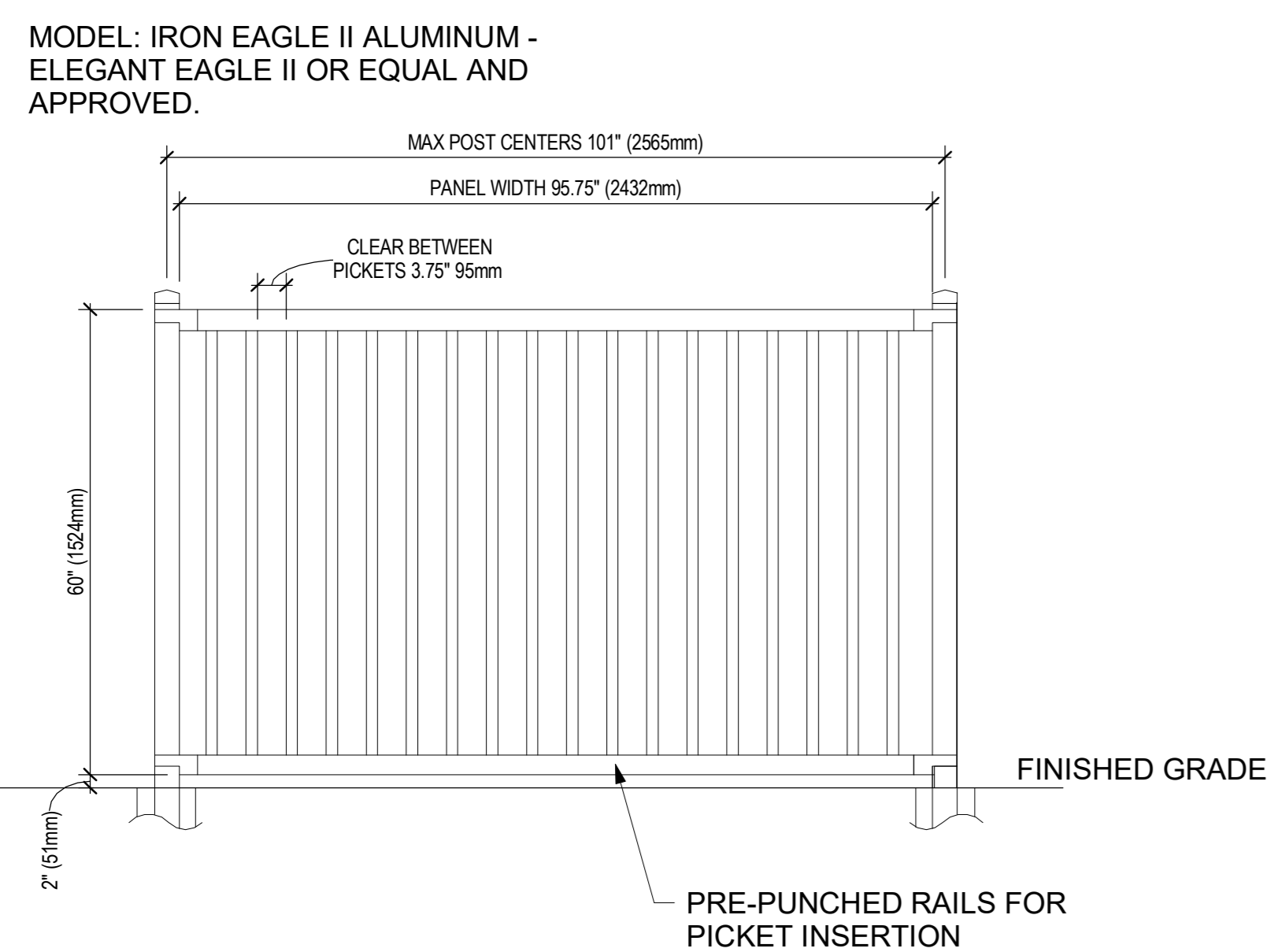
AREA CALCULATIONS	
SITE AREA	3,158.4 m ²
BUILDING FOOTPRINT	33.9% 1,069.9 m ²
VEHICULAR ROAD AND PARKING	41.2% 1,301 m ²
SOFT LANDSCAPE AREA	4.4% 137.8 m ²
HARD LANDSCAPE AREA	20.6% 649.7 m ²
TOTAL LANDSCAPE AREA INCLUDING PATIOS, WALKWAYS AND PEDESTRIAN AREAS	25% 787.4 m ²

*ALL AREAS MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM

SHRUB AND GROUND COVER PLANTING AND MULCH	
STONE MULCH AT PLANTING BEDS	
SHRUB COUNT = 89	
MINIMUM 600mm HEIGHT OR SPREAD, 5 GAL. CONTAINER: QTY=82	
MINIMUM 300mm HEIGHT OR SPREAD, 2 GAL. CONTAINER: QTY=8	
WOLF WILLOW	ELAEAGNUS COMMUTATA
WATERTON MOCKORANGE	PHILADELPHUS LEWISII 'WATERTON'
POTENTILLA (VAR SPECIES)	POTENTILLA FRUTICOSA
PRICKLY ROSE	ROSA ACICULARIS

DECIDUOUS TREES	
QTY: 11	
7 @ 75mm CAL.	
4 @ 50mm CAL.	
PRAIRIE SPIRE GREEN ASH	FRAXINUS PENNSYLVANICA
COLUMNAR ASPEN	POPULUS TREMULA 'ERECTA'
TREMBLING ASPEN	POPULUS TREMULOIDES

ALL PLANT MATERIAL IS OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CANMORE AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK



PANEL HEIGHT	PANEL HEIGHT	POST CENTERS
UP TO 6FT HIGH	95.75" (2432mm)	101" (2565mm)

SPECIFICATIONS:

POSTS RAILS & PICKETS: EXTRUDED MARINE ALUMINUM 6061-T6 PRIME ALUMINUM, NORTH AMERICAN PRODUCED

FINISH: SEVEN STAGE ARCHITECTURALLY CERTIFIED PRETREATMENT AS PER AAMA 2604. SUPER DURABLE ELECTROSTATICALLY APPLIED POWDER COAT - MIN THICKNESS 2.5 MILS

POSTS: 76mm x 76mm (3"x3"), .188 WALL

POST FLANGES: 152mm x 152mm x 6mm (6"x6" x .5")

POST CAP: PYRAMID OR BALL

RAILS: 38mm x 64mm (1.5" x 2.5"), .120 WALL

PICKETS: 19mm x 38mm (.75" x 1.5"), .065 WALL

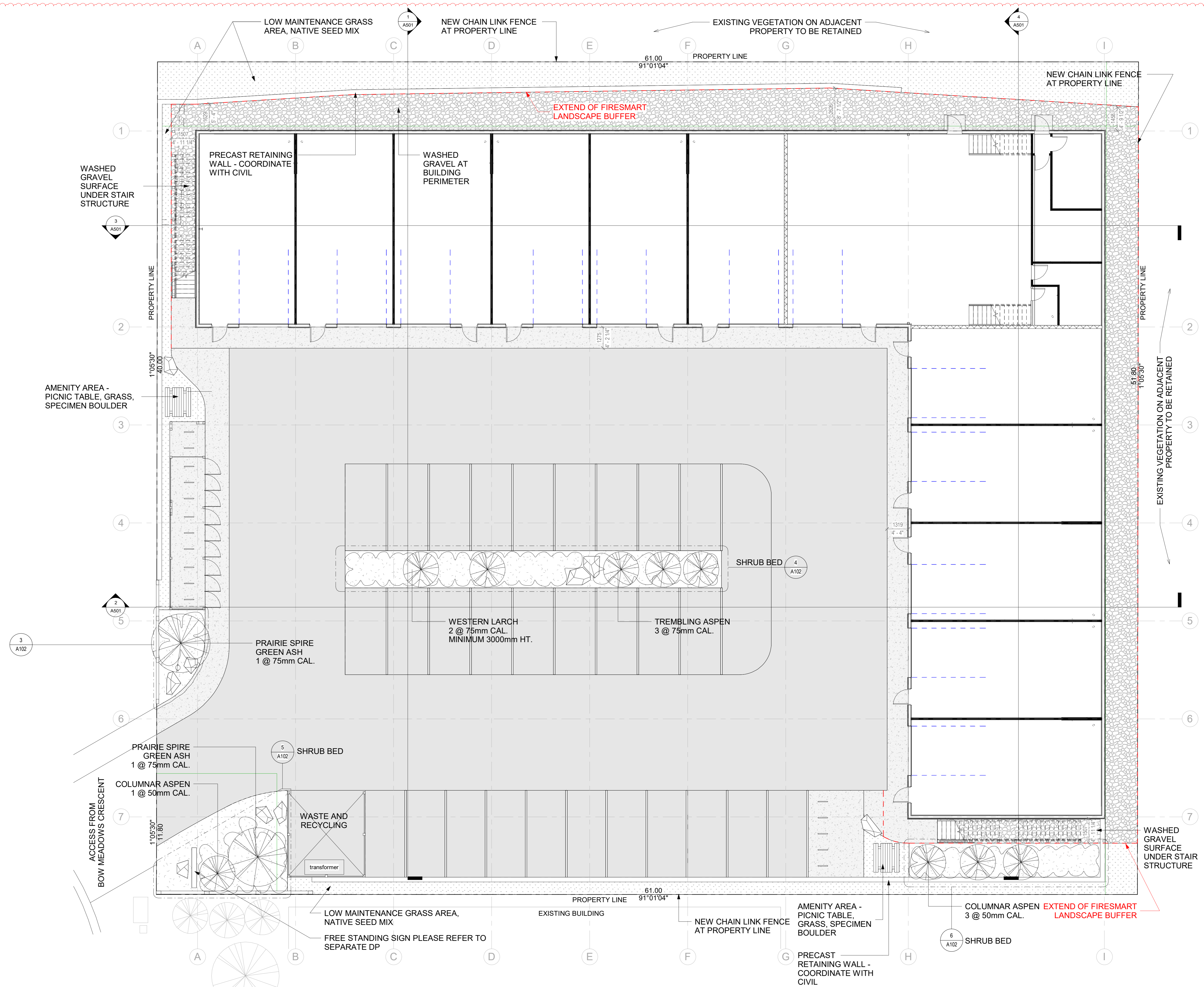
FITTINGS: 12GA. STAMPED MARINE GRADE ALUMINUM FINISH AS DESCRIBED

WELDS: ALUMINUM - FULL BEAD ON PUBLIC SIDE - TACK WELD ON PRIVATE SIDE

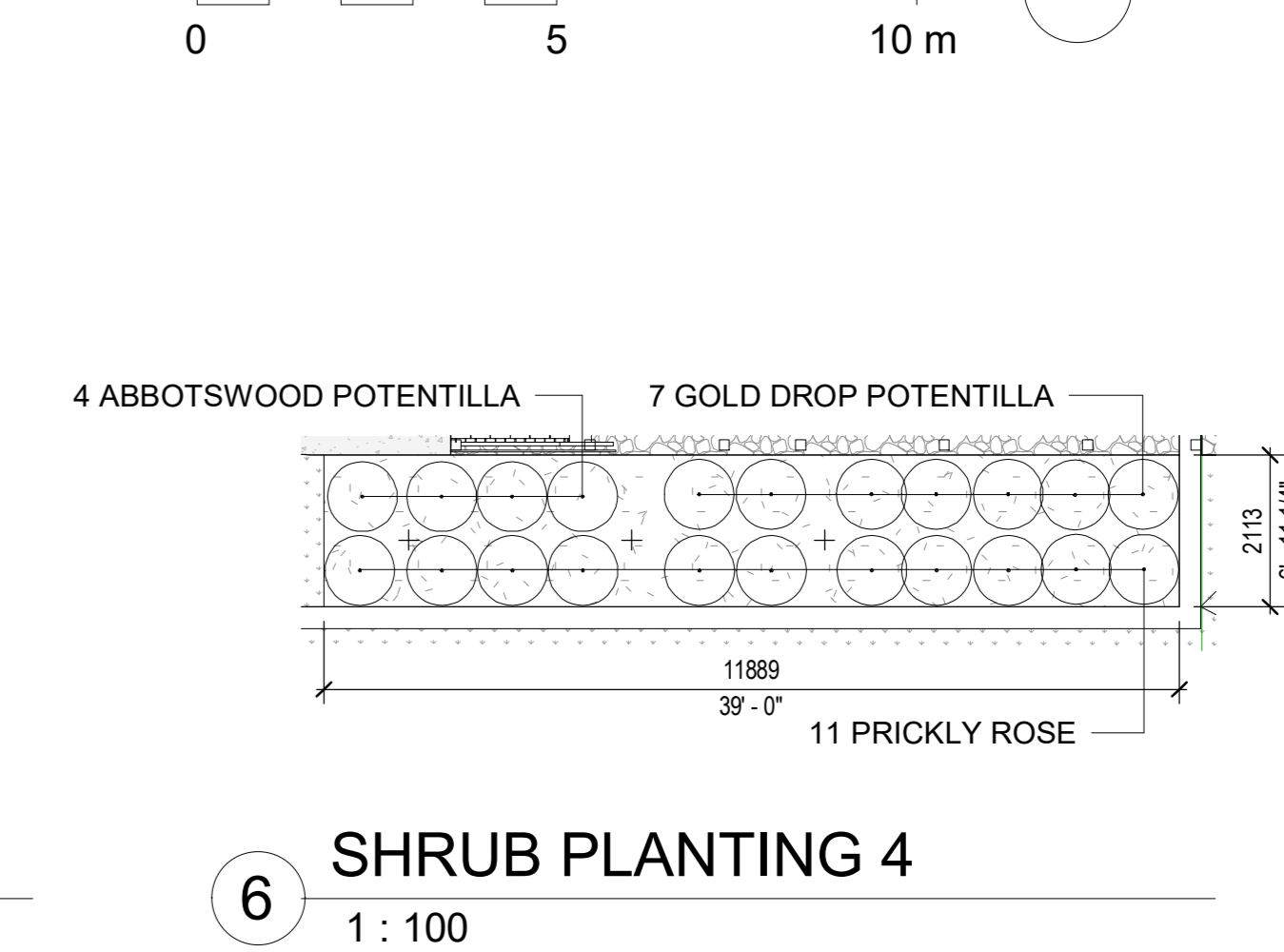
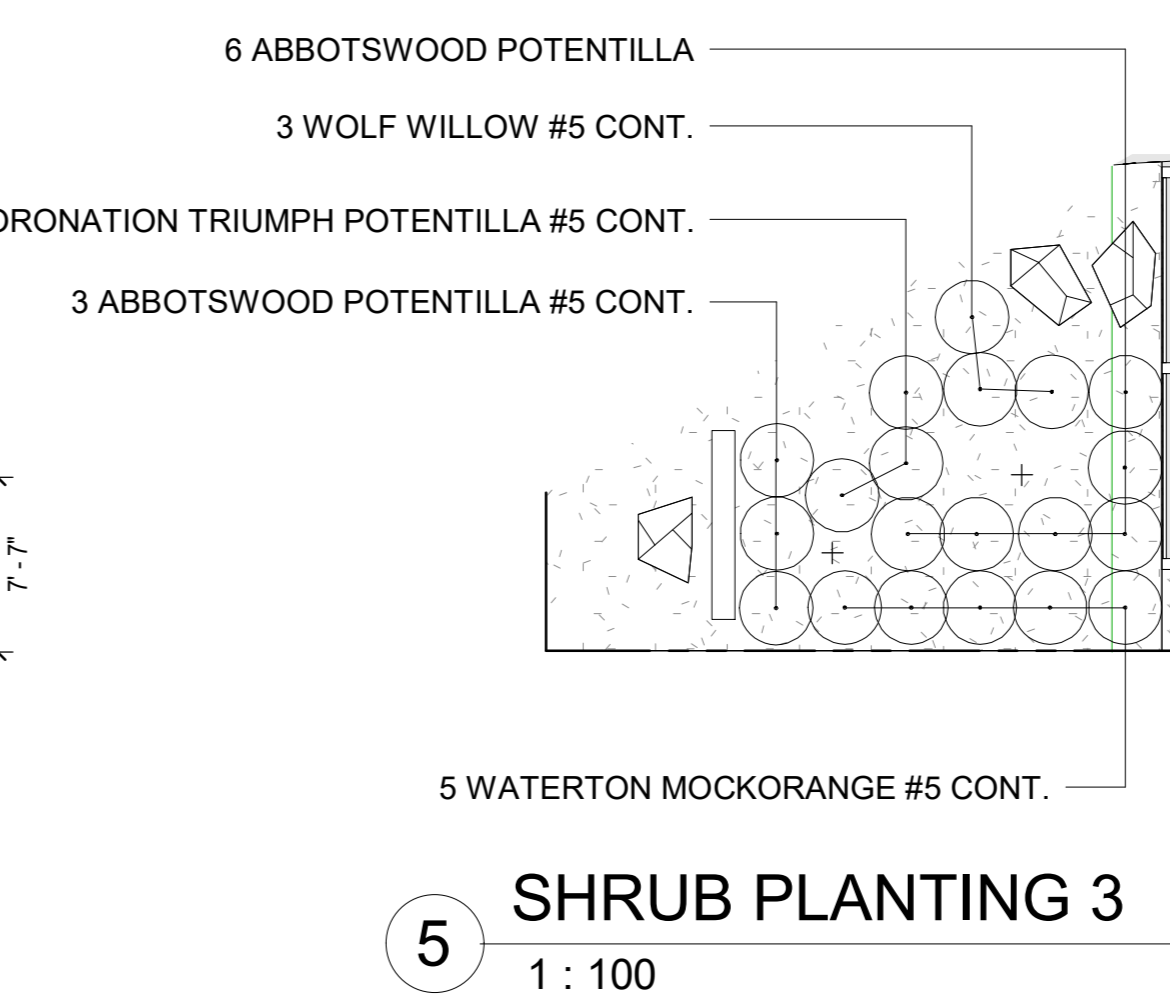
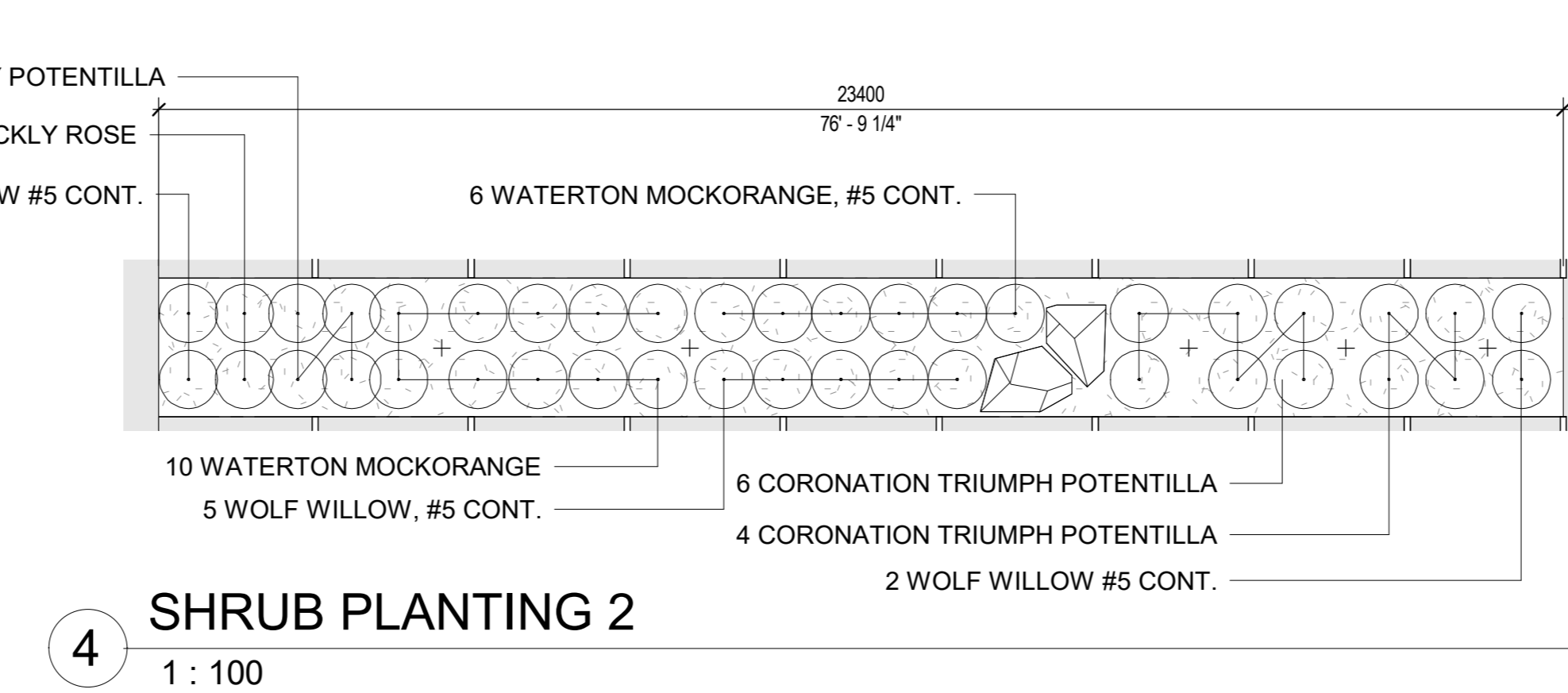
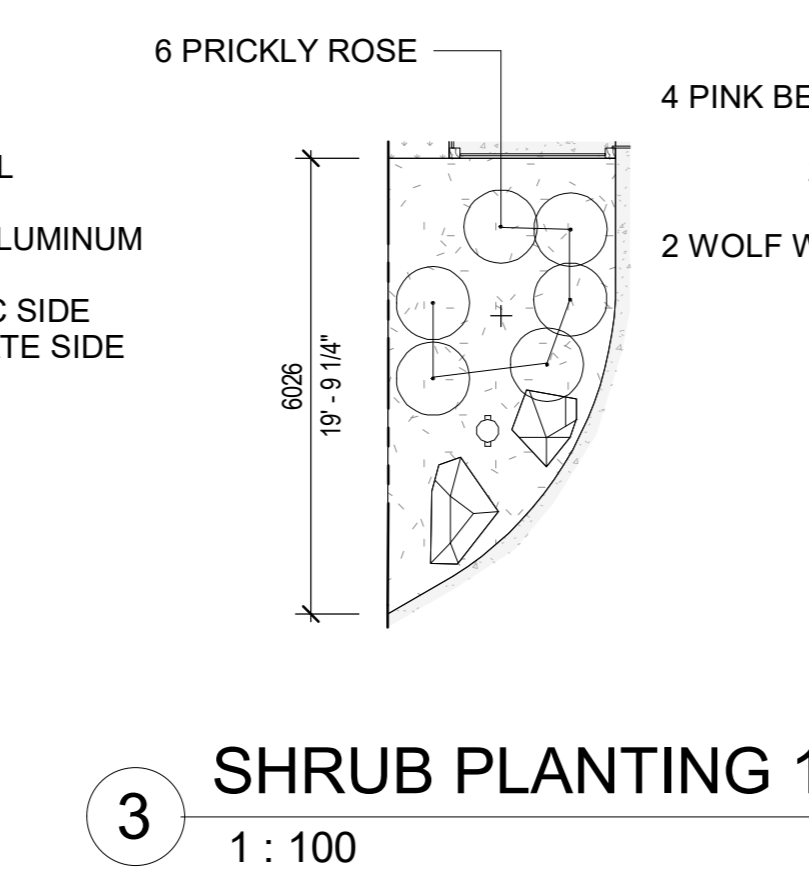
COLOUR: BLACK

WARRANTY: 20 YEAR LIMITED

NOTES: ALL TYPES OF GATES AVAILABLE TAMPER PROOF NUTS AVAILABLE



1 LANDSCAPE PLAN
1: 100



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1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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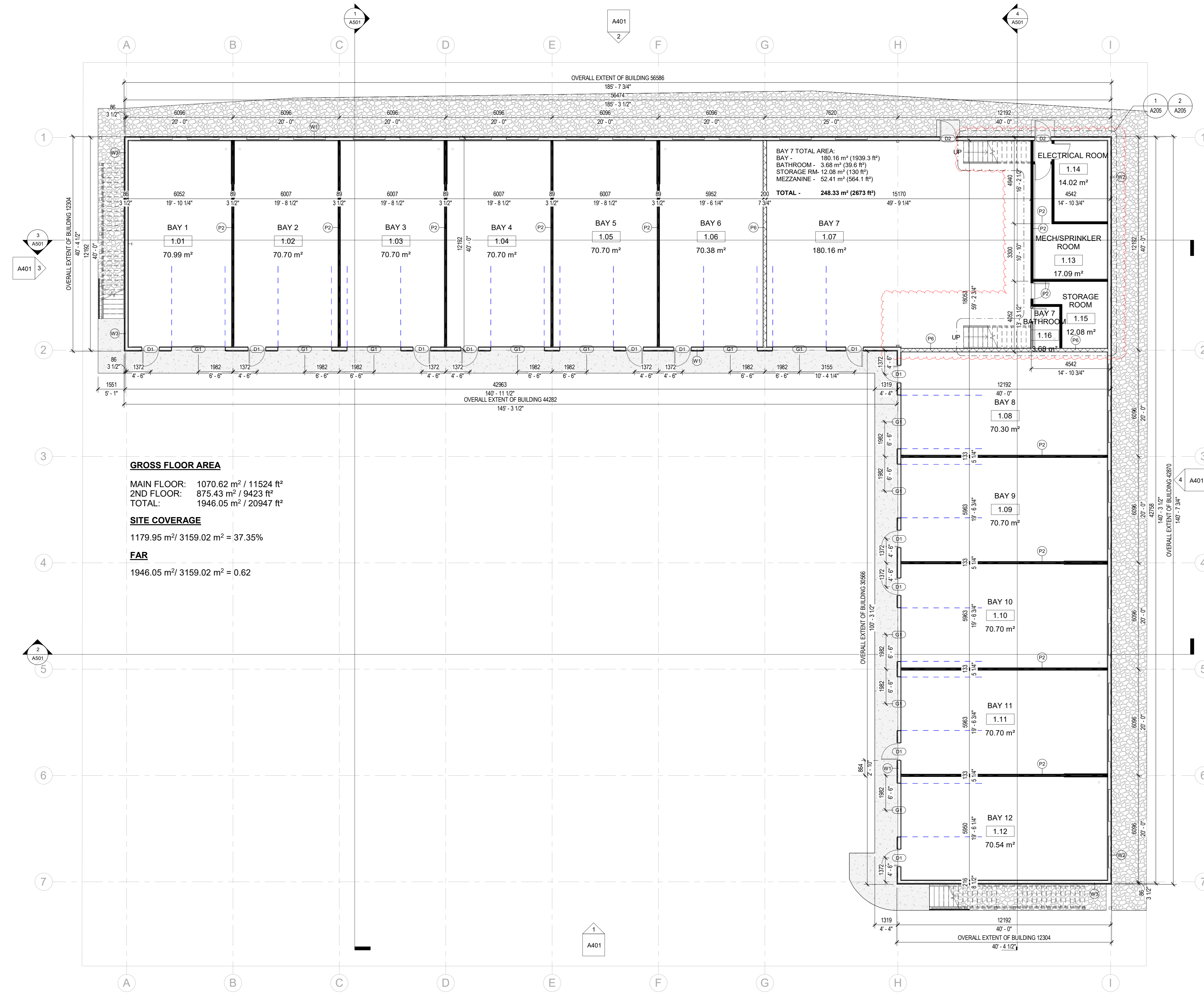
121 BOW
MEADOWS

121 Bow Meadows Crescent, Clamart

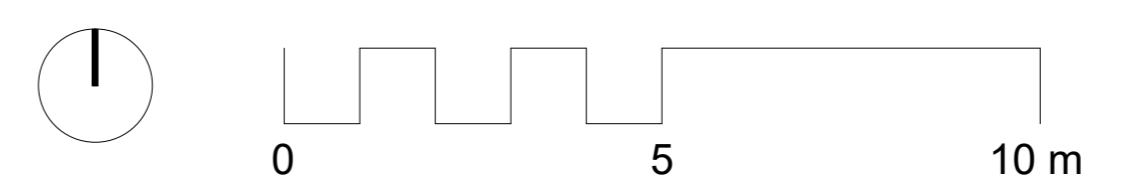
MAIN FLOOR PLAN

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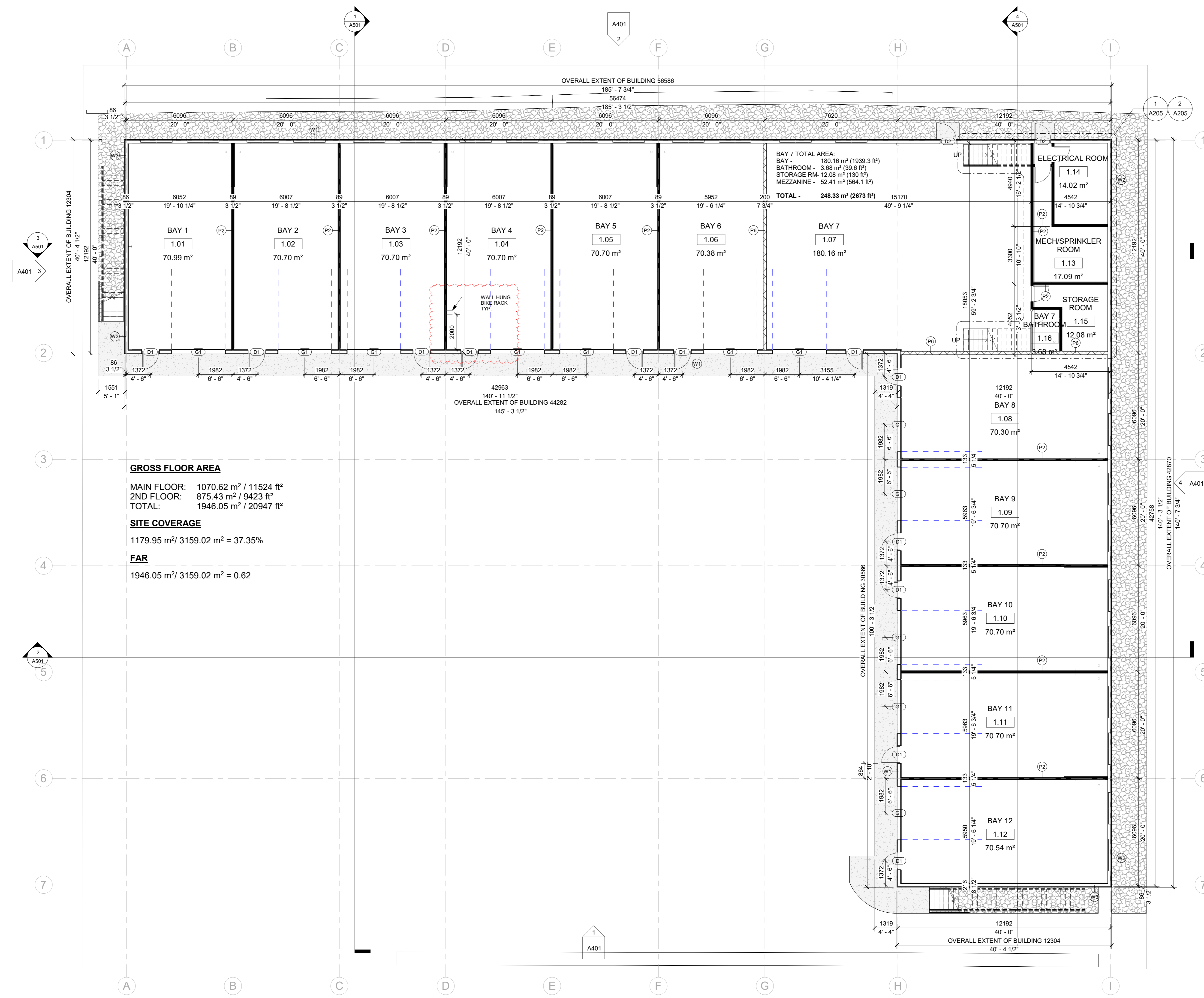
A201



1 MAIN FLOOR
1 : 100



GENERAL NOTE:
 DIMENSIONS ON EXTERIOR WALLS TO OUTSIDE
 OF OSB/PLYWOOD/GYPSUM BOARD AND ON
 INTERIOR WALLS TO EDGE OF STUD UNLESS
 OTHERWISE NOTED

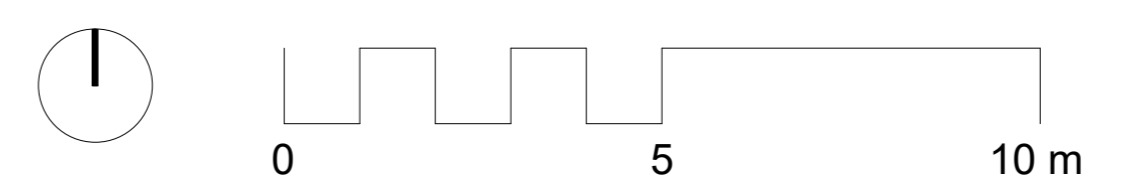


GROSS FLOOR AREA
MAIN FLOOR: 1070.62 m² / 11524 ft²
2ND FLOOR: 875.43 m² / 9423 ft²
TOTAL: 1946.05 m² / 20947 ft²

SITE COVERAGE
1179.95 m² / 3159.02 m² = 37.35%

FAR
1946.05 m² / 3159.02 m² = 0.62

1 MAIN FLOOR
1:100



GENERAL NOTE:
DIMENSIONS ON EXTERIOR WALLS TO OUTSIDE OF OSB/PLYWOOD/GYPSUM BOARD AND ON INTERIOR WALLS TO EDGE OF STUD UNLESS OTHERWISE NOTED

ISSUED FOR
1 4/13/2023 ISSUED FOR DP ADDENDUM 1
2 05/17/2023 ISSUE FOR DP REVISION 1

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121 BOW MEADOWS

121 Bow Meadows Crescent, Clarence

MAIN FLOOR PLAN

PLOT DATE: 2023-05-17 12:02:47 PM

A201

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1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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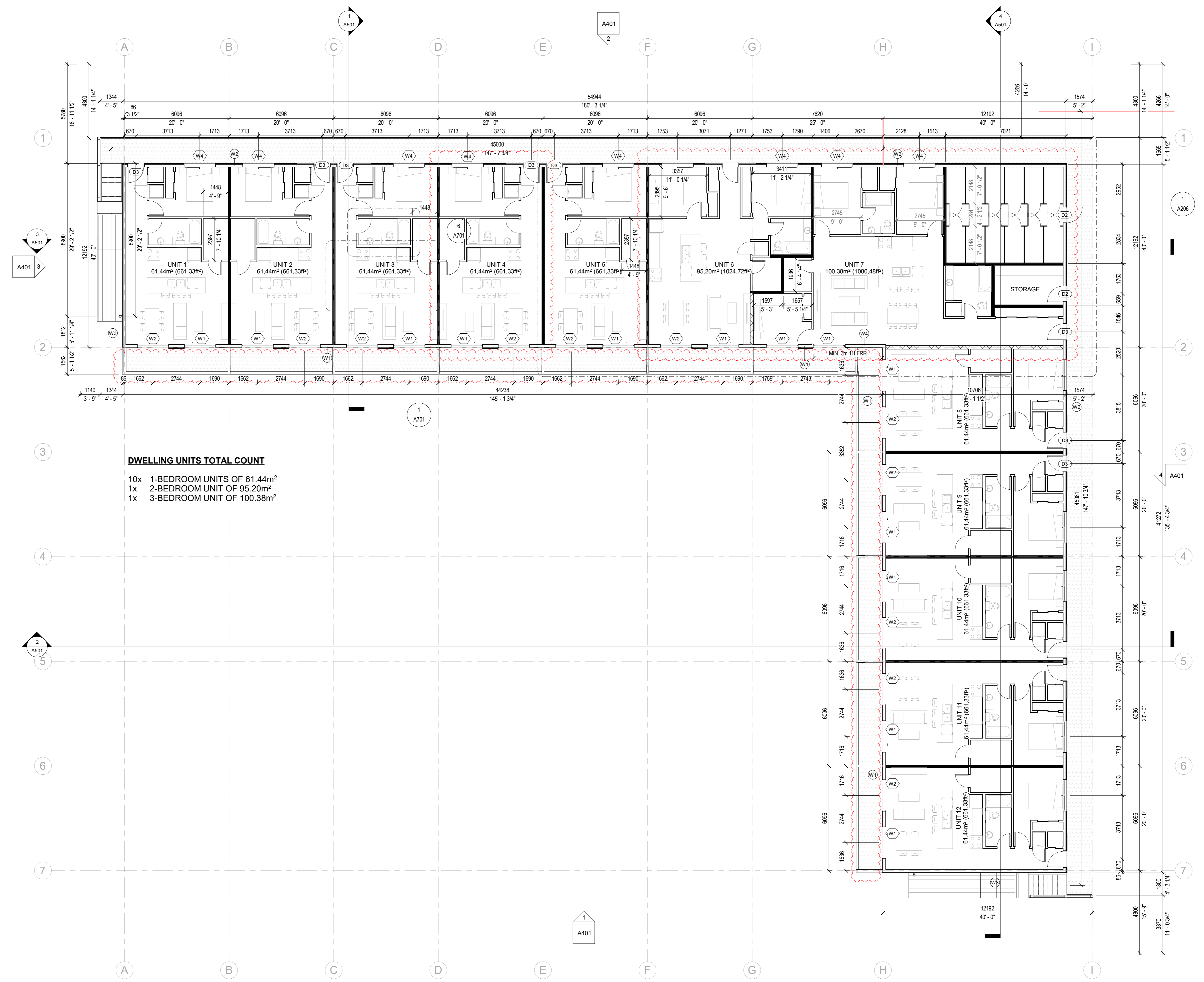
121 BOW
MEADOWS

121 Bow Meadows Crescent, Clamore

2ND FLOOR PLAN

PLOT DATE: 2023-04-13 3:40:44 PM

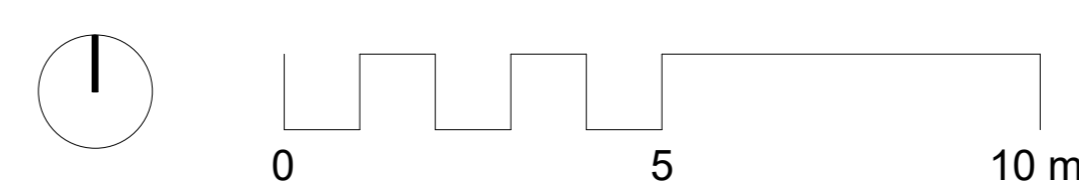
A202



DWELLING UNITS TOTAL COUNT

- 10x 1-BEDROOM UNITS OF 61.44m²
- 1x 2-BEDROOM UNIT OF 95.20m²
- 1x 3-BEDROOM UNIT OF 100.38m²

1 SECOND FLOOR
1 : 100



GENERAL NOTE:
DIMENSIONS ON EXTERIOR WALLS TO OUTSIDE
OF OSB/PLYWOOD/GYPSUM BOARD AND ON
INTERIOR WALLS TO EDGE OF STUD UNLESS
NOTED AS CLEAR.

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1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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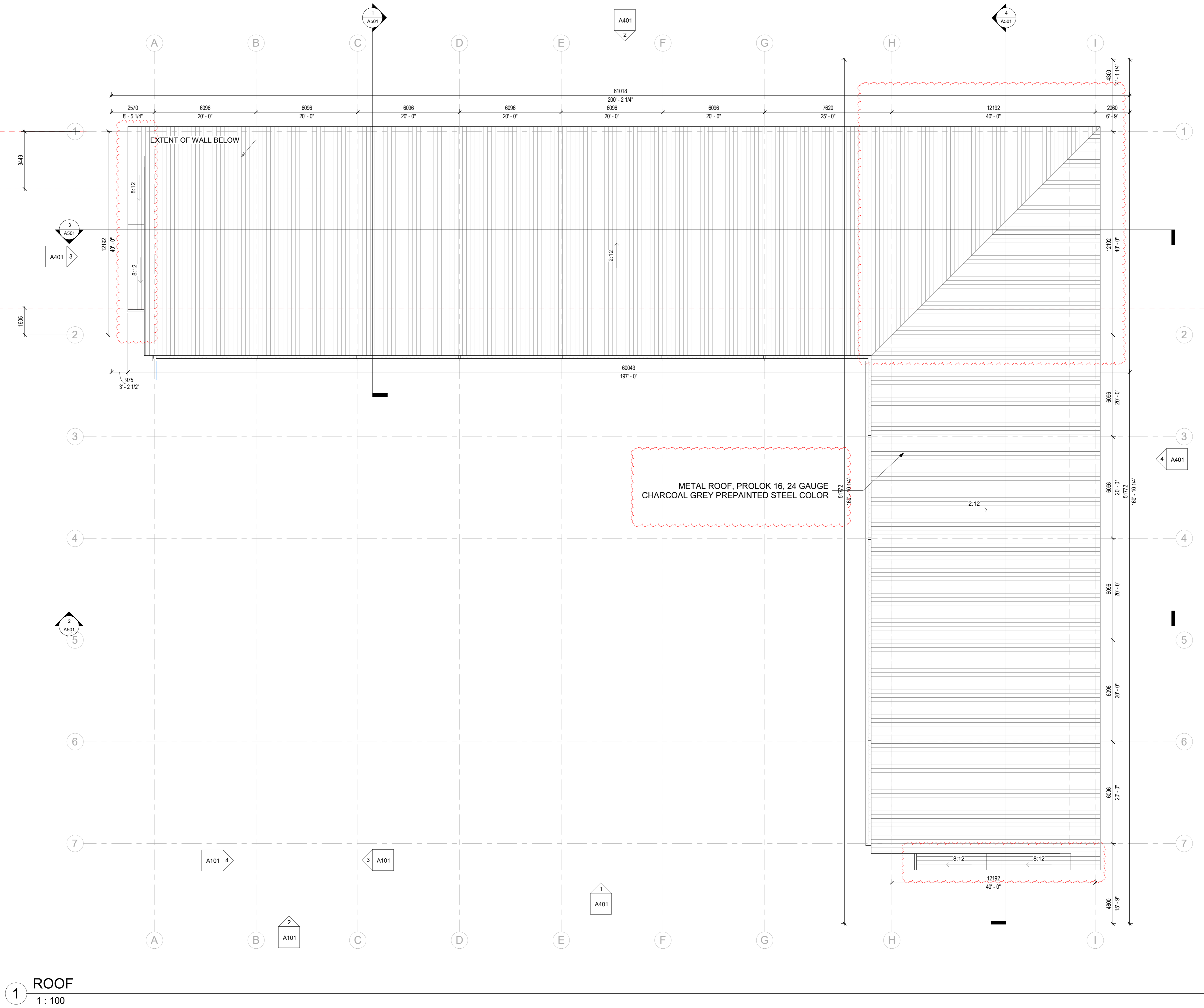
121 BOW MEADOWS

121 Bow Meadows Crescent, Clamona

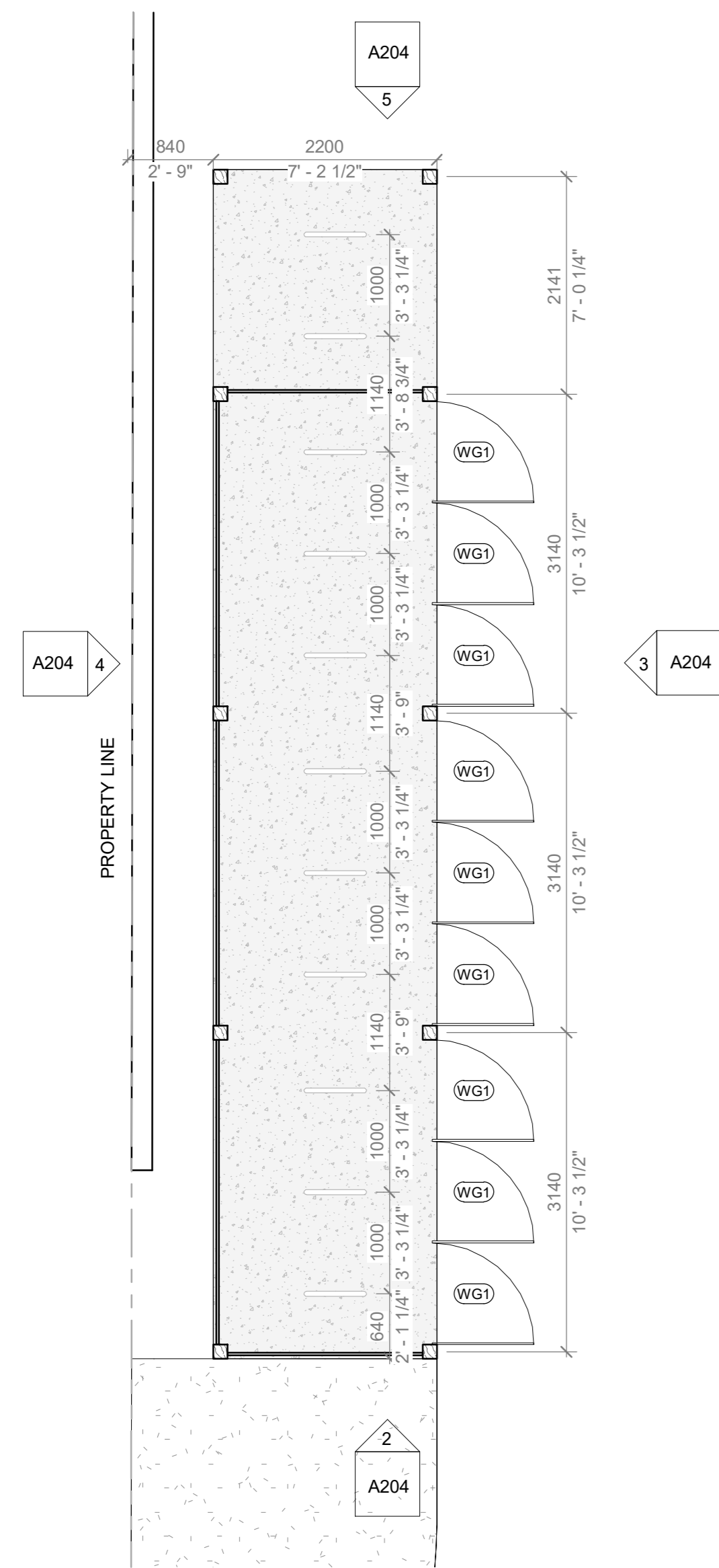
ROOF PLAN

PLOT DATE: 2023-04-13 3:40:44 PM

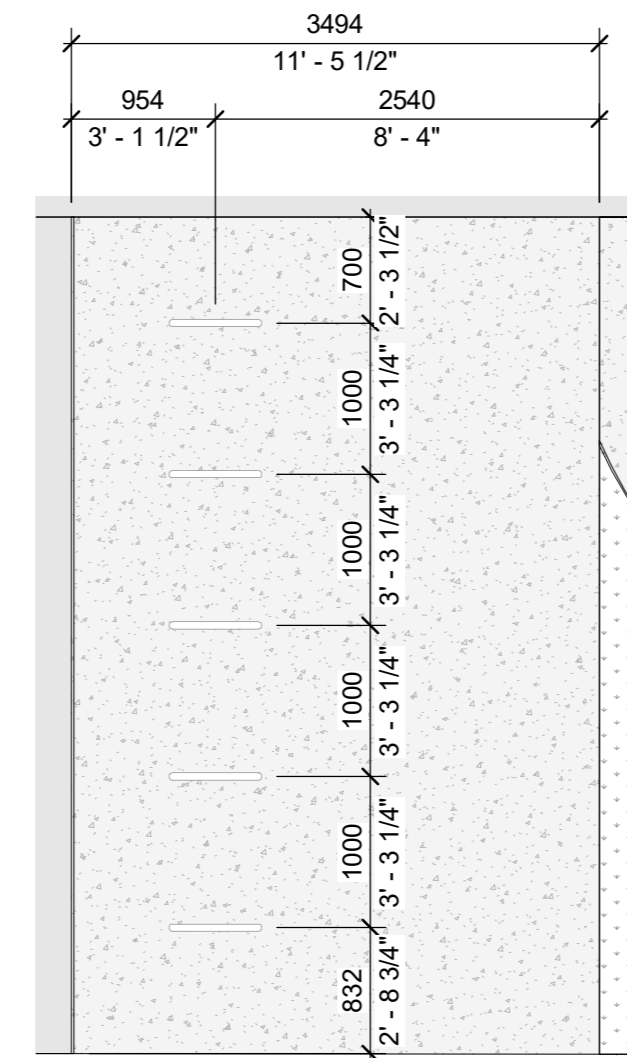
A203



1 ROOF
1 : 100



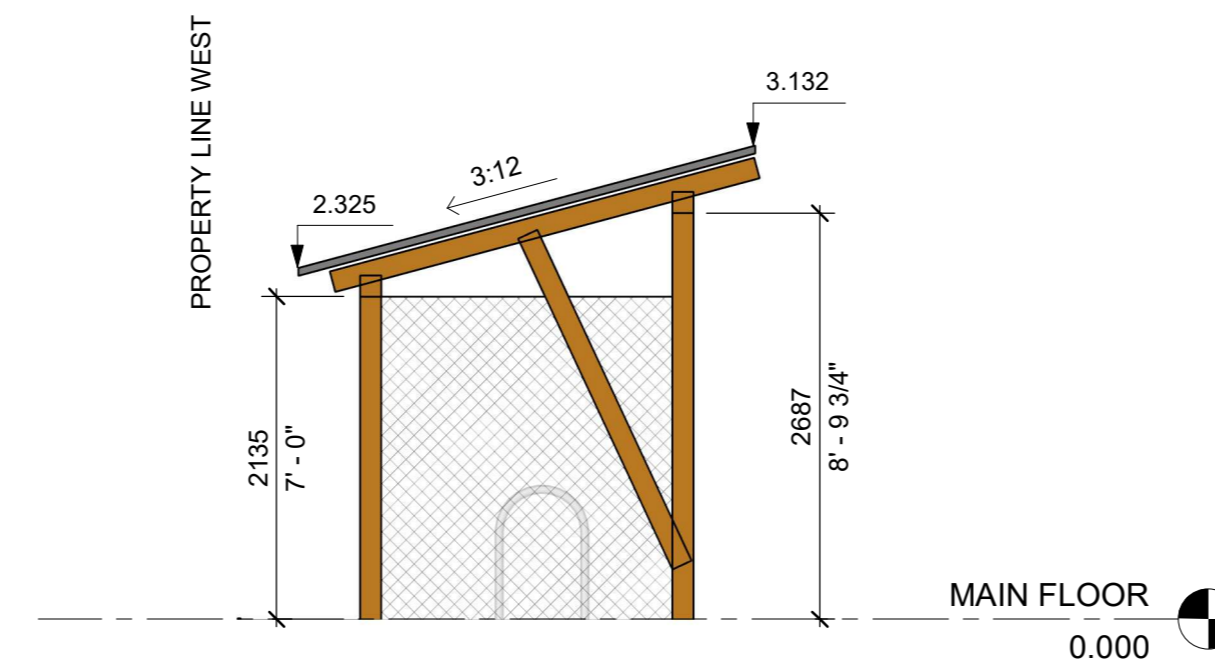
1 BIKE SHELTER FLOOR PLAN
1:50



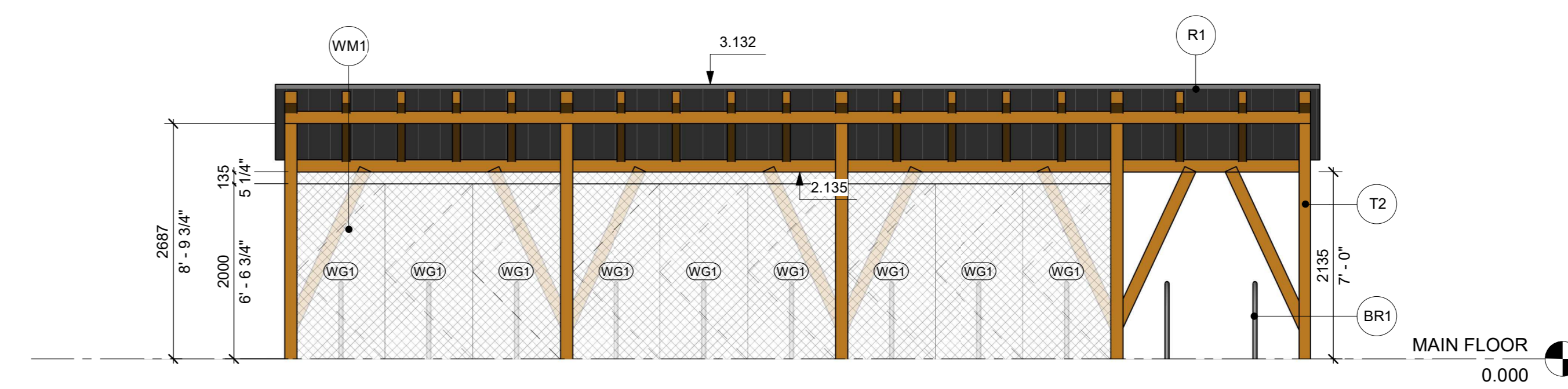
8 UNCOVERED BIKE PARKING
1:50

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
BR1	METAL BIKE RACK - BLACK
D1	MAIN AND GARAGE DOORS PAINTED - DARK GREY
F1	METAL FASCIA - CHARCOAL GREY
G1	METAL GUTTER - CHARCOAL GREY
MR1	METAL RAILING - BLACK
MS1	VERTICAL METAL SIDING - WESTFORM METALS PREMIUM COLOR IRON ORE (ALTERNATIVE MAC SIGNATURE COLLECTION)
MS2	VERTICAL METAL SIDING - MAC METAL ARCHITECTURE WOOD COLLECTION CORK
P1	CEMENT PAVING - BLACK TO MATCH MS1
R1	METAL ROOFING - CHARCOAL GREY
S1	METAL SOFFIT - CHARCOAL GREY
T1	TIMBER ELEMENTS - SIKKENS 078 NATURAL
T2	PRESSURE TREATED WOOD - BROWN
WM1	WIRE MESH

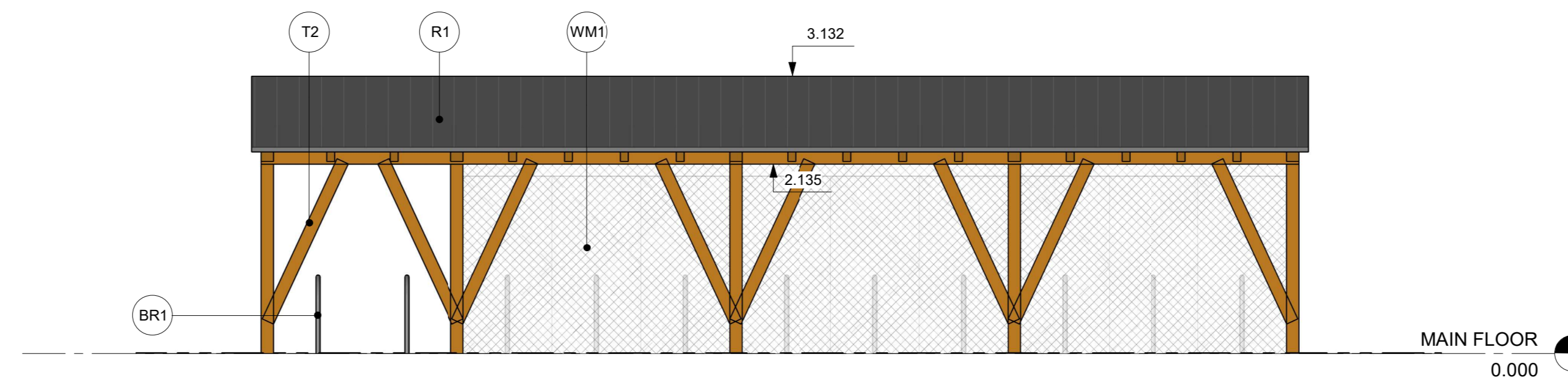
SITE SUMMARY AND LAND USE - BICYCLE PARKING		
BY-LAW ITEM	DESCRIPTION	REFERENCE
BICYCLE PARKING REQUIRED / PROVIDED	<p>CLASS C INDUSTRIAL BIKE STALLS</p> <p>SHORT-TERM BICYCLE STALLS REQUIRED: 1 BIKE STALL PER 100 M² = 987 M² / 100 M² = 10 STALLS STALLS PROVIDED: 10</p> <p>LONG-TERM BICYCLE STALLS REQUIRED: 1 BIKE STALL PER 100 M² = 987 M² / 100 M² = 11 STALLS STALLS PROVIDED: 12 STALLS (1 PER BAY) PROVIDED ON INTERIOR OF INDUSTRIAL BAY</p> <p>RESIDENTIAL BIKE STALLS</p> <p>SHORT-TERM BICYCLE STALLS REQUIRED: 25 STALLS / DWELLING UNIT = 25 X 12 = 3 STALLS STALLS PROVIDED: 4 STALLS</p> <p>LONG-TERM BICYCLE STALLS REQUIRED: 1.5 STALLS / DWELLING UNIT = 1.5 X 12 = 18 STALLS STALLS PROVIDED: 18 STALLS</p>	<p>NOTICE OF DECISION PL20210301</p> <p>2.7.7.1 TABLE 2.7-3</p>



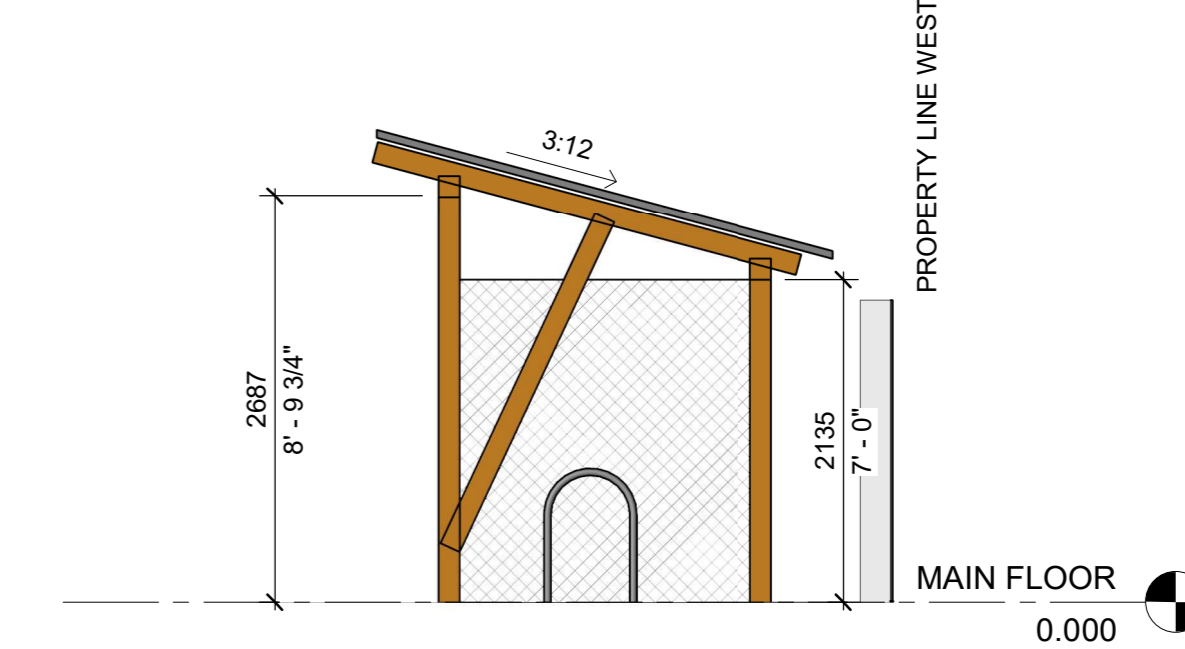
2 SOUTH ELEVATION_BIKE SHELTER
1:50



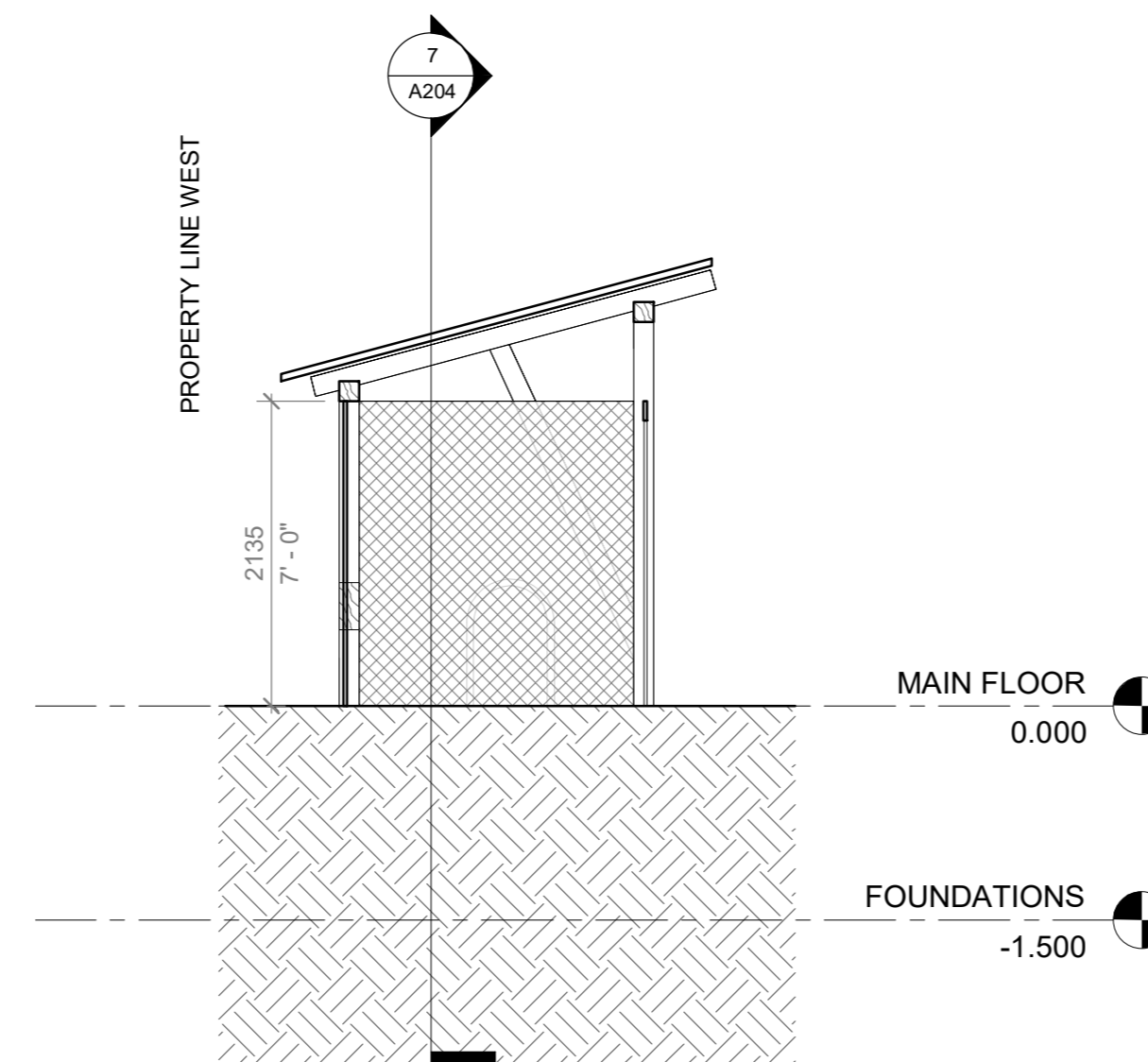
3 EAST ELEVATION_BIKE SHELTER
1:50



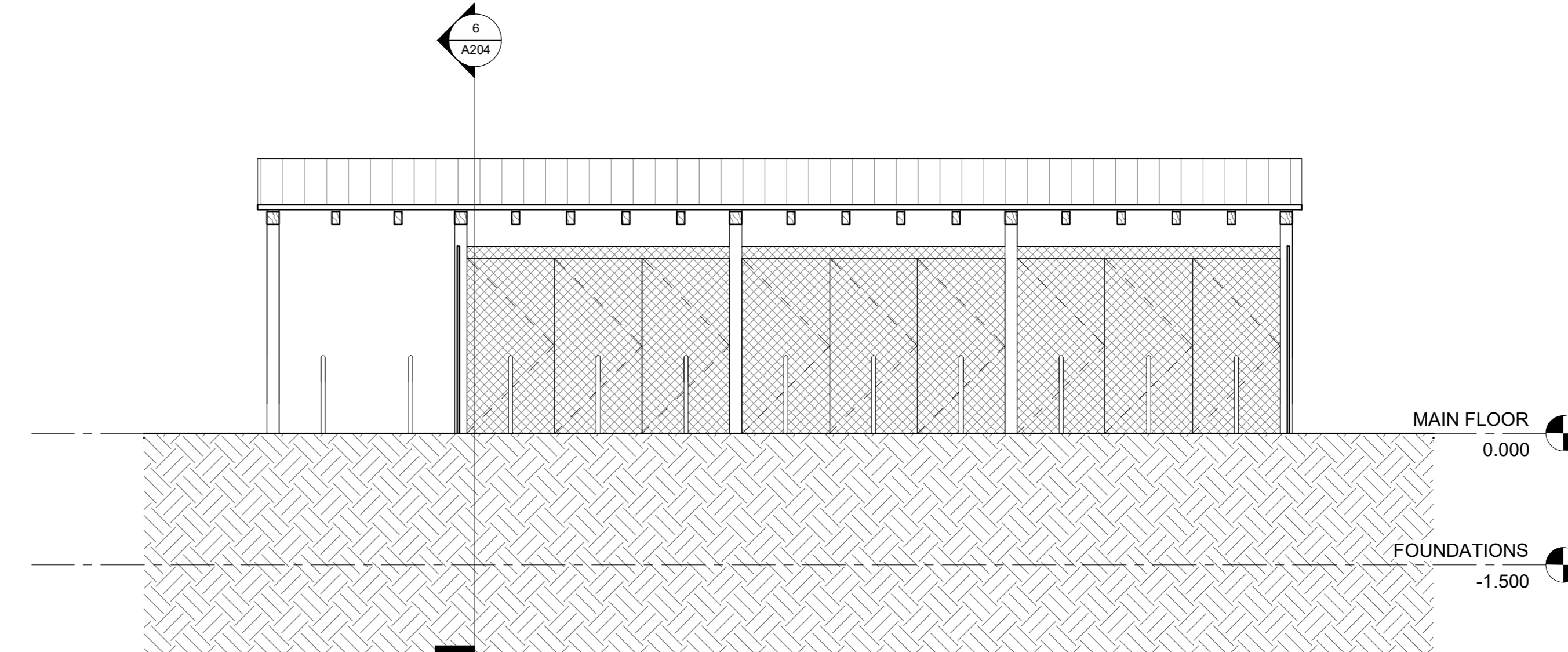
4 WEST ELEVATION_BIKE SHELTER
1:50



5 NORTH ELEVATION_BIKE SHELTER
1:50



6 SECTION B1
1:50



7 SECTION B2
1:50

ISSUED FOR
1 4/13/2023 ISSUED FOR DP ADDENDUM 1

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

SEAL

121 BOW
MEADOWS

121 Bow Meadows Crescent, Clonmore

BICYCLE SHELTER

PLOT DATE: 2023-05-17 12:02:49 PM

A204

ISSUED FOR

1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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SEAL

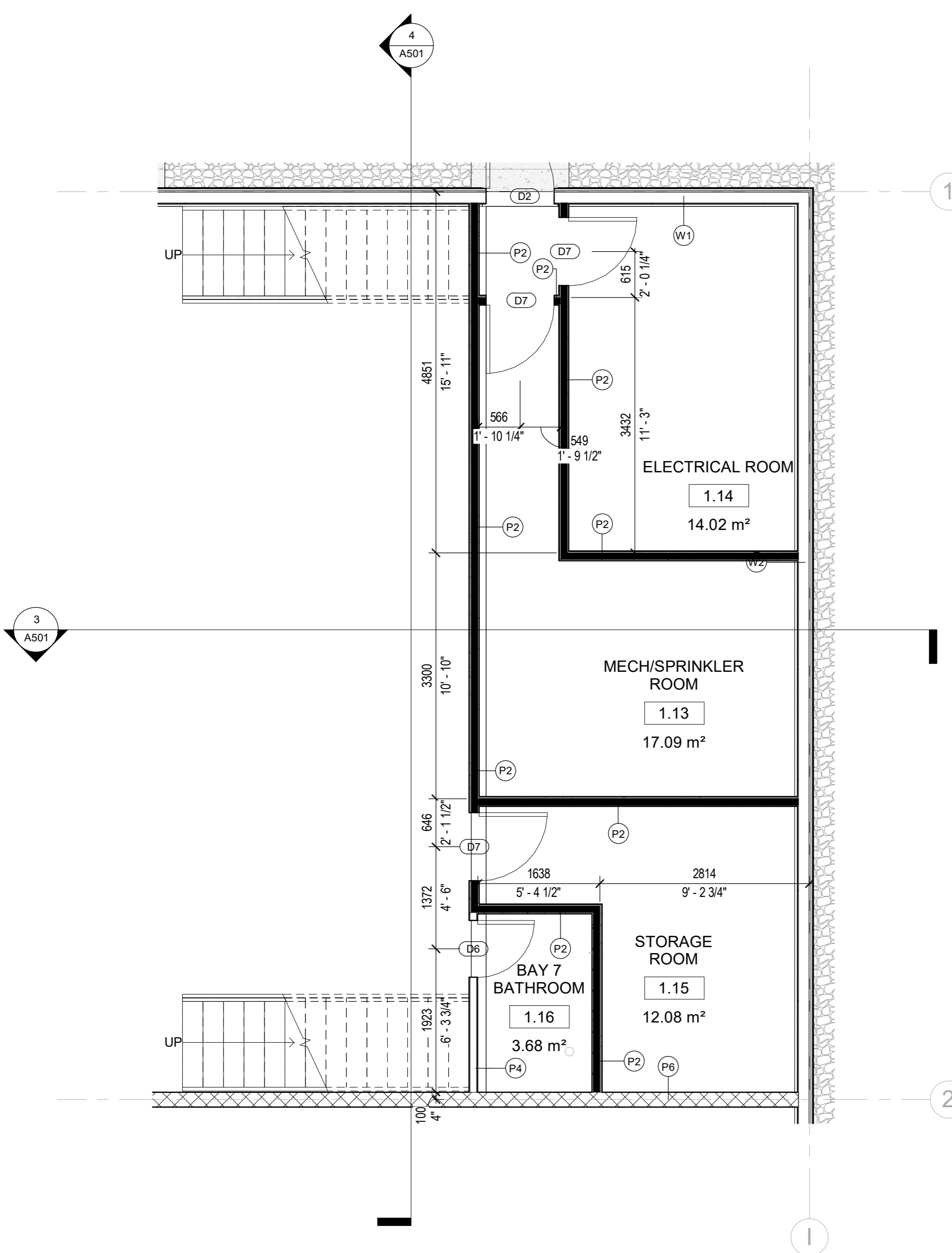
**121 BOW
MEADOWS**

121 Bow Meadows Crescent, Calmar

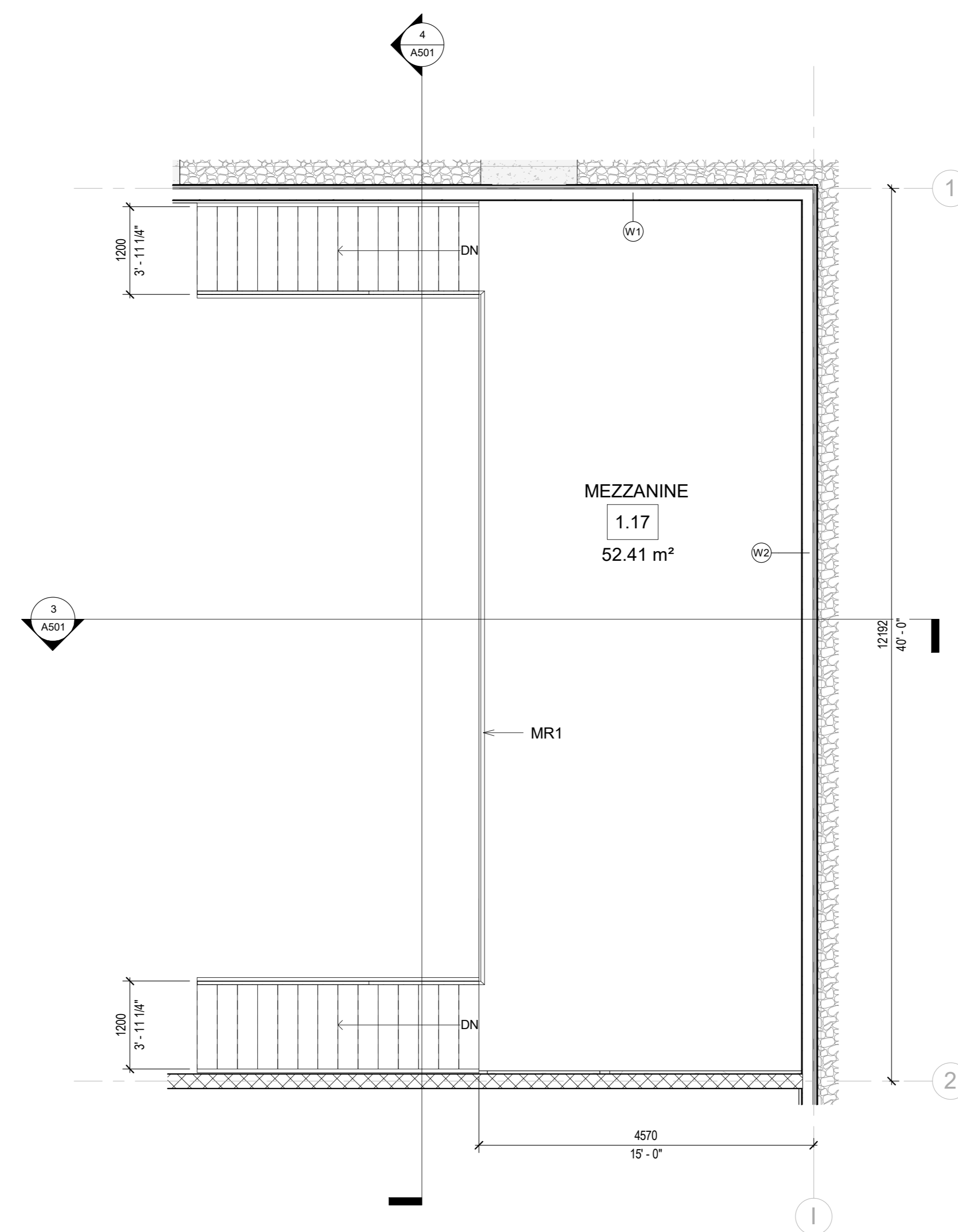
MEZZANINE

PLOT DATE: 2023-04-13 3:40:48 PM

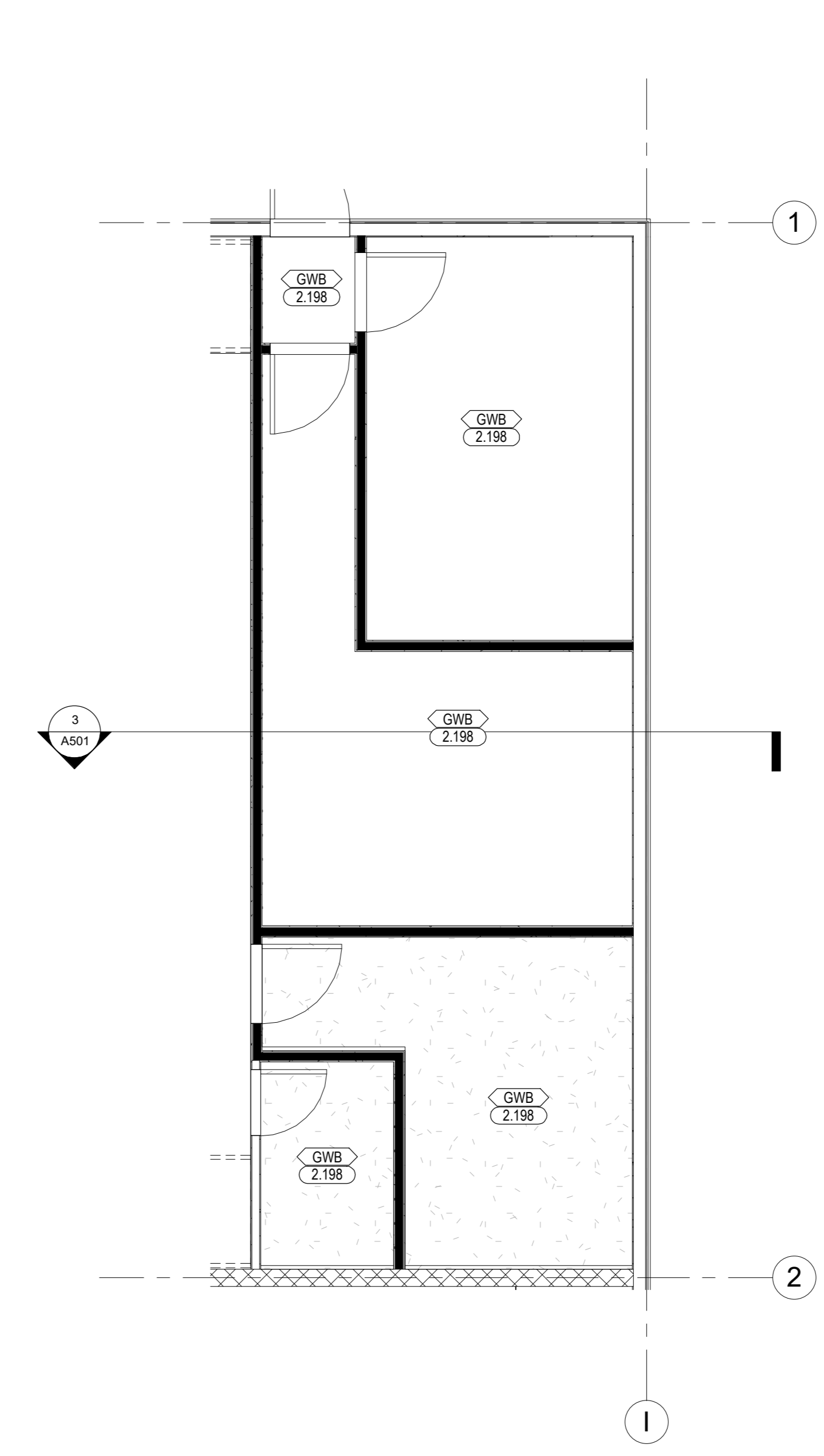
A205



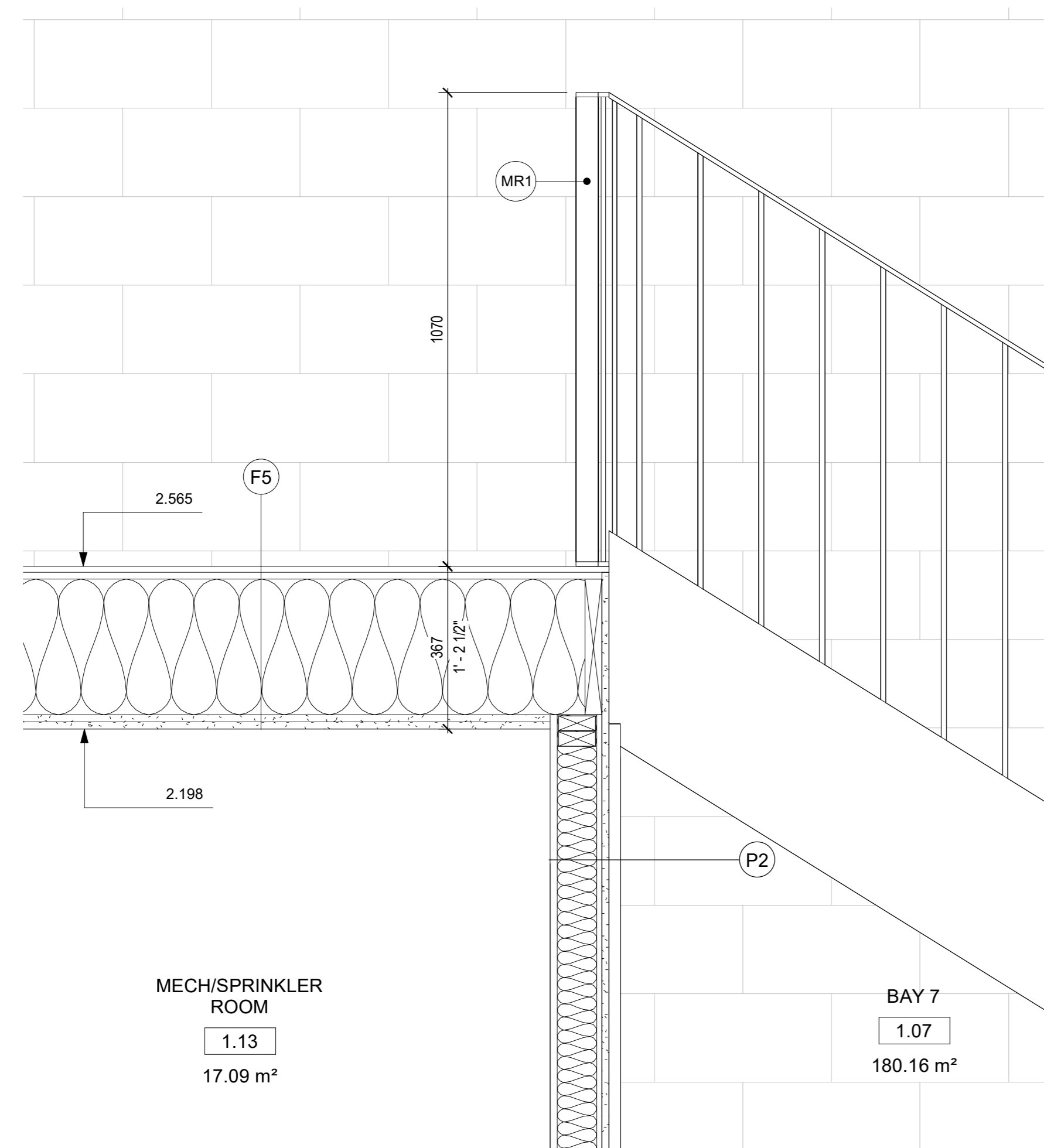
1 ENLARGED STORAGE/MECH/ELEC ROOMS
1 : 50



2 MEZZANINE
1 : 50



3 STORAGE/MECH/ELEC ROOMS RCP
1 : 50



4 WALL SECTION - MEZZANINE
1 : 10

ISSUED FOR

1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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SEAL

121 BOW MEADOWS

121 Bow Meadows Crescent, Chamorro

ELEVATIONS

PLOT DATE: 2023-04-13 3:41:02 PM

A401



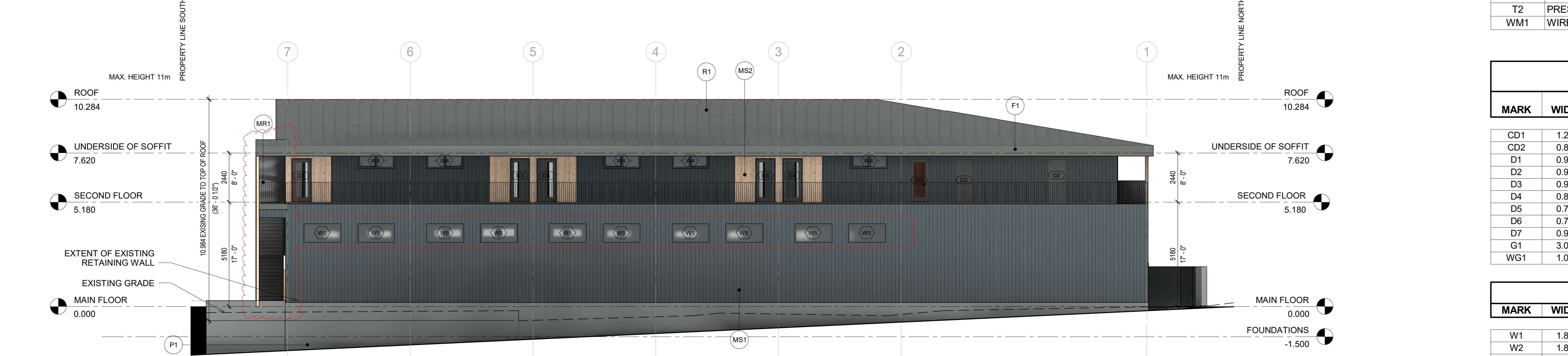
1 SOUTH ELEVATION
1 : 100



2 NORTH ELEVATION
1 : 100



3 WEST ELEVATION
1 : 100



4 EAST ELEVATION
1 : 100

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
BR1	METAL BIKE RACK - BLACK
D1	MAIN AND GARAGE DOORS PAINTED - DARK GREY
F1	METAL FASCIA - CHARCOAL GREY
G1	METAL GUTTER - CHARCOAL GREY
MR1	METAL RAILING - BLACK
MS1	VERTICAL METAL SIDING - WESTFORM METALS PREMIUM COLOR IRON ORE (ALTERNATIVE MAC SIGNATURE COLLECTION)
MS2	VERTICAL METAL SIDING - MAC METAL ARCHITECTURE WOOD COLLECTION CORK
P1	CEMENT PARGING - BLACK TO MATCH MS1
R1	METAL ROOFING - CHARCOAL GREY
S1	METAL SOFFIT - CHARCOAL GREY
T1	TIMBER ELEMENTS - SIKKENS 078 NATURAL
T2	PRESSURE TREATED WOOD - BROWN
WM1	WIRE MESH

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	COUNT	TYPE	FIRE RATING	
CD1	1.219	2.134	20	CLOSET, SLIDING, 2 LEAFS	N/A	
CD2	0.868	2.134	10	CLOSET, SLIDING, 2 LEAFS	N/A	
D1	0.914	2.134	12	ENTRANCE DOOR, INDUSTRIAL	N/A	
D2	0.915	2.134	4	ENTRANCE DOOR, INDUSTRIAL 2	N/A	
D3	0.914	2.134	12	ENTRANCE DOOR	N/A	
D4	0.864	2.134	15	INTERIOR SINGLE SWING, BEDROOMS	N/A	
D5	0.762	2.134	36	INTERIOR SINGLE SWING, BATHROOMS, RESIDENTIAL	N/A	
D6	0.762	2.134	1	INTERIOR SINGLE SWING, BATHROOMS, INDUSTRIAL	N/A	
D7	0.915	2.134	3	INTERIOR SINGLE SWING, STORAGE	45 min	
G1	3.050	4.300	12	GARAGE DOOR	N/A	
WG1	1.000	2.000	9	WIREMESH GATE	N/A	

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	COUNT	TYPE	
W1	1.829	2.437	13	SLIDING WINDOW, 1 LEAF SLIDING, 1 LEAF FIXED	
W2	1.829	2.437	11	FIXED WINDOW	
W3	1.829	0.914	24	HIGH SILL 2 LEAF FIXED WINDOW	
W4	1.829	0.762	14	HIGH SILL WINDOW 1 LEAF OPERABLE, 1 LEAF FIXED	
W5	1.829	0.914	24	HIGH SILL 2 LEAF FIXED WINDOW	

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1 4/13/2023 ISSUED FOR DP ADDENDUM 1

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SEAL

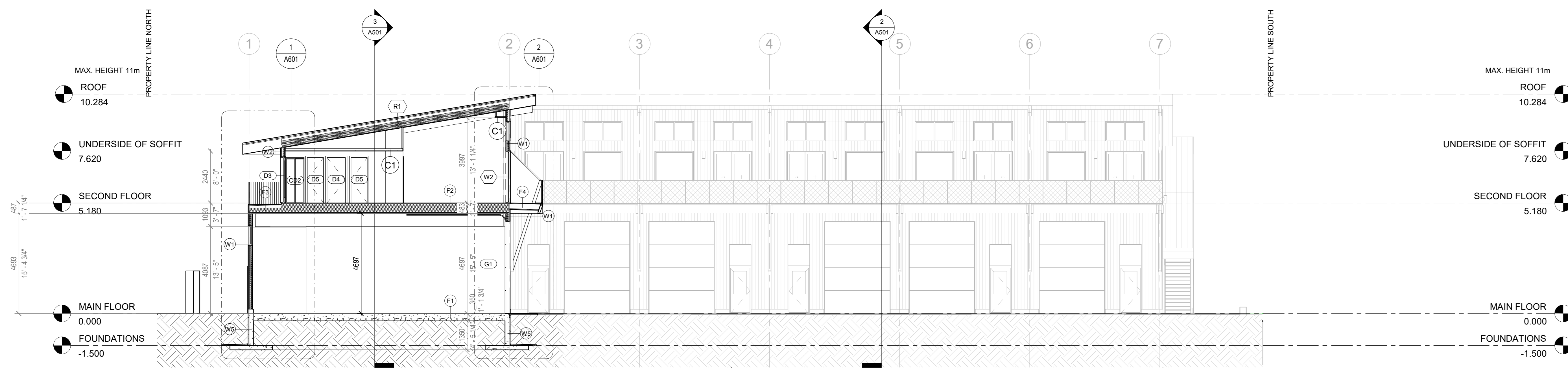
**121 BOW
MEADOWS**

121 Bow Meadows Crescent, Chamorro

SECTIONS

PLOT DATE: 2023-04-13 3:41:05 PM

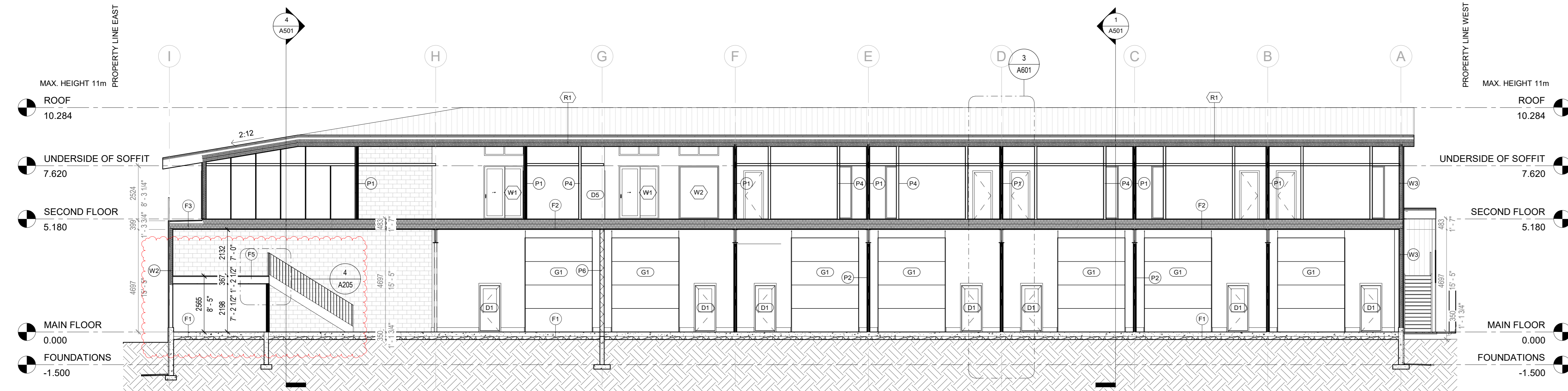
A501



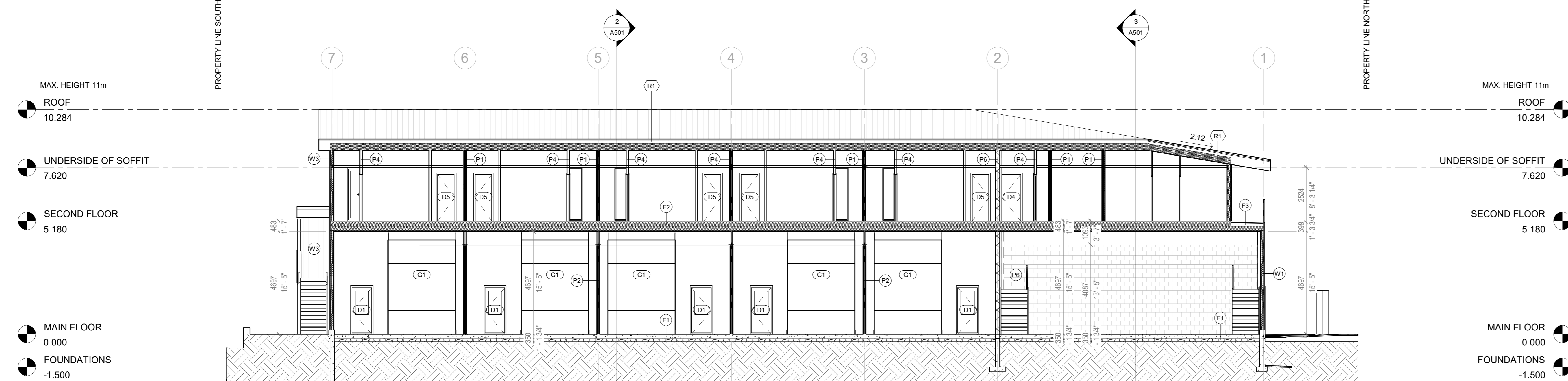
1 Section 1
1: 100



2 Section 2
1: 100



3 Section 3
1: 100



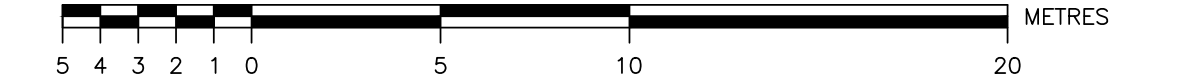
4 Section 4
1: 100

CANMORE, ALBERTA

PLOT PLAN

LOT 8
 BLOCK 7, PLAN 951 2298
 121 BOW MEADOWS CRESCENT
 PREPARED FOR:
 BENCAL ENTERPRISES

SCALE = 1:200



NOTES:

- DESIGN DATE APRIL 26, 2023.
- DISTANCES AND ELEVATIONS ARE IN METRES.
- ELEVATIONS ARE GEODETIC AND ARE REFERENCED TO ASCM 1768.
- AREA OF PARCEL SHOWN BOUNDED THUS: _____
- LOT AREA 3159.8 m²
- FOOTPRINT 1072.3 m², 33.9% (BUILDING)
- LAND USE DISTRICT IS 'IND-2'.
- SEE SECTION 5.3.3 OF LAND USE BYLAW FOR SETBACK INFORMATION.

PROPOSED BUILDING ELEVATIONS:	
ROOF PEAK	-1329.23
SECOND FLOOR	-1324.13
SLAB	-1318.95

LEGEND:

- SPOT ELEVATIONS +10.00
- (ADD 1300.00 FOR GEODETIC)
- DESIGN ELEVATIONS 1318.95
- (ADD 1300.00 FOR GEODETIC)

REGISTERED INTERESTS (Excluding encumbrances):

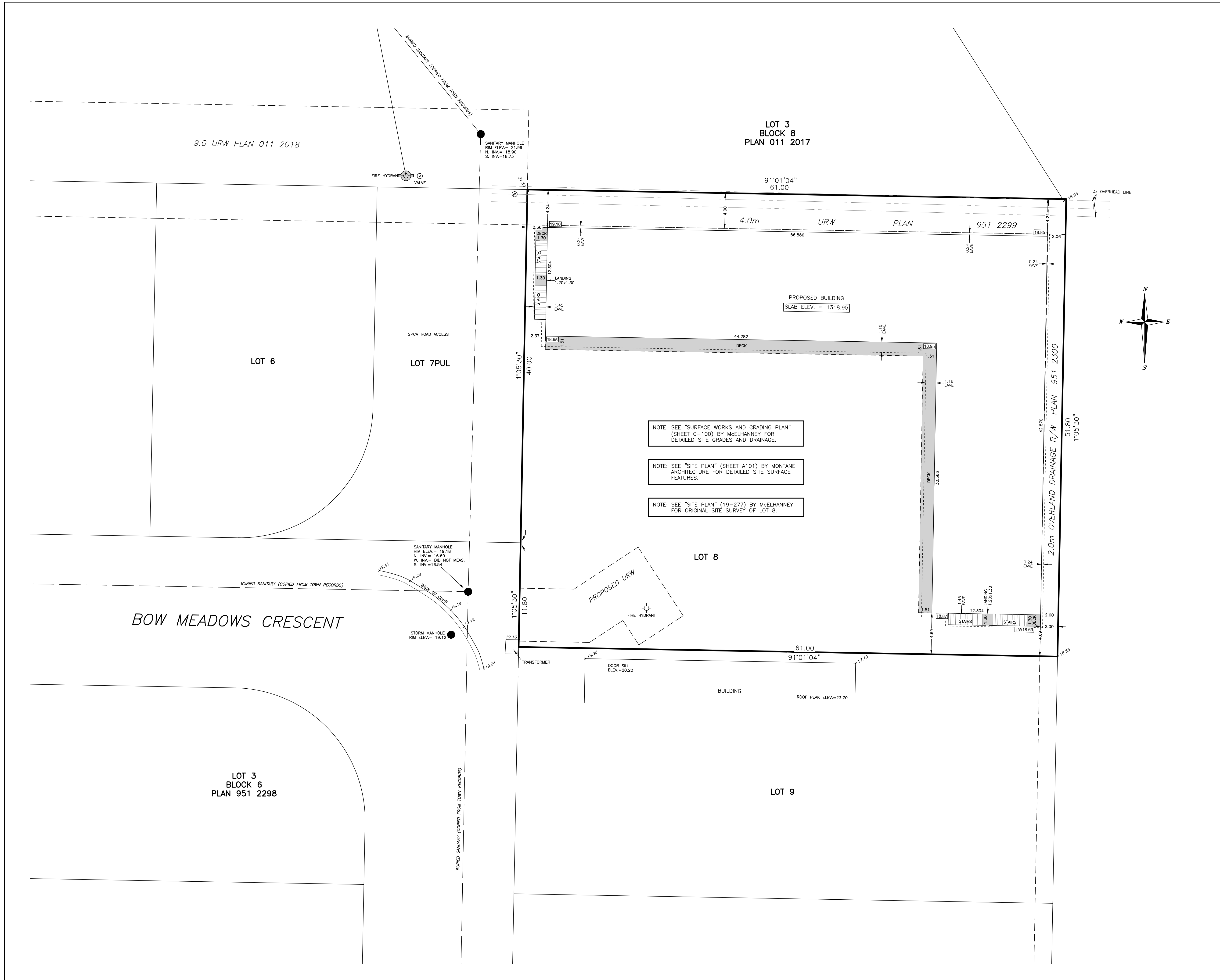
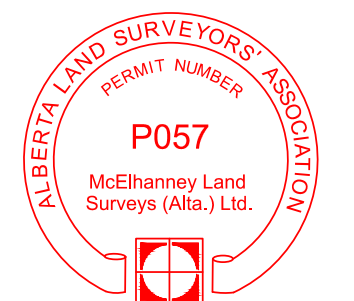
- 951 228 675 URW PLAN 951 2299
- 951 228 677 AGREEMENT RE: RESTRICTIVE COVENANT AND EASEMENT (PLAN 951 2300)

FLOOD HAZARD
 Per the Alberta ESRD Flood Hazard Map Application
 the lot is NOT within a floodway or flood fringe area.

THIS DRAWING AND DESIGN IS THE PROPERTY OF McELHANNY LAND SURVEYS LTD. (McELHANNY) AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McELHANNY.
 McELHANNY WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN.
 THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION.
 McELHANNY, ITS EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON OR ANY CHANGES MADE TO THIS DRAWING BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT McELHANNY'S PRIOR WRITTEN CONSENT.
 INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. McELHANNY, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

CERTIFIED CORRECT THIS 25th DAY
 OF MAY, 2023

Irwin Matt
 IRWIN NATT, ALS



NOTE: SEE "SURFACE WORKS AND GRADING PLAN" (SHEET C-100) BY McELHANNY FOR DETAILED SITE GRADES AND DRAINAGE.

NOTE: SEE "SITE PLAN" (SHEET A101) BY MONTANE ARCHITECTURE FOR DETAILED SITE SURFACE FEATURES.

NOTE: SEE "SITE PLAN" (19-277) BY McELHANNY FOR ORIGINAL SITE SURVEY OF LOT 8.

LOT 3
 BLOCK 8
 PLAN 011 2017

9.0 URW PLAN 011 2018

LOT 6

LOT 7PUL

LOT 8

LOT 9

BOW MEADOWS CRESCENT

LOT 3
 BLOCK 6
 PLAN 951 2298

ATTACHMENT 5 – SCHEDULE A – CONDITIONS OF APPROVAL

SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20230138

LAND USE DISTRICT: IND 2

APPROVED USE(S): AMENDMENTS TO PL20210301

APPROVED VARIANCE(S): NONE

MUNICIPAL ADDRESS: 121 BOW MEADOWS CRESCENT

LEGAL ADDRESS: LOT 8, BLOCK 7, PLAN 9512298

APPROVED VARIANCES

1. None.

STANDARD CONDITIONS

1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
 - a. Construct or pay for the construction of the municipal improvements, infrastructure and services required by the development, which may include but shall not be limited to:
 - Transportation;
 - Water;
 - Sanitary;
 - Storm; and
 - Fire
 - b. Pay the off-site levies imposed by the Off-Site Levy Bylaw; and
 - c. Provide security in accordance with the Engineering Design and Construction Guidelines (EDCG) to ensure the terms of the Development Agreement are carried out.
2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore Parks Department.

5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
8. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Emergency Services.
9. All signs shall require a separate development permit.
10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

SPECIFIC CONDITIONS

1. **All Conditions of Approval and approved variances for PL20210301 shall remain in effect.**
2. The applicant shall install long-term bicycle parking in each bay, regardless of whether the bay is to be finished under tenant improvement development permit or building permit applications, to the satisfaction of the Municipal Engineer.
3. All signage requires a separate development permit. The applicant has shown signage on their Site Plan that may not comply with the Land Use Bylaw. The applicant acknowledges that the Town of Canmore has made them aware of this and understands that the Town of Canmore is under no obligation through this approval to approve a free-standing sign at the shown location, nor approve any signage should there be no suitable alternative location on the site.

PRIOR TO THE RELEASE OF THE DEVELOPMENT PERMIT

4. **Prior to the release of the development permit**, the applicant shall provide updated drawings showing a precast concrete median added to the sidewalk at the intersection of Bow Meadows Crescent and Elk Run Boulevard to protect pedestrians, to the satisfaction of the Municipal Engineer.
5. **Prior to the release of the development permit**, the applicant shall provide lighting specifications that demonstrate compliance with the Town's Land Use Bylaw.
6. **Prior to the release of the development permit**, the applicant shall provide an updated Plot Plan addressing the following:
 - a. Relocation of the fire hydrant that appears to be in a parking stall
 - b. Updates to so consistency with the Site Plan or should the Plot Plan be accurate, an updated Site Plan shall be provided.
7. **Prior to the release of the development permit, the applicant shall provide** confirmation that they have provided Fortis with their plans for the existing retaining wall in the URW.



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1
www.canmore.ca

ADVISORY COMMENTS

1. None.

Signature
Chair, Canmore Planning Commission

Date

IS A NOTICE POSTING REQUIRED:

YES

NO

ATTACHMENT 6 – STAFF REPORT FOR PL20210138

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	MAY 25, 2022
PROPOSED DEVELOPMENT:	MIXED-USE BUILDING (24 UNITS): <ul style="list-style-type: none">• EMPLOYEE HOUSING (12 UNITS)• WAREHOUSE (6 UNITS)• CONTRACTOR SERVICE AND REPAIR (4 UNITS)• LIGHT MANUFACTURING (2 UNITS)
APPLICATION NUMBER:	PL20210301
LEGAL DESCRIPTION:	LOT 8, BLOCK 7, PLAN 9512298
CIVIC ADDRESS:	121 BOW MEADOWS CRESCENT
CURRENT USE(S):	OUTDOOR STORAGE
APPLICANT:	SERGE OUIMETTE, GROUPOUIMETTE
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: <ul style="list-style-type: none">• 5.3 IND 2 GENERAL INDUSTRIAL DISTRICT

EXECUTIVE SUMMARY

This application proposes one mixed-use building located at 121 Bow Meadows Crescent, containing Employee Housing (12 Units), Warehouse (6 Units), Contractor Service and Repair (4 Units), and Light Manufacturing (2 Units). The subject site is located within the IND 2 General Industrial District (the district). The proposed development requires five variances to regulations of Land Use Bylaw 2018-22 (LUB).

Developments that are likely to generate significant public interest, such as hotels, commercial, industrial and multi-unit residential developments are typically referred to the Canmore Planning Commission (CPC) for a decision.

Administration recommends REFUSAL of PL20210301.

BACKGROUND

The Town's Municipal Development Plan (MDP) directs that industrial land shall be protected for industrial activity, as there is a limited supply land for industrial use.

- *Industrial Goal #3 – “To conserve and protect the limited industrial land base and identify opportunities for new industrial lands.”*
- *Policy 12.1.3 - “Industrial lands shall be protected from adjacent uses that could impact the continued operation of industrial uses. This may include strategies such as buffering with open spaces or a gradual transition from industrial to commercial to residential uses”.*

However, the MDP also outlines that housing initiatives for those who work in Canmore should be supported.

- *Affordable Housing Goal #4 - “To cooperate with local businesses and the construction and development industry in finding innovative solutions to provide affordable housing for employees.”*
- *Policy 5.3.4 - “Private initiatives to create additional seasonal and permanent employee housing opportunities should be supported by the Town”.*

The MDP also provides criteria for when employee housing and perpetual affordable housing could be considered within industrial areas:

- *Policy 12.1.8 - “Where residential development is proposed in industrial areas, the Town should consider the following issues:
a. Residential uses are limited to housing for employees,
b. Impacts from industrial uses are sufficiently small to make residential uses appropriate,
c. Residential uses will not displace or inhibit the operation of existing or future industrial uses, and
d. Residential units are subordinate to the industrial uses”*

The Indian Flats Area Structure Plan (ASP), adopted in 1994, directs that the purpose of the area is:

- *Goal 3.1.1.1 – “To provide for an area which allows a range of industrial activities that will be compatible with adjacent land uses.”*

The ASP also outlines that for properties visible from Elk Run Boulevard, that a high standard of appearance and architectural design is required:

- *Section 3.7.1.1 - Lots located adjacent to or visible from Highway 1A and Elk Run Boulevard are required to exhibit a high standard of appearance and architectural design. Storage and parking areas are to be screened from view and landscaping incorporated into the overall site design.*

EXISTING SITE

The subject site is currently being used for outdoor storage. The purpose of the district is to provide for a range of industrial uses which allow for intensive and efficient use of Canmore's industrial land base in accordance with policies in the MDP. Non-industrial uses are appropriate only in limited circumstances and locations where such uses do not displace current industrial uses or utilize land or buildings with potential for general industrial development.

Of the proposed uses, Contractor Service and Repair is a Permitted use, while Employee Housing, Warehouse, and Light Manufacturing are Discretionary uses in the district.

Adjacent to the site are a variety of uses and features (see Attachment 1), including:

- The SPCA to the north;
- Vacant land, identified as a Habitat Patch to the east;
- Automotive repair shop to the west; and

- Automotive repair shop to the south.

BYLAW CONFORMANCE

I. EMPLOYEE HOUSING

The proposed development includes twelve (12) Employee Housing units. The Planning Department does not support this use at the site.

Discretionary Use

As mentioned, the purpose of the district is to provide for a range of industrial uses which allow for intensive and efficient use of Canmore's industrial land base. Non-industrial uses are appropriate only in limited circumstances and locations where such uses do not displace current industrial uses or utilize land or buildings with potential for general industrial development. Approximately 50% of the proposed development floor area is dedicated to housing. In the opinion of the Planning Department, this allocation is out of alignment with the intent of the district.

Variances

Within the LUB, the district also contains criteria for considering Employee Housing:

5.3.6.1 Employee Housing may be considered and approved in this district, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

- a. Adequate long-term and legally-binding provisions are in place to ensure the units remain as bona fide Employee Housing and are demonstrably subordinate in terms of area and intensity to other uses in the building.***

Despite this requirement, the Town lacks the regulatory authority to restrict the housing to employees working at the site, or employees in general. The Town's authority lies more with regulation of the use and not the user. Furthermore, the Employee Housing use in this proposal makes up 50% of the building area which is not subordinate in terms of area and intensity to other uses in the building. Therefore, this issue is deemed to be unaddressed.

- b. The space proposed for Employee Housing would not be reasonably used for commercial or industrial purposes.***

In the opinion of the Planning Department, all or some of the upper floor could be used for accessory storage or office space for the industrial bays. Therefore, this issue is deemed to be unaddressed.

- c. The Employee Housing units are appropriate in design for Employee Housing, particularly with respect to the unit size.***

As this regulation does not prescribe maximum sizes, this requirement is open to interpretation. As a comparison, the Southern Business District contains maximum Employee Housing unit sizes (see 5.4.6.2). The maximum size for a one-bedroom unit is 51m². The proposed units will be 63m², making them approximately 24% bigger in floor area. While larger, the unit sizes are within the range of this requirement. This issue is deemed as being addressed but this requirement is viewed as a secondary concern to the primary concern about actual industrial use at and adjacent to the site.

- d. Employee Housing units would not constrain any future permitted or discretionary, commercial or industrial uses from developing on the site or on surrounding areas.***

There are limited regulatory tools available to the Town to insulate the housing from the adjacent uses. Adjacent existing development may change over time to other forms of industrial uses. This fluidity makes it difficult to establish design thresholds to ensure that occupants can enjoy their units. Although the ARP speaks to "clean, light industrial uses" for this area, noise, smoke, and loading that are inherent with most industrial activity is still anticipated. Furthermore, should the vision for the type of industrial uses in the area change, it will be difficult to add new uses to the district, as homeowners would be concerned for the enjoyment of their property. Therefore, this issue is deemed to be unaddressed.

e. Employee Housing would not unduly interfere with existing and any potential industrial development in the area.

As a result of a lack of regulatory authority and tools, there is a risk that the occupants of the housing may not be employees of businesses on site, or businesses in the area. Therefore, it is possible they may complain about the industrial activity at the subject site, or adjacent sites, affecting the enjoyment of their units. This outcome would constrain future industrial activity at and adjacent to the site. Therefore, this issue is deemed to be unaddressed.

f. Outdoor Amenity Space such as balconies may be provided as part of the Employee Housing while meeting all of the above-described requirements in regard to impacts to or from adjacent industrial uses.

This development proposes balconies. While not opposed to the possibilities of balconies, in the opinion of the Planning Department, the applicant has not met all of the requirements of the standards and, therefore, cannot have balconies.

While the need for Employee Housing is well understood by the Town and industry, industrial land with its lower land value should not be viewed as a viable solution to the problem. The supply of these lands is limited. This approach addresses one problem while creating another. The Town has approved Employee Housing in industrial developments in the past, such as iPlace and Moose Meadows. However, the increasing risk of eroding the purpose of these areas, has become apparent and support for this mix of uses in industrial areas is shifting.

An EIS was completed as part of the development of the ASP, however, the EIS contemplated industrial activity. The MDP states in section 18.2.16 that, “where an EIS has been prepared and accepted as part of a statutory plan, land use bylaw or development approval, a new EIS is generally not required at a later stage in the approval process unless the planning or development proposal changes significantly”.

The Planning Department requested that an Environmental Impact Statement be completed to evaluate the impact of the inclusion of housing in the development on the adjacent Habitat Patch and potential mitigation measures. The applicant has rejected this request, stating:

“The Area Structure Plan does not show specific areas where conservation is required other than the buffer areas and pathways shown in the Land Use concept. Further as the ASP shows both Phase I and Phase II, it acknowledges future industrial development beyond Phase I. Because this site is located within the original Phase I for development, any environmental recommendations for Phase I were contained in the McCallum Paquet environmental overview.”

Therefore, the impacts (if any) of introducing housing of this scale without outside on-site amenities, next to an open area designated as a Habitat Patch, are not clearly understood at this time.

2. SIDEWALK FACILITY

The LUB states that the Development Authority can require the construction of a pedestrian walkway system in order to connect a site to an existing pathway network:

1.1.1.0.2 The Development Authority may, as a condition of issuing a Development Permit for a Permitted or Discretionary Use, require the applicant to enter into an agreement with the Town to do any of the following:

b. The construction or payment for the construction of a pedestrian walkway system to serve the development, and/or pedestrian walkways to connect the pedestrian walkway system serving the development with a pedestrian walkway system that serves or is proposed to serve an adjacent development;

The Engineering Department has requested that the developer construct a 2.5m concrete sidewalk facility along the north side of Bow Meadows Crescent, between the subject site and Elk Run Boulevard, in accordance with the Integrated Transportation Plan (ITP) and the Engineering Design and Construction Guidelines (EDCG). This will provide connectivity between the site, and adjacent walking, cycling and transit infrastructure and destinations in the area.

The applicant has objected to this request and contends that:

“the ASP is clear that pathways in the area are located northeast of the site in the natural area in Phase II and to the south of the area along Highway 1A. Because the ASP does not prescribe multi use trail connections along the roadways, and generally are to be “reflected in the pattern of development in the area”, 3.4.1.4, it is unreasonable to request a multi-use trail be introduced along Bow Meadows Crescent and paid for by this development. In order to ensure an equitable and agreed to infrastructure upgrading in the area, an Area Redevelopment Plan should be undertaken to receive Council direction on

adding this infrastructure to the area”

The Town has the authority to require a sidewalk. Although Area Redevelopment Plans or Area Structure Plans provide more clarity regarding the location and design of these facilities, the ASP is significantly older than our current policies.

The MDP provides that the Integrated Transportation Plan and the Engineering and Design Construction Guidelines should be followed with respect to planning new developments (Policy 14.3). The MDP interprets “should” as “strongly encouraged” (Policy 1.6). If there is an inconsistency or a conflict between the MDP and the ASP, then the MDP prevails.

While there would be a benefit to updating the ASP to reflect current transportation initiatives, there is no obligation on the Town to do so. Given the Town’s goal to connect all areas of Canmore to its transportation network, and that the applicant is also proposing housing, good pedestrian connections are important. If the CPC decides to approve this proposal, a condition of approval requiring the development of the walkway should be included in the Schedule A (Attachment 6).

3. AMENITY SPACE

The LUB states that a children’s playground, or other outdoor recreational amenities, shall be required on sites with ten or more Dwelling Units:

8.7.0.1 Children’s playground equipment, or other outdoor recreational amenities, shall be required on sites with ten (10) or more Dwelling Units, to the satisfaction of the Development Authority.

The proposed development contains 12 Employee Housing units. The applicant has requested a variance to this requirement stating that,

“The amenity spaces in the development include balconies 4.6 m² per unit and the provision of indoor amenity space including lounge and laundry area. Which conforms to Section 8.7 options in the Bylaw. A variance is requested to the number of units triggering the playground provision. There is no intent for children to reside in the employee housing. Adult only provisions will be included in the Condominium Bylaws.”

Regardless of the applicant’s intention to restrict the development to only adults, the LUB still requires an outdoor recreational amenity, or similar amenity, for the adults. None have been provided and there is nothing preventing a family with children from moving into one of these units in the future. Decks have been provided, however, these are generally required:

8.7.0.2 Private outdoor amenity or yard spaces shall:

f. Ensure balconies and terraces for each Dwelling Unit located above grade are a minimum area of 4.5 m² with a minimum horizontal dimension of 1.5 m;

This is not considered to be an alternative to satisfying this requirement. To complicate matters further, the usage and enjoyment of an outdoor amenity space, if provided at the site, may also be affected by adjacent industrial development. Therefore, in the opinion of the Planning Department, it is evident that there is conflict between the basic residential design requirements of the LUB and the basic intention of the district.

SUSTAINABILITY SCREENING REPORT (SSR)

The applicant’s Sustainability Screening Report and score of approximately 38, suggests that the development will have a slightly positive impact on the community (see Attachment 5). However, without the employee housing, the SSR scores decreased to a negative score of -4.

As result of the required variances, the applicant must meet the Town’s requirements for Enhanced Green Construction as per section 1.14.1.6 of the LUB.

OFF-SITE LEVIES

Offsite levies will be collected for this development at the current rate at the time of signing the Development Agreement.

LIGHTING

Details on exterior and site lighting have been provided with this application and comply with the lighting requirements of the LUB.

SUBMITTED COMMENTS

A Notice of Application has been posted on the site pursuant to the Land Use Bylaw. No comments were received at the time of writing this report.

OPTIONS FOR CONSIDERATION

The CPC has three options:

1. Refuse the application, specifying reason(s) for refusal.
2. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
3. Postpone the application, pending submission of any additional details requested by CPC.

In the event that CPC decides to approve the application, it is recommended that the CPC add the following condition to Schedule A to require the off-site pedestrian pathway:

The developer shall construct a sidewalk between the site and Elk Run Boulevard to provide connectivity between the site and the surrounding active transportation and transit network.

The developer shall be responsible for all costs associated with engineering design and construction of this connection, and the preparation of a cost estimate, based on a Town-prepared concept plan. The Town shall endeavor to recover partial costs of the sidewalk construction through a Local Improvement process (which could include contributions from the adjacent properties towards a portion of the costs) however there is no assurance that any costs will be recovered through this process. If this process is not successful, the developer shall be responsible for the full cost of design and construction. The Town will lead the Local Improvement process with neighbouring properties to endeavor to cost-share the final construction value.

This process will begin following the completion of detailed design plans and the provision of a cost estimate to the Town by the applicant. Approved engineering drawings (to the satisfaction of the Town) will be a requirement of Development Permit approval. The developer shall be responsible for engaging with adjacent property owners to obtain permission to tie into private driveways along Bow Meadows Crescent, and shall provide written confirmation of this permission to the Town prior to the commencement of any construction work.

[Note: Insert this as Condition of Approval #15 and renumber conditions below accordingly]

RECOMMENDATION

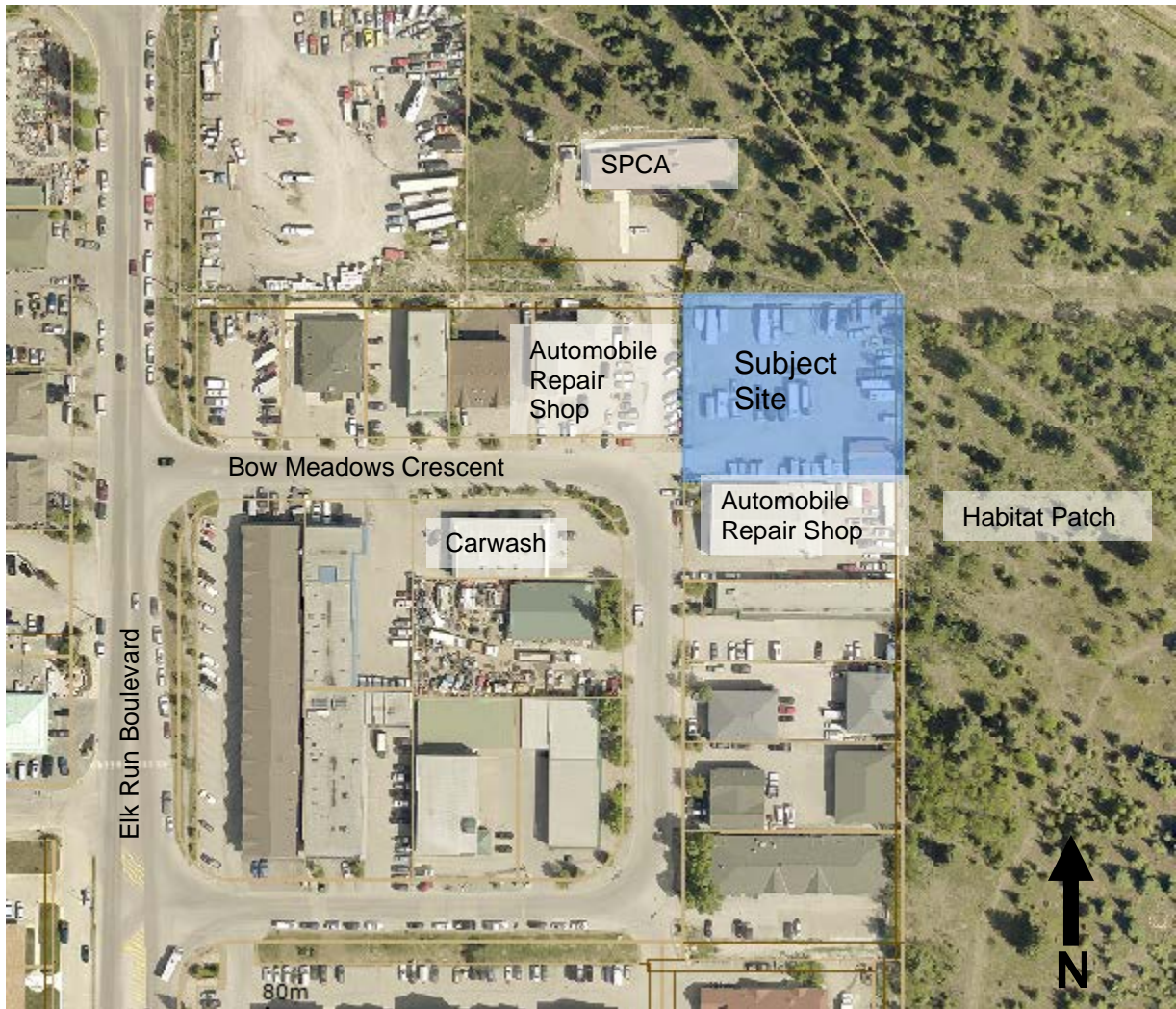
Planning recommends that the Canmore Planning Commission **REFUSE** PL20210301, subject to the conditions of approval set out in Schedule A (Attachment attached to this report).

ATTACHMENTS:

1. Site Context [Including aerial photo of area with site identified]
2. Zoning [Including zoning map of area with zoning of site & adjacent sites identified]
3. Bylaw Conformance Review
4. Submitted Plans [Including sections, elevations & renderings]
5. Sustainability Screening Report (SSR) Narrative & Matrix [If applicable]
6. Schedule A – Conditions of Approval

Nathan Grivell
Development Planner

ATTACHMENT I – SITE CONTEXT



Arial View of Site



View of Site Looking East Along Bow Meadows Crescent

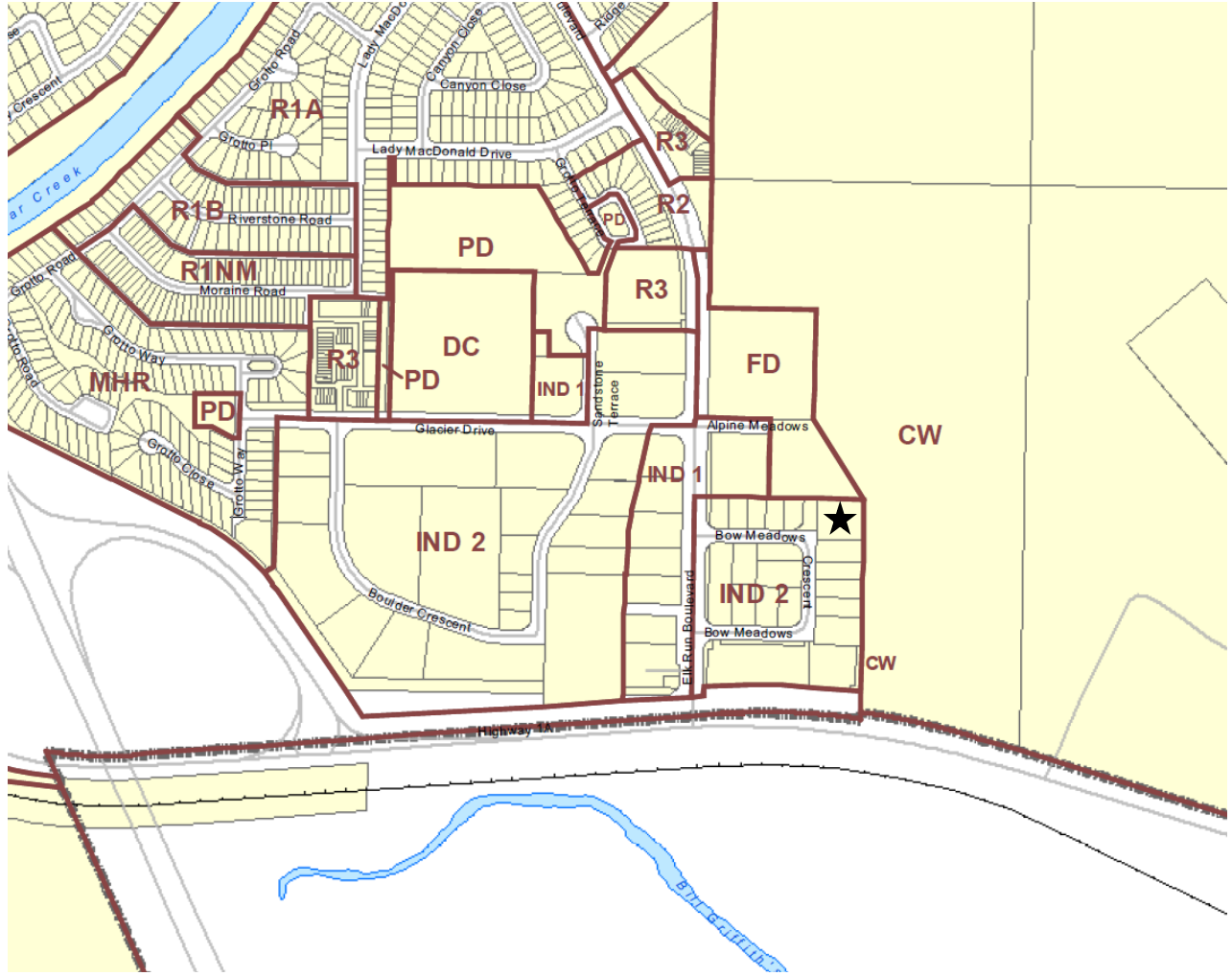


View of Site Looking North Along Bow Meadows Crescent



View of Site Looking South-East.

ATTACHMENT 2 – ZONING



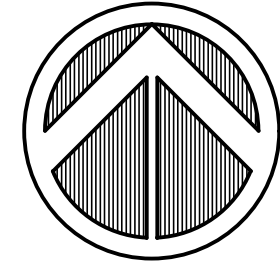
★ Subject Site

ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
MAX FLOOR AREA RATIO (FAR)	N/A	N/A	No
FRONT YARD SETBACK	MAX 7.50 M	45.61 M	No
SIDE YARD SETBACK (WEST)	0.00 M	2.55 M	No
SIDE YARD SETBACK (SOUTH)	0.00 M	4.83 M	No
REAR YARD SETBACK	0.00 M	2.01 M	No
MAX BUILDING HEIGHT	11.00 M	11.00 M	No
MAX BUILDING EAVELINE HEIGHT	N/A	N/A	No
SITE COVERAGE	N/A	N/A	No
LANDSCAPING AREA	0%	20.9%	No
TREES	0	11	No
SHRUBS	0	89	No
PARKING	MIN 13, MAX 43 VEHICLE PARKING STALLS	22 VEHICLE PARKING STALLS	No
VEHICLE PARKING	28 LONG TERM BICYCLE STALLS	28 LONG TERM BICYCLE STALLS	No
BICYCLE PARKING	13 SHORT TERM BICYCLE STALLS	14 SHORT TERM BICYCLE STALLS	No

ATTACHMENT 4 – SUBMITTED PLANS





BUILDING INFORMATION

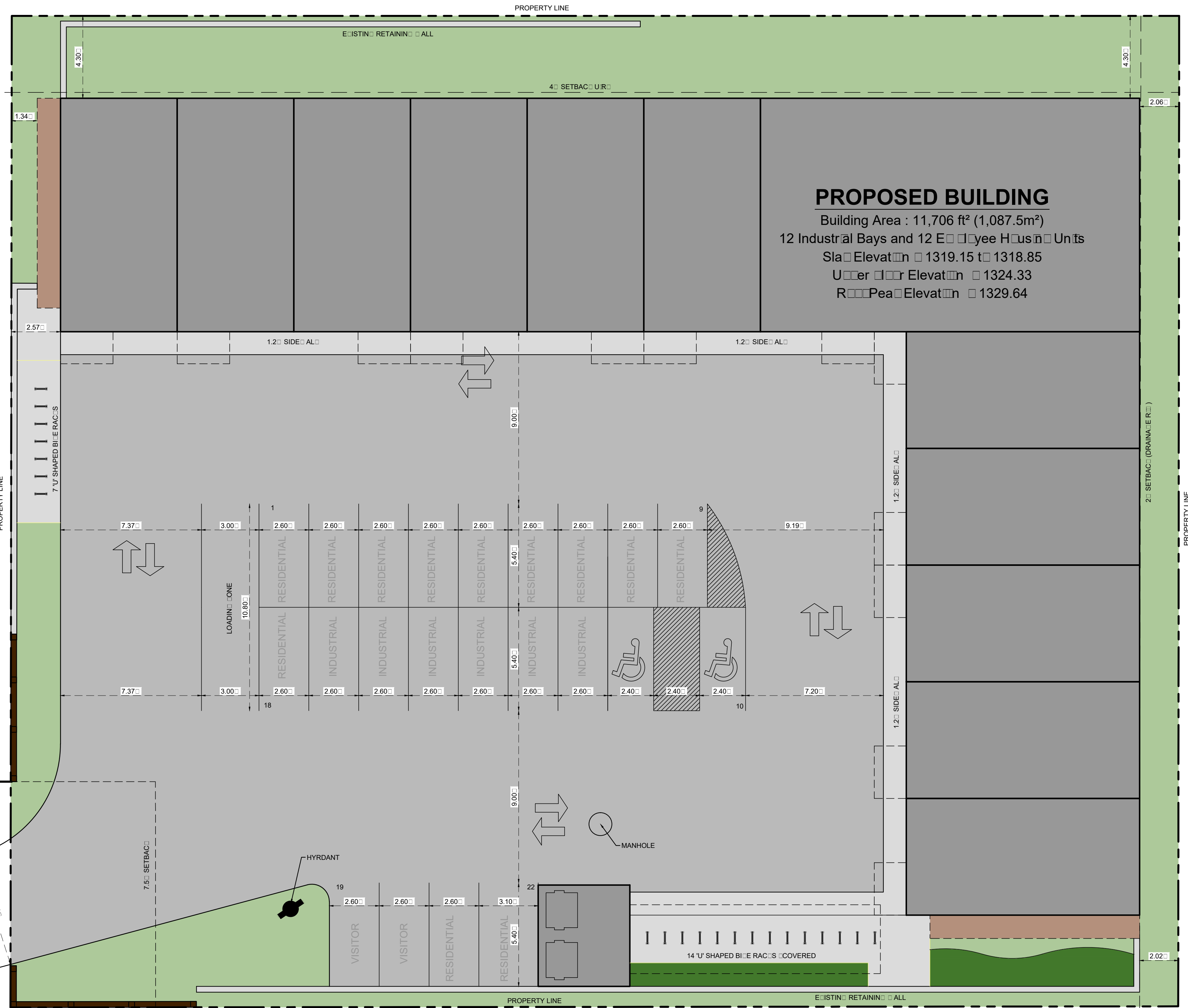
NAME	ELDRUN INDUSTRIAL
CIVIC ADDRESS	121 BOW MEADOWS CRESENT
LEGAL ADDRESS	LOT 4 BLDG 7 PLAN 951 2298
ZONING	IND-2
GEODETIC ELEVATION	19.50
SITE AREA	3158.4m ²
BUILDING FOOTPRINT	1087.5m ²
AREA	2146.1m ²
CAR	0.68

CALCULATIONS

PARKING - LOADING	
CLASS C INDUSTRIAL PARKING (MAX. 10 STALLS)	8 STALLS
BI-E STALLS - Short Term (1.0 STALL/100m ²)	10 BI-E STALLS
BI-E STALLS - Long Term (1.0 STALL/100m ²)	10 BI-E STALLS
EMPLOYEE HOUSING PARKING (1.0 STALL/UNIT)	12 STALLS
VISITOR PARKING (0.15 STALL/UNIT)	2 STALLS
BI-E STALLS - Short Term (0.25 STALLS/UNIT)	3 BI-E STALLS
BI-E STALLS - Long Term (1.5 STALLS/UNIT)	18 BI-E STALLS

BOW MEADOWS CRESENT

SPCA ACCESS ROAD



PROPOSED BUILDING

Building Area : 11,706 ft² (1,087.5m²)
 12 Industrial Bays and 12 Employee Housing Units
 Slab Elevation 1319.15 to 1318.85
 Upper Floor Elevation 1324.33
 Rooftop Elevation 1329.64

1 SITE PLAN
 DP-01 3.32' x 1.0'

Notes
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Consultant
 Seal

Seal

4	Drawn/Checked/Reviewed	2022/03/04
3	Stamp/Approved/Units	2022/01/19
2	Drawn/Checked/Reviewed	2021/11/10
1	Drawn/Checked/Reviewed	2021/08/17

NO	Description	Date (YY.MM.DD)
----	-------------	-----------------

Revisions	
Issued	Date (YY.MM.DD)
REVIEW	2021/03/24
DEVELOPMENT PERMIT	2021/07/20

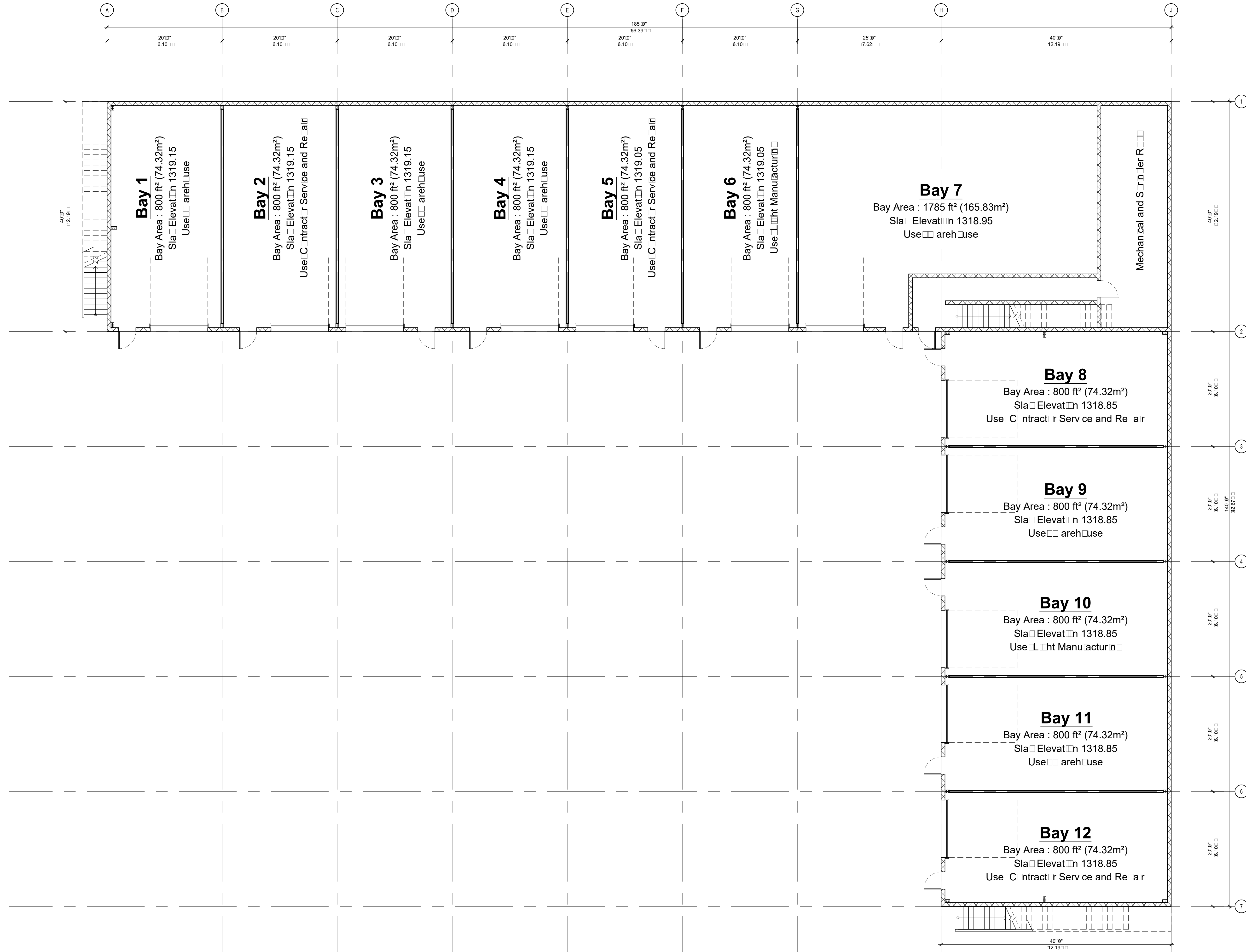
Drawn By	Scale
MA	AS NOTED
Project Number	Date
19.013	2019.07.25

Project **Lot 8 Bldg 7 Plan 951 2298**
Eldrun Industrial
 Canora Alberta

2244 Bayside Circle S. | Address Alberta T4B 0V6
 P: 403.493.9315 | Murray@techdesigns.ca
 mtechdesigns.ca

Drawn Title
SITE PLAN

Drawn Number
DP-01



1 MAIN FLOOR PLAN
DP-02 1/8" = 1'-0"

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Seal

4	Tracked Changes	2022.03.04
3	Stamp Updates	2022.01.19
2	Tracked Changes	2021.11.10
1	Tracked Changes	2021.08.17

No.	Description	Date (YY.MM.DD)

Revisions	
Issued	Date (YY.MM.DD)
REVIEW DEVELOPMENT PERMIT	2021.03.24 2021.07.20

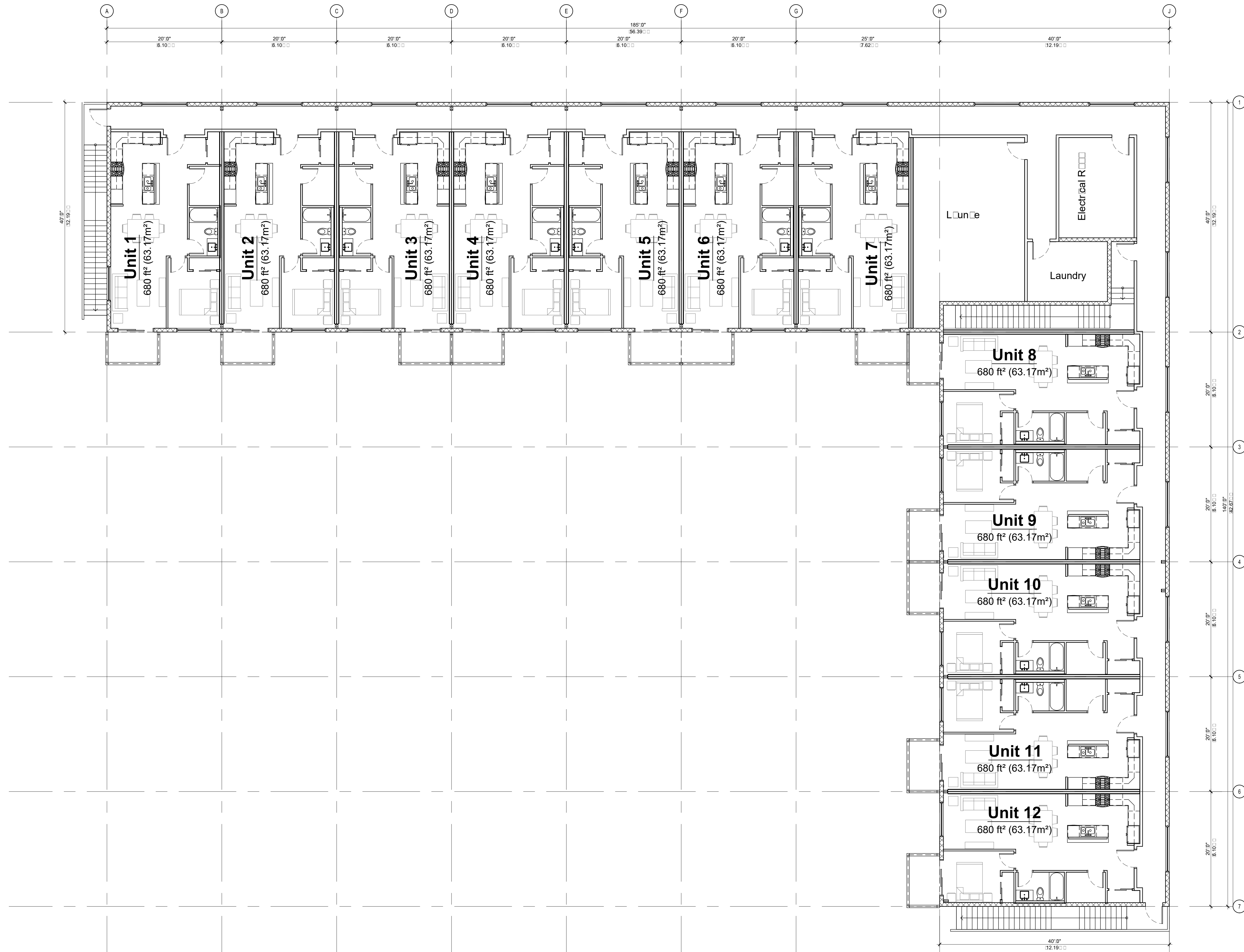
Drawn By	Scale
MA	AS NOTED
Project Number	Date
19.013	2019.07.25

Project **Lot 8 Block 7 Plan 951 2298**
Elgin Industrial Centre

2244 Bayside Circle S. Aurora, Alberta T4B 0V6
P: 403.493.9315 Murray@mtechdesigns.ca
mtechdesigns.ca

Drawing Title
MAIN FLOOR PLAN

Drawing Number
DP-02



1 SECOND FLOOR PLAN
DP-03 1/8" = 1'-0"

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Consultant
 Seal

No.	Description	Date (YY.MM.DD)
4	Final Construction Documents	2022.03.04
3	Stationing and Unit Numbers	2022.01.19
2	Final Construction Documents	2021.11.10
1	Final Construction Documents	2021.08.17

No.	Description	Date (YY.MM.DD)
4	Final Construction Documents	2022.03.04
3	Stationing and Unit Numbers	2022.01.19
2	Final Construction Documents	2021.11.10
1	Final Construction Documents	2021.08.17

Issued	Date (YY.MM.DD)
REVIEW DEVELOPMENT PERMIT	2021.03.24 2021.07.20

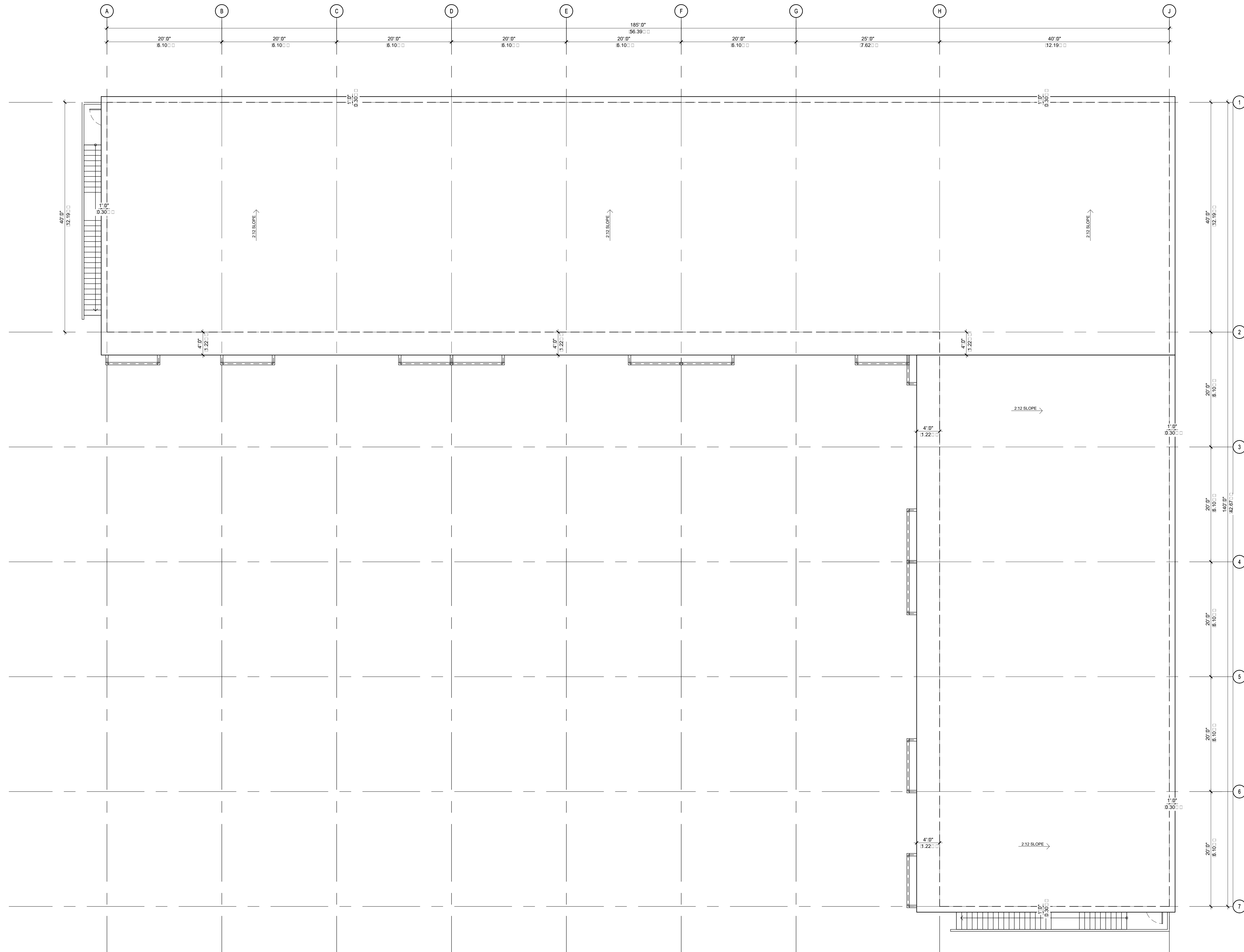
Drawn By: MAJ
 Scale: AS NOTED
 Project Number: 19.013
 Date: 2019.07.25

Project: Lot 8 Block 7 Plan 951 2298
 Elgin Industrial
 Cambridge, Ontario

MTECH
 DESIGNS
 2244 Bayside Circle S. | Address: Alberta T4B 0V6
 P: 403.493.9315 | Murray@techdesigns.ca
 mtechdesigns.ca

Drawn Title: **SECOND FLOOR PLAN**

Drawn Number: **DP-03**



1 ROOF PLAN
DP-04 1/8" = 1'-0"

Notes
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Consultant
 Seal

Seal

4	Tracked Changes Comments	2022-03-04
3	Stationing Updates	2022-01-19
2	Tracked Changes Comments	2021-11-10
1	Tracked Changes Comments	2021-08-17

Date (YY.MM.DD)

Revisions	
Issued	Date (YY.MM.DD)
REVIEW DEVELOPMENT PERMIT	2021-03-24 2021-07-20

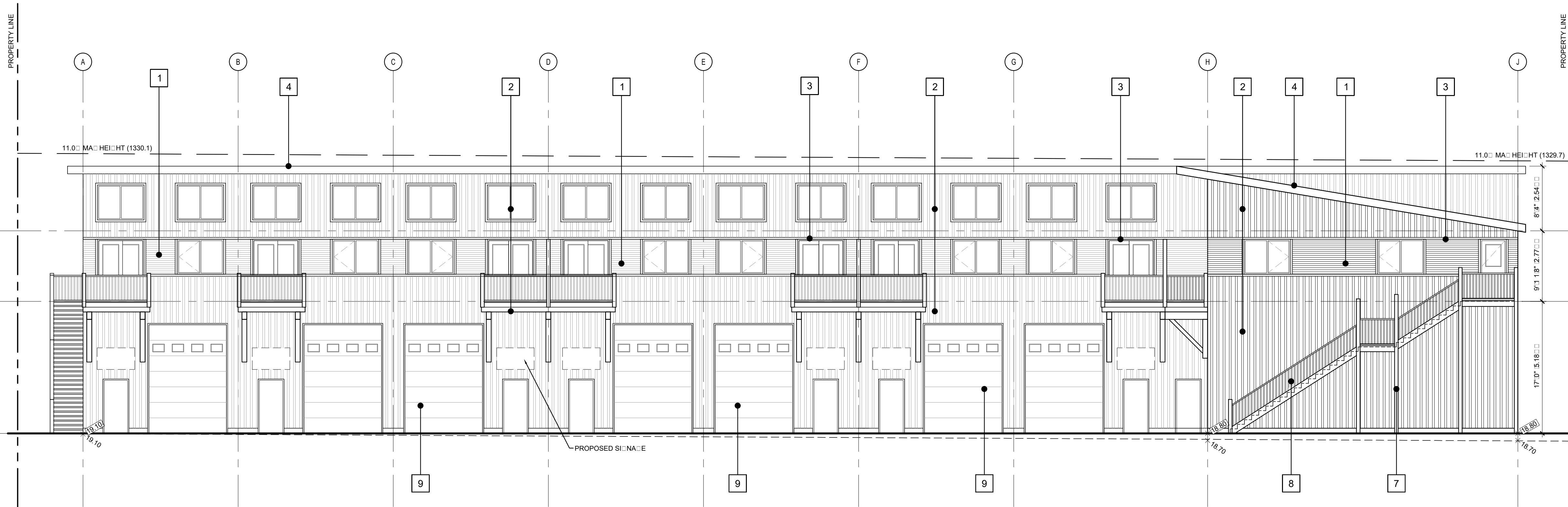
Drawn By: MAJ
 Scale: AS NOTED
 Project Number: 19-013
 Date: 2019-07-25

Project: Lot 8 Block 7 Plan 951 2298
 Elgin Industrial
 Cambridge, Ontario

MTECH
DESIGNS
 2244 Bayside Circle S. | Address Alberta T4B 0V6
 P: 403.433.9315 | Murray@techdesigns.ca
 mtechdesigns.ca

Drawing Title
ROOF PLAN

Drawing Number
DP-04



1 FRONT ELEVATION
DP-05 1/8" = 1'-0"



2 LEFT ELEVATION
DP-05 1/8" = 1'-0"

Exterior Material Schedule:

1	HOR. METAL SIDING	CHARCOAL GREY
2	VERT. METAL SIDING	DESERT SAND
3	METAL TRIM	CHARCOAL GREY
4	METAL ASCIA	CHARCOAL GREY
5	METAL SOFFIT	CHARCOAL GREY
6	METAL ROOFING	BROWN
7	TIMBER ELEMENTS	SPECIES: 078 - NATURAL
8	METAL RAILING	BLACK
9	MAN and OPERABLE DOOR	BROWN

Exterior Material Notes:

- ALL MATERIAL TRANSITIONS TO TAKE PLACE ON INSIDE CORNERS.
- PROVIDE PRE-FINISHED METAL FLASHING OVER ALL HORIZONTAL MATERIAL TRANSITIONS.
- ALL EXHAUST COVERS AND VENTS TO BE PAINTED TO MATCH THE ADJACENT EXTERIOR MATERIAL COLOUR.

LEGEND

	PROPOSED GRADES
	ELEVATION GRADES (AS PER SURVEY PLAN)

Notes

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Consultant

Seal

4	Drawn	Canore	2022/03/04
3	Stationed	Units	2022/01/19
2	Drawn	Canore	2021/11/10
1	Drawn	Canore	2021/08/17
Date			(YY.MM.DD)

Revisions

Issued	Date
REVIEW	2021/03/24
DEVELOPMENT PERMIT	2021/07/20

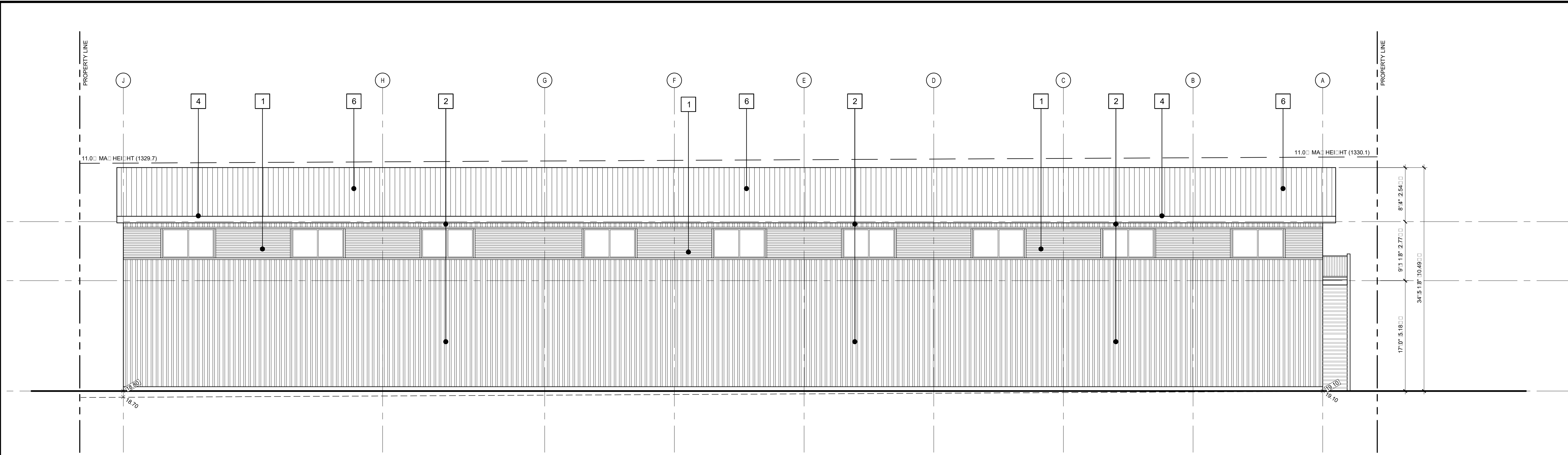
Drawn By: MA: 19/013
Scale: AS NOTED
Date: 2019/07/25

Project: Lt 8 Blk 7 Plan 951 2298
El Run Industrial
Canora Alberta

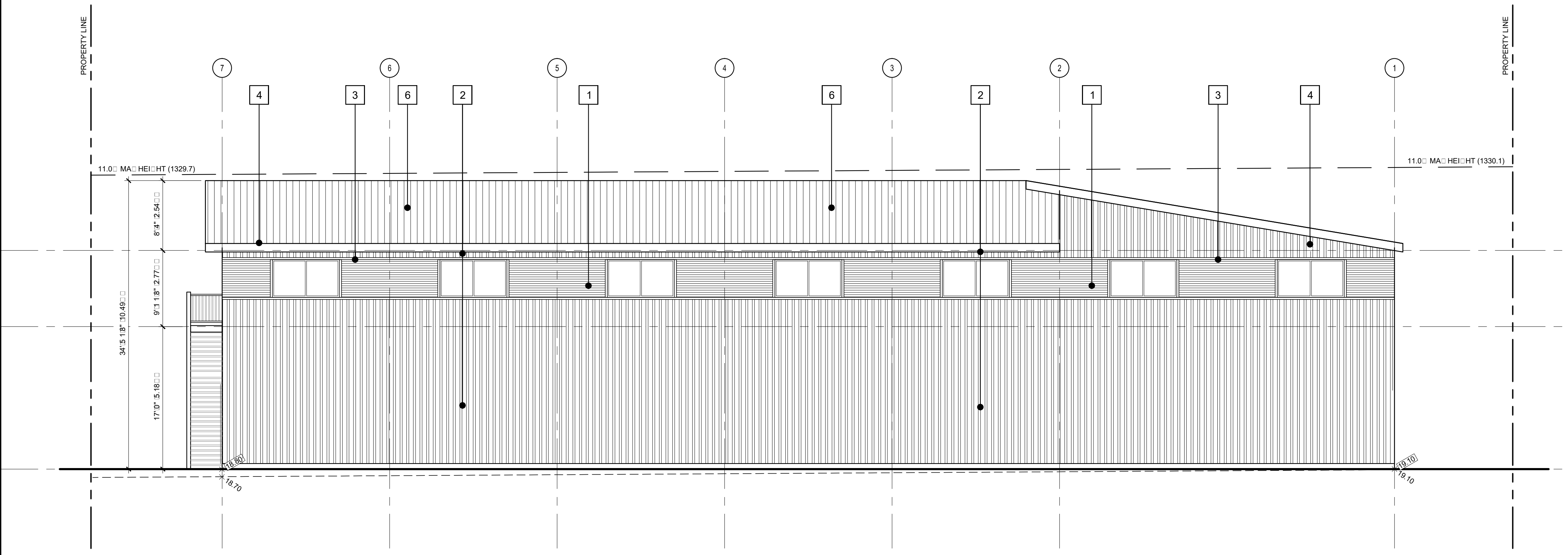


Drawn Title: ELEVATIONS

Drawn Number: DP-05



1 REAR ELEVATION
DP-06 / 1/8" = 1'-0"



2 RIGHT ELEVATION
DP-06 / 1/8" = 1'-0"

Exterior Material Schedule:

1	HOR. METAL SIDING CHARCOAL GREY
2	VERT. METAL SIDING DESERT SAND
3	METAL TRIM CHARCOAL GREY
4	METAL ASCIA CHARCOAL GREY
5	METAL SOFFIT CHARCOAL GREY
6	METAL ROOFING BRON
7	TIMBER ELEMENTS SICOENS-078-NATURAL
8	METAL RAILING BLAC
9	MAN and OPERABLE DOOR BRON

Exterior Material Notes:

- ALL MATERIAL TRANSITIONS TO TAKE PLACE ON INSIDE CORNERS.
- PROVIDE PRE-FINISHED METAL FLASHING OVER ALL HORIZONTAL MATERIAL TRANSITIONS.
- ALL EXHAUST COVERS AND VENTS TO BE PAINTED TO MATCH THE ADJACENT EXTERIOR MATERIAL COLOUR.

Notes
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Seal

4
3
2
1

4	Timber Elements	2022/03/04
3	Stationing Units	2022/01/19
2	Timber Elements	2021/11/10
1	Timber Elements	2021/08/17

Date (YY.MM.DD)

Revisions

Issued	Date (YY.MM.DD)
REVISION DEVELOPMENT PERMIT	2021/03/24 2021/07/20

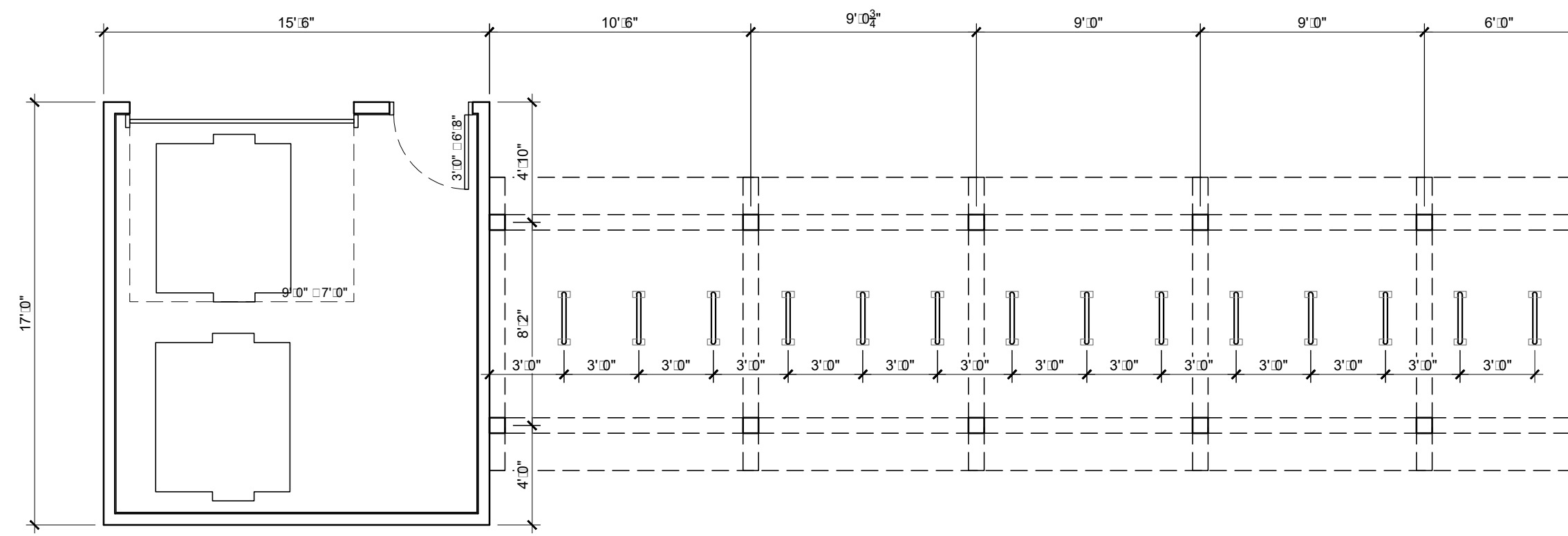
Drawn By: MAJ
Scale: AS NOTED
Project Number: 19.013
Date: 2019.07.25

Project: Lot 8 Block 7 Plan 951 2298
Elgin Run Industrial
Canterbury Alberta



Drawing Title: ELEVATIONS

Drawing Number: DP-06



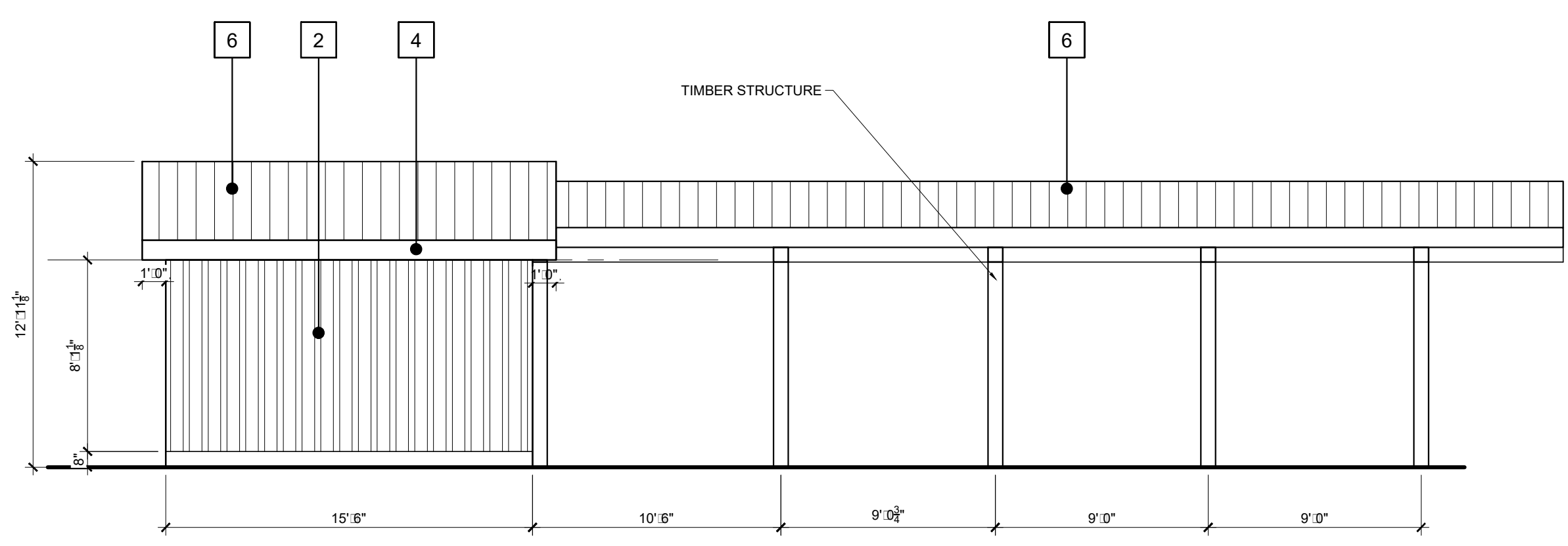
1 ARBAE ROOM
DP:06 / 3:16' - 1:10'

Exterior Material Schedule:

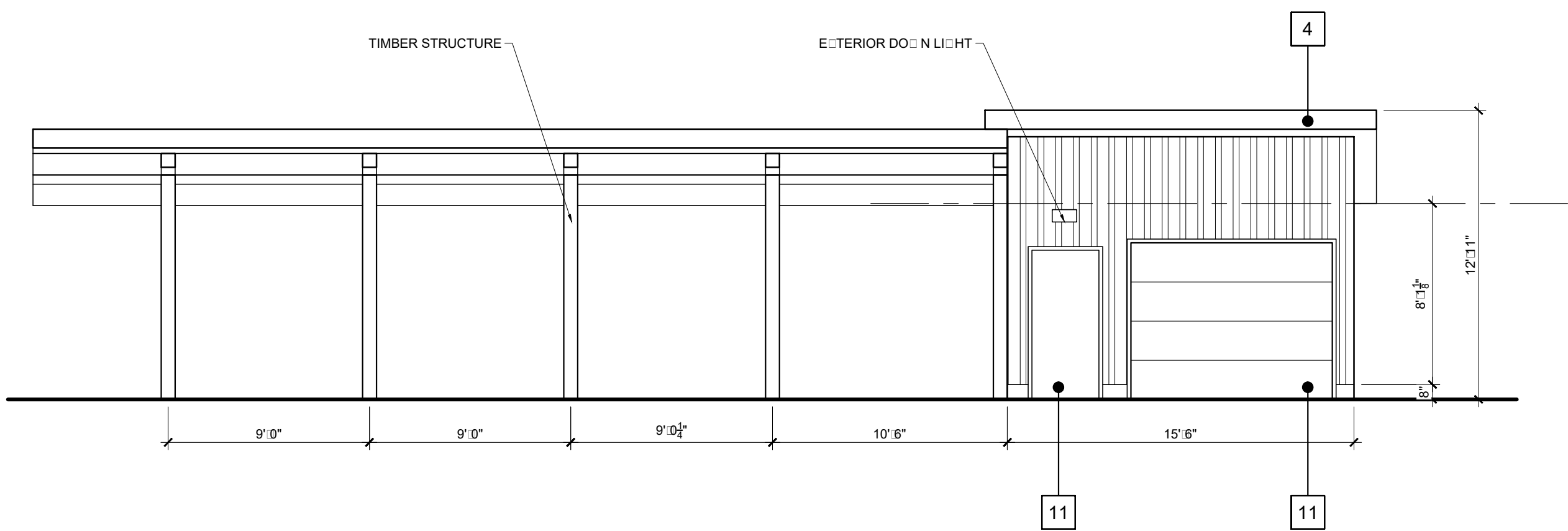
- 1 HORIZONTAL METAL SIDING CHARCOAL GREY
- 2 VERTICAL METAL SIDING DESERT SAND
- 3 METAL TRIM CHARCOAL GREY
- 4 METAL FASCIA CHARCOAL GREY
- 5 METAL SOFFIT CHARCOAL GREY
- 6 METAL ROOFING ALVANIUM
- 7 TIMBER ELEMENTS SIKENS 1078 NATURAL
- 8 METAL RAILING BLACK
- 9 MAN AND SERVICE DOOR BROWN

Exterior Material Notes:

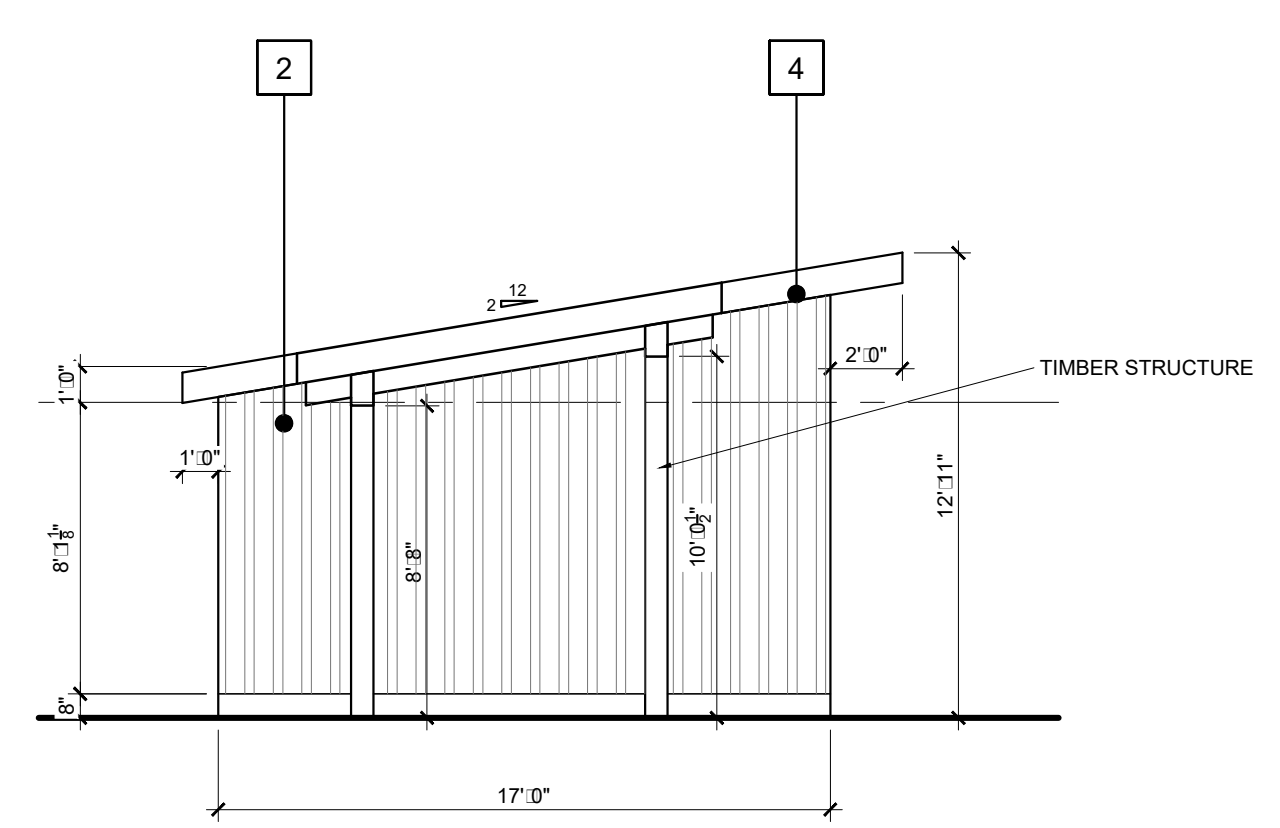
1. ALL MATERIAL TRANSITIONS TO TAKE PLACE ON INSIDE CORNERS.
2. PROVIDE PRE-FINISHED METAL FLASHING OVER ALL HORIZONTAL MATERIAL TRANSITIONS.
3. ALL EXHAUST COVERS AND VENTS TO BE PAINTED TO MATCH THE ADJACENT EXTERIOR MATERIAL COLOUR.



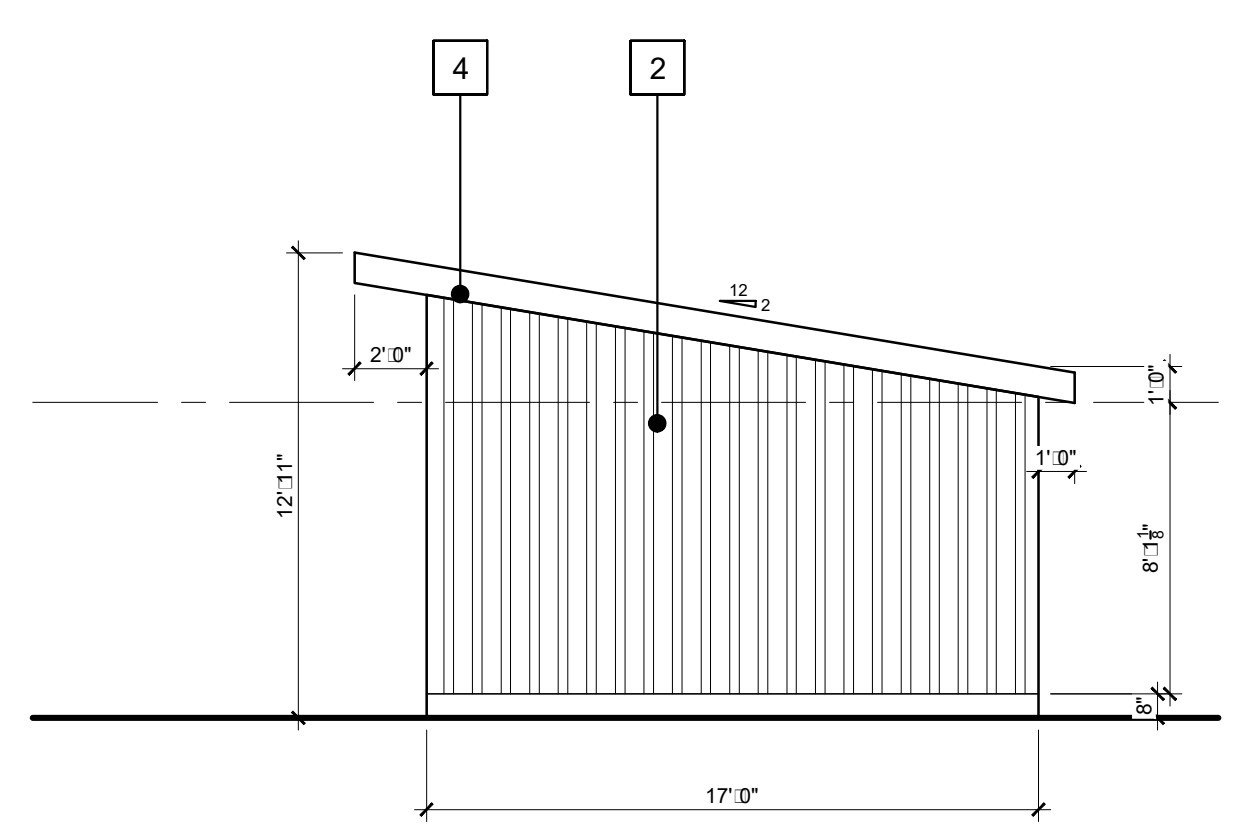
2 ARBAE ROOM REAR ELEVATION
DP:06 / 3:16' - 1:10'



3 ARBAE ROOM FRONT ELEVATION
DP:06 / 3:16' - 1:10'



4 ARBAE ROOM LEFT ELEVATION
DP:06 / 3:16' - 1:10'



5 ARBAE ROOM RIGHT ELEVATION
DP:06 / 3:16' - 1:10'

Notes
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Consultant

Seal

4	Timber Elements	2022:03:04
3	Stationing Units	2022:01:19
2	Timber Elements	2021:11:10
1	Timber Elements	2021:08:17

Revision

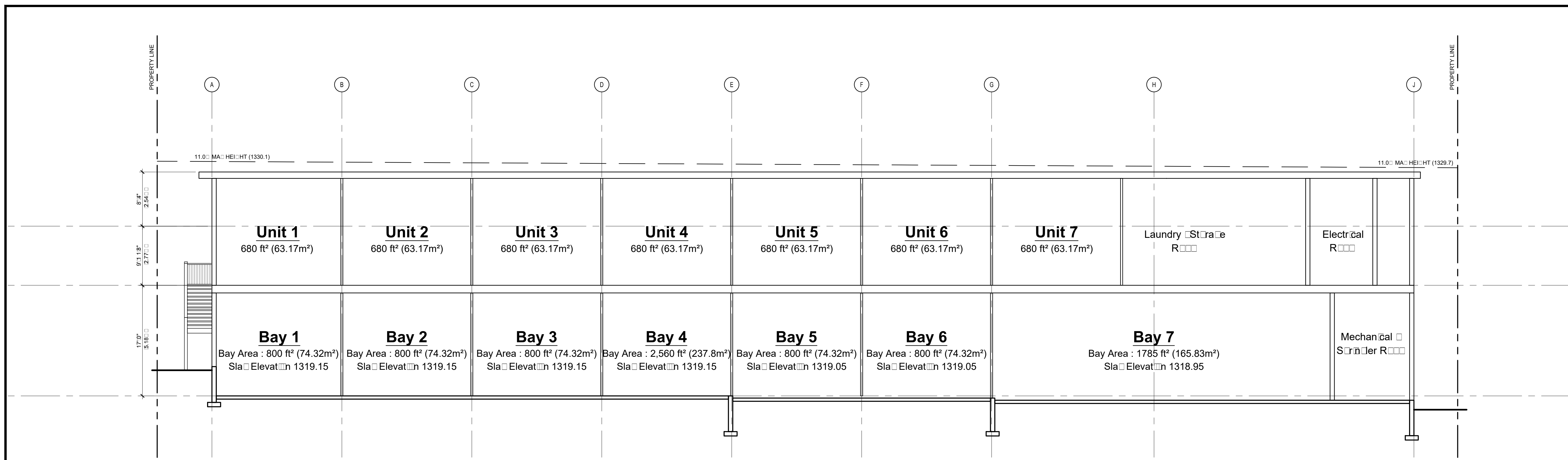
Issued	Date
REVIEW	2021:03:24
DEVELOPMENT PERMIT	2021:07:20

Drawn By: MAJ
Scale: AS NOTED
Project Number: 19.013
Date: 2019.07.25

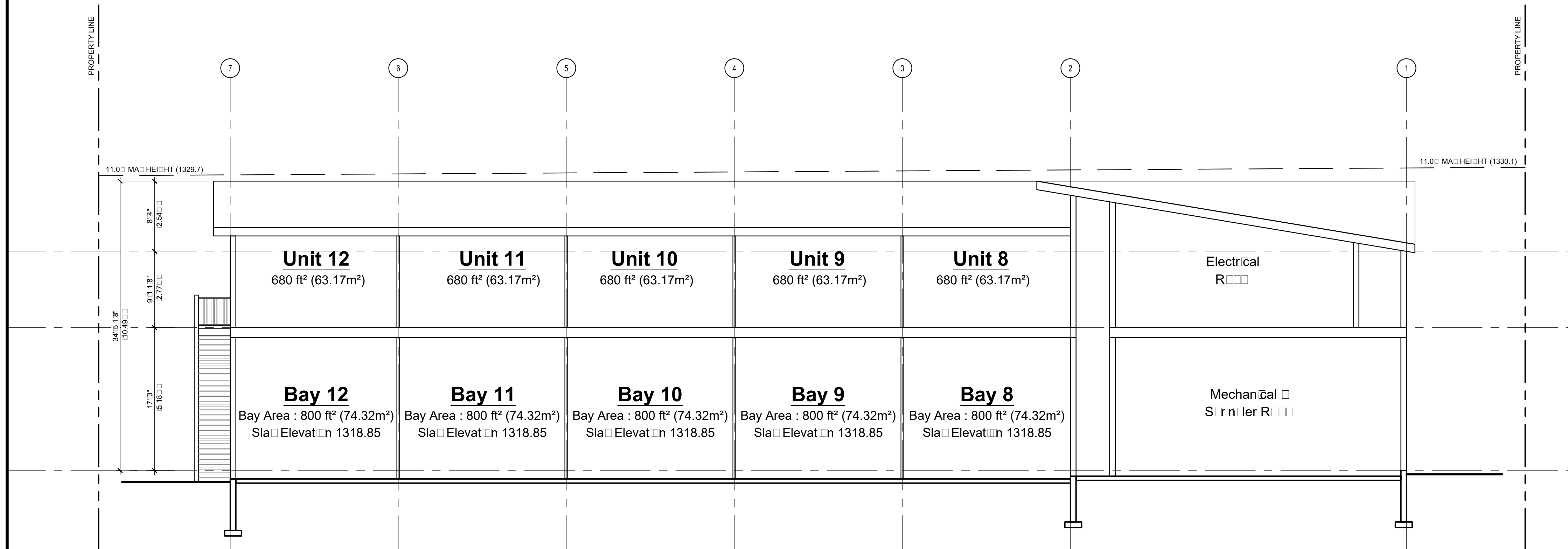
Project: Lot 8 Block 7 Plan 951 2298
Elgin Run Industrial
Canadian Alberta

Drawing Title: ACCESSORY BUILDING

Drawing Number: DP-07



1 BUILDING SECTION
DP-08 1/8" = 1'-0"



2 BUILDING SECTION
DP-08 1/8" = 1'-0"

Notes
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Consultant
Seal

Mechanical Shop R
Electrical R
Laundry Storage R

4	Timeline Comments	2022-03-04
3	Stationing Updates	2022-01-19
2	Timeline Comments	2021-11-10
1	Timeline Comments	2021-08-17
No Description		Date (YY.MM.DD)

Issued For	Date (YY.MM.DD)
REVIEW DEVELOPMENT PERMIT	2021-03-24 2021-07-20

Revisions
Drawn By: Scale: AS NOTED
Project Number: 19-013 Date: 2019-07-25

Project: Lot 8 Block 7 Plan 951 2298
Elgin Industrial
Construction Alberta



Drawn Title: BUILDING SECTIONS

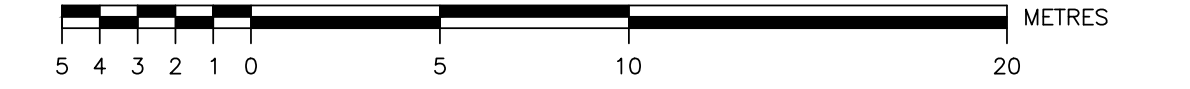
Drawn Number: DP-08

CANMORE, ALBERTA

PLOT PLAN

LOT 8
 BLOCK 7, PLAN 951 2298
 121 BOW MEADOWS CRESCENT
 PREPARED FOR:
 BENCAL ENTERPRISES

SCALE = 1:200



NOTES:

- DESIGN DATE JULY 12, 2021.
- DISTANCES AND ELEVATIONS ARE IN METRES.
- ELEVATIONS ARE GEODETIC AND ARE REFERENCED TO ASCM 1768.
- AREA OF PARCEL SHOWN BOUNDED THUS: _____
- LOT AREA 3159.8 m²
- FOOTPRINT 1059.1 m², 33.5% (BUILDING)
- LAND USE DISTRICT IS 'IND-2'.
- SEE SECTION 5.3.3 OF LAND USE BYLAW FOR SETBACK INFORMATION.

BUILDING 'A'	
ROOF ELEV.	1329.80
SLAB	1319.15 to 1318.85
SECOND FLOOR	1324.33

LEGEND:

- SPOT ELEVATIONS +19.08
- (ADD 1300.00 FOR GEODETIC)
- DESIGN ELEVATIONS +19.08
- (ADD 1300.00 FOR GEODETIC)

REGISTERED INTERESTS (Excluding encumbrances):

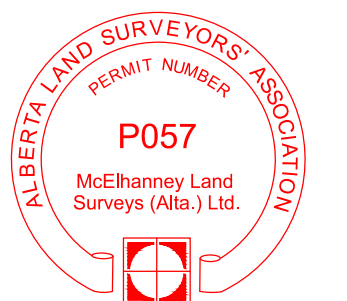
- 731 038 028 URW (9.14 FORTIS R/W)
- 951 228 675 URW PLAN 951 2299
- 951 228 577 AGREEMENT RE: RESTRICTIVE COVENANT AND EASEMENT (PLAN 951 2300)

FLOOD HAZARD
 Per the Alberta ESRD Flood Hazard Map Application
 the lot is NOT within a floodway or flood fringe area.

THIS DRAWING AND DESIGN IS THE PROPERTY OF McELHANNY LAND SURVEYS LTD. (McELHANNY) AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McELHANNY.
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CERTIFIED CORRECT THIS 12th DAY OF NOVEMBER, 2021

WARREN LIPPIIT, ALS



SEE ENGINEER'S GRADE PLAN
 SEE SURFACEWORKS AND GRADING PLAN BY McELHANNY FOR DETAILED SITE GRADES AND DRIVEWAY SLOPES.

LOT 3
 BLOCK 8
 PLAN 011 2017

URW INSTRUMENT No. 731 038 028 (FORTIS)

PROPOSED BUILDING

SLAB ELEV.
 1319.15 TO 1318.85

LOT 8

LOT 9

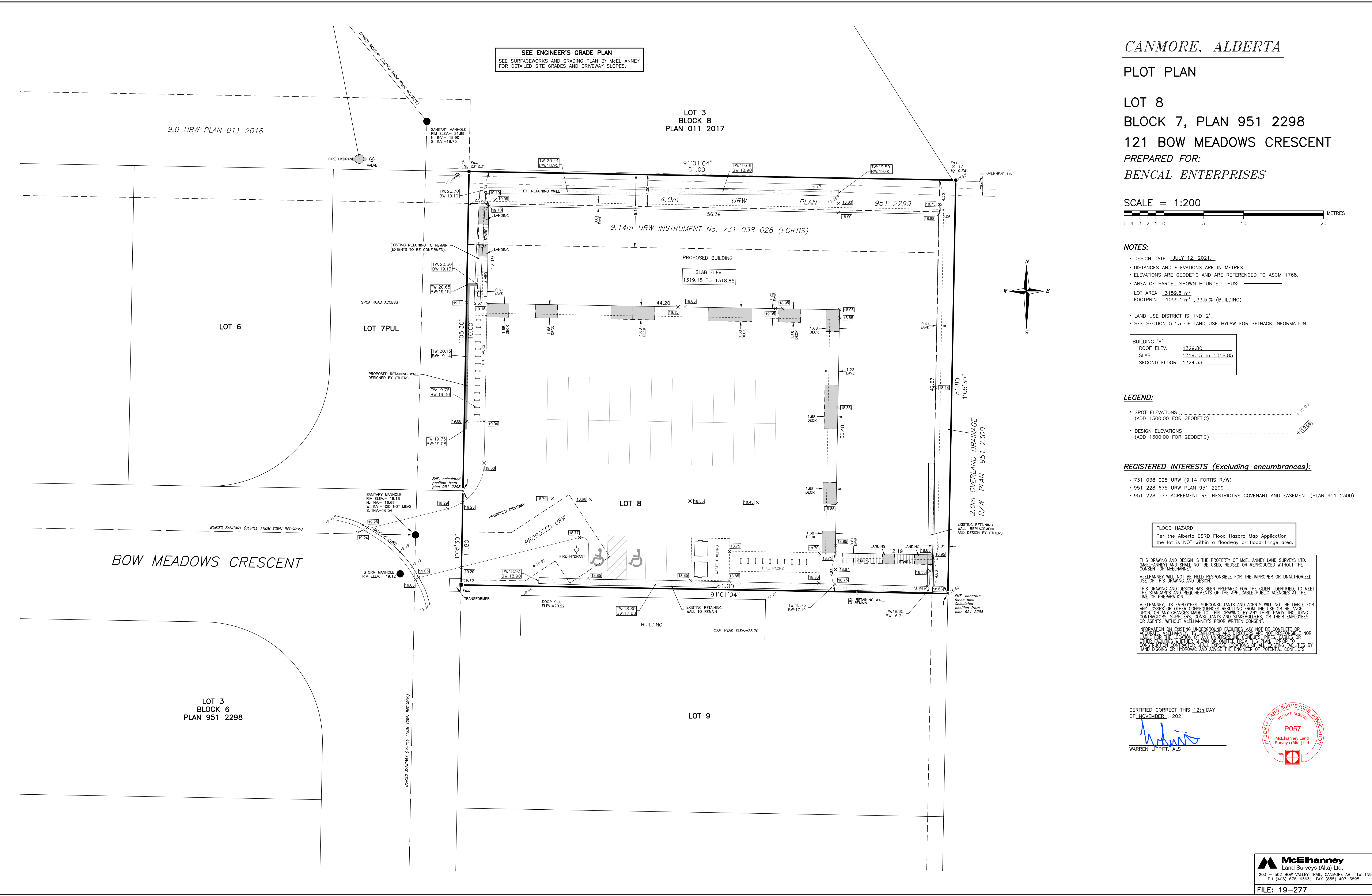
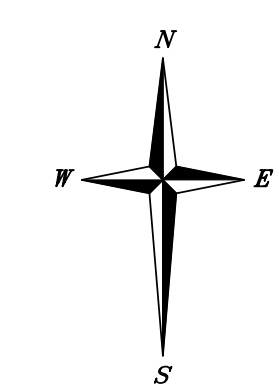
BOW MEADOWS CRESCENT

9.0 URW PLAN 011 2018

LOT 6

LOT 7PUL

LOT 3
 BLOCK 6
 PLAN 951 2298



ATTACHMENT 5 – SUSTAINABILITY SCREENING REPORT (SSR)

Sustainability Screening Report Process Impact - Offset Matrix

Summary Page

Overall Results	Impact	
		%
Economic Sustainability	0.00	0.00
Environmental Stewardship	-8.75	59.76
Social Fabric	-5.89	40.24
Total Impact	-14.64	

Offset	%	
		%
2.10		4.01
3.97		7.60
46.25		88.39
Total Offset	52.33	

Net Score 37.68

Economic Sustainability	
Income and Wages	0.00
Non-Residential Tax Assessment	0.00

Economic Sustainability	
0.00	InfraCycle Assessment
0.00	Increasing commercial assessment
0.00	New employment above median salary
2.10	New employment outside of 4 significant sectors
0.00	Floor space for Economic Development & Tourism
0.00	Percentage of local construction labour value
0.00	Economic leadership or innovation

Environmental Stewardship	
Residential Water Consumption	-0.43
Commercial Water Consumption	-0.61
Residential Solid Waste Generation	-0.31
Commercial Solid Waste Generation	-1.21
All Building Energy use and GHG emissions	-1.85
Transportation	-1.42
Infrastructure (sanitary-gravity)	-0.41
Infrastructure (sanitary-pressure)	-1.49
Environmentally Sensitive Lands	-0.47
Land Consumption	0.00
Efficient Residential Land Use	0.00
Efficient Commercial Land Use	0.00
Efficient Industrial Land Use	0.00
Efficient Mixed Use Residential Land Use	0.00
Efficient Mixed Use Commercial Land Use	0.00
Metres of trails / capita	-0.55
Metres of new roads to service development	0.00

Environmental Stewardship	
0.00	Residential / commercial mix of uses
1.17	Higher density than current levels
0.00	Access to community services from <u>residences</u>
0.00	Access to services from the <u>commercial</u> site
0.70	Water saving measures
0.70	Rain water harvesting system or infiltration
0.00	Construction waste diversion rate
0.00	Long-term, operating waste diversion
0.00	Parking stalls are un-assigned
0.70	Bike parking of adequate quality
0.00	Average size of the dwellings
0.00	LEED Certified
0.00	Built Green Certified
0.00	Other green building certification programs
0.00	Commercial energy consumption reduction
0.00	Residential energy consumption reduction
0.70	Environmentally sensitive land protection
0.00	Minimize density adjacent to sensitive lands
0.00	Reuse an existing contaminated site
0.00	Environmental leadership or innovation

Social Fabric	
Affordability of Market housing (in relation to median income)	0.00
PAH Housing	-1.16
Seniors Housing	-0.93
Employee Housing	-0.69
Childcare spaces	-0.92
Library	-0.37
Food Bank Usage	-0.74
Social Assistance Payments	-0.72
Crimes Against Persons and Property	-0.37

Social Fabric	
0.00	Units of perpetually affordable housing
0.00	Cash contribution towards PAH
42.05	Bedrooms of employee housing
1.40	Bedrooms for employees earning < median income
0.00	Cash contribution towards employee housing
0.00	Units of seniors housing
2.80	Percentage of the employees housed
0.00	Employees rental assistance 10% below market levels
0.00	Percentage of site ares for social interaction
0.00	Reuse an existing historic property or building
0.00	Exceed minimum municipal reserve requirements
0.00	Accessible recreation or cultural facilities or programs
0.00	Contribution to recreation facilities
0.00	Support school enrollment
0.00	Support for current childcare facilities
0.00	Support for cultural establishments
0.00	Support for other non-profit community organizations
0.00	Unique supports for community programming
0.00	Support for special events
0.00	Public art component
0.00	Public consultation program
0.00	Social leadership or innovation

ATTACHMENT 6 – SCHEDULE A – CONDITIONS OF APPROVAL

SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20210301

LAND USE DISTRICT: IND 2 DISTRICT

EMPLOYEE HOUSING (12 UNITS)

APPROVED USE(S): WAREHOUSE (6 UNITS)
CONTRACTOR SERVICE AND REPAIR (4 UNITS)
LIGHT MANUFACTURING (2 UNITS)

APPROVED VARIANCE(S): RELAXATIONS TO:
EMPLOYEE HOUSING REQUIREMENTS,
ON-SITE AMENITY REQUIREMENTS AND
PEDESTRIAN PATHWAY REQUIREMENTS

LEGAL ADDRESS: LOT 8, BLOCK 7, PLAN 9512298

APPROVED VARIANCES

1. To Section 1.11.0.2b of Land Use Bylaw 2018-22, to allow for the developer to not construct or pay for the construction of a pedestrian walkway system to serve the development.
2. To Section 5.3.6.1b of Land Use Bylaw 2018-22, to allow for Employee Housing in space that could be reasonably used for industrial purposes.
3. To Section 5.3.6.1d of Land Use Bylaw 2018-22, to allow for Employee Housing that may constrain any future permitted or discretionary, industrial uses from developing on the site or on surrounding areas.
4. To Section 5.3.6.1e of Land Use Bylaw 2018-22, to allow for Employee Housing that may unduly interfere with existing and any potential industrial development in the area.
5. To Section 8.7.01 of Land Use Bylaw 2018-22, to allow for the development to not include a Children's playground or other outdoor recreational amenities.

STANDARD CONDITIONS:

1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
 - a. construct or pay for the construction of the municipal improvements, infrastructure and services required by the development, which may include but shall not be limited to:
 - Transportation;
 - Water;
 - Sanitary;

- Storm; and
 - Fire
- b. pay the off-site levies imposed by the Off-Site Levy Bylaw; and
 - c. provide security in accordance with the Engineering Design and Construction Guidelines (EDCG) to ensure the terms of the Development Agreement are carried out.
2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
 3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements as outlined in the Engineering Design and Construction Guidelines (EDCG).
 4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw and ensure all tree protection measure are appropriately put in place prior to the development of the site, where determined necessary by the Town of Canmore Parks Department.
 5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
 6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
 7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
 8. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Emergency Services.
 9. All signs shall require a separate development permit.
 10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

SPECIFIC CONDITIONS:

1. The applicant shall provide security to the Town of Canmore to ensure the completion of the project, in the form of cash or an irrevocable Letter of Credit. The amount should be equal to or no less than 1.25 (125%) of the estimated project costs for the project for landscaping and all hard surfacing, paving; and, site servicing; both to the satisfaction of the Town. The Letter of Credit shall be supplied at the time of the signing of the Development Agreement, and shall be in a format acceptable to the Town of Canmore.
2. The Developer shall pay off site levies according to the approved bylaw adopted by Council at the time of the signing of the Development Agreement. The Development Agreement shall specify the manner of the payment of these monies and all other relevant fees and contributions as determined by approved Town of Canmore policy(ies).
3. The Developer shall follow their approved Construction Management Plan. The construction management plan submitted shall be followed through all stages of construction. If any problems

arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.

4. The Developer is required to provide a minimum of **13** parking stalls, **1** loading bay, **28** long-term bicycle parking stalls, and **13** short-term bicycle parking stalls, generally as shown on the approved plans, according to the following:

Method of Calculation

- Automobile Parking

Warehouse:	Minimum of 0 Stalls
Contractor Service and Repair:	Minimum of 0 Stalls
Light Manufacturing:	Minimum of 0 Stalls

Employee Housing: 1.00 stalls/1 bedroom unit * 12 units = 12 stalls

Visitor Parking Employee Housing: (0.15 stalls/ unit) 12 * 0.15 = 1.80

Total Minimum Parking Stalls Required = 13.80 = 13 stalls

Total Provided Stalls = 22 stalls

- Bike Parking

Short-term = 13 Stalls

Short-term stalls that have been provided for = 14

Long-Term = 28 Stalls

Long-term stalls that have been provided for = 28

- Loading Bays

The Developer shall provide 1 loading bay in the location indicated in the approved plans.

Total Provided Loading Bays = 1

All on-site parking stalls, and loading spaces shall be graded and paved to dispose of drainage to the satisfaction of the Development Officer.

5. The Developer shall provide landscaping in accordance with the approved landscaping plan.
6. As per 1.14.1.6 of the Town's Land Use Bylaw, the Developer agrees to comply with the requirements for enhanced green construction.
7. Commitments expressed in the Developer's Sustainability Screening Report become conditions of approval upon the signing of this Schedule A and will be included in the development agreement.
8. No landscaping material that is combustible is permitted between 0.0m and 1.5m from the building.

9. Unless permission is granted by the Town of Canmore, snow clearing shall be handled on-site. No snow shall be pushed onto public land.
10. The Developer shall screen any mechanical equipment or vents to the satisfaction of the Development Officer.
11. All industrial uses, now and in the future, shall operate in accordance with Section 5.3.5.5 of Land Use Bylaw 2018-22.
12. The metal roof shall be selected with standing seams, intermediate control creases and fabricated of a sufficiently heavy gauge of metal to control deformation.
13. The Developer understands and agrees to, that should the design details for a free-standing sign on the site show non-compliance with the Town's Land Use Bylaw, a freestanding sign on the site may not be permitted or may need to be altered to meet the Town of Canmore's Land Use Bylaw. The Town of Canmore is under no obligation to approve or grant variances to accommodate a free-standing sign on the site. The Developer prefers to defer these details to a later stage of development at their own risk.
14. In order to protect the adjacent Habitat Patch, no exterior lighting is permitted on the rear sides of the building.

Prior to the Release of the Development Permit Conditions

15. **Prior to the issuance of a Development Permit**, the developer shall provide to the Town plans showing an accessible on-site sidewalk to connect between Bow Meadows Crescent and the building entrances. **This shall be to the satisfaction of the Engineering Department.**
16. **Prior to the release of the Development Permit**, the Developer shall provide an updated Plot Plan showing the revised deck for Unit 7, geodetic elevation of the roof, and any other discrepancies contained in the approved plans for the development, **to the satisfaction of the Development Officer.**
17. **Prior to the release of the Development Permit**, the Developer shall pay the following variance fees:
 - Five (5) approved variances:
 - Discretion limited in Land Use Bylaw 0 @ \$370.00 = \$0
 - Discretion not limited in Land Use Bylaw 5 @ \$200.00 = \$1,000.00
 - TOTAL FEES PAYABLE: \$1,000.00**

Prior to the Release of the Building Permit and Commencement of Construction Conditions

18. Access to the development site must be designed to meet the requirements of the EDCG and incorporate a 2.5m concrete sidewalk, to the satisfaction of the Engineering Department. The proposed access point must tie in with the access (across a PUL) for the neighboring property at 123 Bow Meadows Crescent. Engineering drawings, to be prepared by the applicant, will need to

reflect how accesses for the two sites will tie into Bow Meadows Crescent (including a swept path analysis for both accesses) subject to review and approval by the Town. **A shared access agreement will be required for any portion of driveway that serves both sites, prior to the issuance of a building permit.** The Town of Canmore is the owner of the PUL across which 123 Bow Meadows Crescent is accessed. An access easement for 123 Bow Meadows Crescent is registered on title. The applicant shall be responsible for engagement with the owners of 123 Bow Meadows Crescent and obtaining written confirmation of their permission to proceed with construction, prior to the issuance of a building permit.

19. **Prior to the issuance of a Building Permit**, the developer shall provide to the Town plans showing indoor or fully secured (enclosed) bicycle parking for bicycle parking stalls associated with the employee housing. **This shall be to the satisfaction of the Engineering Department.**
20. **Prior to the issuance of a Building Permit**, the developer shall provide to the Town plans showing bicycle parking areas that shall include stall dimensions and rack information, labelled in metric units, and as per the requirements of the Town's EDCG. **This shall be to the satisfaction of the Engineering Department.**
21. **Prior to the issuance of a Building Permit**, the developer shall provide details of the bicycle shelter to the Town that meet the requirements of the Town's EDCG. **This shall be to the satisfaction of the Engineering Department.**
22. **Prior to the issuance of a Building Permit**, the developer shall provide to the Town plans showing details for the rolled curb separation for bicycle parking areas. **This shall be to the satisfaction of the Engineering Department.**
23. **Prior to the issuance of a Building Permit**, the developer shall provide to the Town plans showing curb ramps between barrier free parking stalls, and transitions to the nearest sidewalk connection points. **This shall be to the satisfaction of the Engineering Department.**
24. **Prior to the release of the Building Permit**, the Developer shall provide a pre-construction energy report estimating the energy efficiency of the development using the current NECB and in alignment with Condition of approval #6.
25. **Prior to the release of the Building Permit**, the Developer shall submit addressing in accordance with the Town's Civic Addressing Protocol.

Prior to Occupancy and Operation Conditions

26. **Prior to occupancy**, signage shall be installed for the loading zone **to the satisfaction of the Development Officer.**



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1
www.canmore.ca

27. **Prior to occupancy**, the Developer shall provide evidence that enhanced green construction has been achieved **to the satisfaction of the Development Officer**.

Advisory Conditions

28. Approval from the Development Authority does not supersede or void any encumbrances registered on the title of the property. The applicant is solely responsible for the review and discharge of or update to any encumbrances registered on the title of the property (such as that by FORTIS) that affects the approved development.

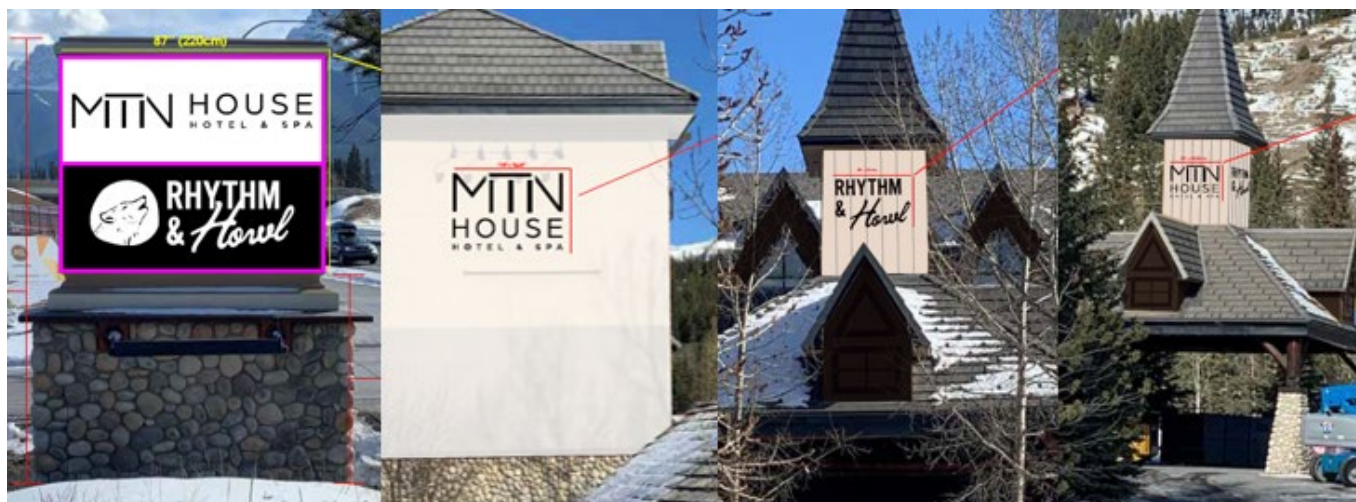
Signature
CHAIR, CANMORE PLANNING COMMISSION

Date

IS A NOTICE POSTING REQUIRED: **YES**

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	July 5, 2023
PROPOSED DEVELOPMENT:	1 Freestanding Sign 1 Flush-mounted sign 3 Individual Letter Signs
APPLICATION NUMBER:	PL20230111
LEGAL DESCRIPTION:	LOT 1, BLOCK 17, PLAN 971 1512
CIVIC ADDRESS:	1 Silvertip Trail
CURRENT USE(S):	Visitor Accommodation
APPLICANT:	Lonnie Tipler - CanSign
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: <ul style="list-style-type: none">• SECTION 9 Signage• SECTION 14.11 Silvertip Trail DC District [Bylaw 09-99]

EXECUTIVE SUMMARY

The application proposes the addition of one (1) freestanding sign, and four (4) individual letter signs. The signage generally replaces existing signs of a previous business that occupied the premises. The applicant is requesting a number of variances to the Land Use Bylaw (LUB), which include sign area variance, orientation variance, letter height variance, and quantity variance. Due to the location of the building in relation to the property boundaries, and the re-purposing nature of an existing freestanding sign, Administration recommends approval of the requested variances.

The Silvertip Trail Direct Control District (DC District) directs that the Canmore Planning Commission (CPC) is the development authority for this district.

BACKGROUND

The Town of Canmore received an application for the addition of signs on Lot 1, Block 17, Plan 971 1517. The parcel is located at 1 Silvertip Trail and is designated Silvertip Trail Direct Control District [Bylaw 09-99] – see Attachments 1 and 2. The purpose of this application is to provide business identification signage on the existing building and on the existing freestanding sign.

EXISTING SITE

The subject site is the former “Holiday Inn” visitor accommodation site. The existing use is being continued under new ownership and the new “MTN House” branding. The site is bound by Silvertip Trail to the north and west, Palliser Trail to the south-southwest, and the future Canmore firehall to the east. The proposed signage is replacing the previous business signage on the property.

BYLAW CONFORMANCE/VARIANCE DISCUSSION

Signs are a listed discretionary use within the DC District and are defined in the LUB as:

Sign means a device, structure, or fixture intended for the advertising of, or calling attention to, any person, business, matter, object, event, or activity.

Development Authority

Section 14.11.9 of the LUB confirms that CPC is the Development Authority for this DC District.

Proposal Details

The subject application proposes two (2) different sign types: Freestanding Sign and Individual Letter Sign, which are defined in the LUB as follows:

- *freestanding sign means a Sign that is structurally independent and is not attached to any other building. Freestanding signs are generally mounted on a foundation, one pole or suspended between two or more poles.*
- *individual letter sign means a Sign that is made up of individual letters that are affixed to a surface (usually the building walls) which functions as the sign face.*

The following sections provide Administration’s assessment of the proposed signs that are depicted in Attachment 3.

I. Freestanding Sign

The subject application proposes to repurpose an existing freestanding sign structure on the property. The sign is directed towards Palliser Trail and is located in the southwest corner of the subject site. Due to the repurposing nature, the application is considered a face change to the existing structure, and not an application for a new freestanding sign structure. As such, Administration's assessment is based on the face area of the sign and the landscaping requirements for freestanding signs, rather than the specific standards of the sign structure itself.

Variance to Dimension Regulation

Section 9.9.3.3 of the LUB permits a sign face area of 2.0 m² for a freestanding sign. The previous business sign layout permitted the logo and individual letters to be in compliance with this requirement. However, due to the unconventional nature of refacing this freestanding sign, a 4.0 m² sign face is being proposed. This is due to the sign structure containing a centrally located open space - see Attachment 4 images. Administration notes that if the sign structure had a full flush surface, the addition of the proposed raised letters and logo would result in a sign area of almost exactly 2.0 m², which complies with the dimension regulations. Therefore, Administration has no concerns with the requested variance and recommends approval.

Landscaping Requirement

Despite the application proposing the repurposing of an existing freestanding sign structure, Administration notes that landscaping standards for this freestanding sign have not been met. The LUB landscaping standards for signage state the following:

9.9.1.1 The structure shall have a minimum of 2.0 m wide landscaped area around all sides of the Sign base, except for when the structure height is less than 1.0 m from grade. [2020-16]

9.9.1.2 The landscaping shall integrate with the design and landscaping of the site, and shall include one or more of the following: rocks, mulch, or non-wildlife attractant plants.

The applicant has submitted a proposed landscaping plan to bring the sign into compliance with these requirements – see Attachment 5. However, administration emphasizes that the proposed landscaping is for the area surrounding the sign that is on private land only. Administration recommends that the landscaping plan be executed as proposed.

Encroachment Agreement

In 2020, a new road plan (Plan No. 2010618) was registered on a section of the subject parcel, abutting the Town's future firehall site. The road plan removed a section of Lot 1, Block 17, Plan 971 1512 (location of subject development) along its southern boundary. The removal of this section resulted in the existing freestanding sign encroaching 0.2 m into the road right-of-way (see Figure 1). As such, an encroachment agreement is necessary to protect the interest of the Town and the owner of the freestanding sign.

The Engineering Department has been consulted and noted no concerns with entering into an encroachment agreement. The agreement would outline that there is a mutual agreement that the subject sign is located on Town land and would outline the process for any required future removal of the sign. Administration recommends that the landowner enter into an encroachment agreement as a condition of approval.

Figure 1: Location of Existing Freestanding Sign



2. Individual Letter Sign – Building Facade

Variance to Location Regulation

The application proposes an individual letter sign to be located on the third floor of the building facade, facing Palliser Trail. Section 9.4.1.3 of the LUB explicitly states that:

9.4.1.3 An Individual Letter Sign shall either be located on either:

- a. The façade or structural awning of the main floor of the building; or*
- b. The façade of the second floor of the building where the building has been designed to incorporate signage into the architectural elements.*

If placed on the façade of the second floor of the building, the sign would be obstructed by existing mature trees, and would not be visible to the travelling public. In accordance with the definition of “sign” within the LUB, a sign is intended to advertise or call attention to a business. To achieve the purpose of a sign, a third-floor location for the proposed sign is more effective at this location. A variance to section 9.4.1.3 is required to accommodate the proposed location. Furthermore, the proposed sign would be able to take advantage of the existing light fixtures that provided lighting for the previous individual letter sign that was approved for this location. Administration has no concerns with the requested variance and recommends approval.

Variance to Letter Height Regulation

Section 9.4.2 of the LUB provides specific letter height limitations for individual letter signs:

9.4.2.4 For Signs that are located on a building that is further than 3.0 m from the front property line, the following apply:

- a. The first letter of a word may be a maximum height of 0.4 m*
- b. The second and additional letters of a word may have a maximum height of 0.3 m.*
- c. A word that is capitalised may have a maximum height of 0.3 m.*

The restrictions are intended to maintain consistency across different businesses, and to maintain a reasonable scale that results in cohesive and appealing signage. The proposal requests variances to all three (3) individual letter signs as follows:

“HOUSE” requesting a letter height of 0.48 m, resulting in a 60% variance request to letter height.

The sign area of signage located on buildings that are setback at least 3 m from the property line is up to 7.5 m². The proposed sign is 5.3 m². To accommodate the flexibility of larger sign areas for buildings that are setback farther, there needs to be consideration to accommodate proportionate letter heights. Administration has no concerns with the requested variance and recommends approval.

Variance to Highway Provision

Previous signage located at the proposed individual letter sign location has received variances to section 14.11.5.4 of the LUB. Section 14.11.5.4 of the DC district stipulates: *signage shall not be oriented or legible from the Trans-Canada Highway.*

Although legible from the Trans-Canada Highway, Administration finds that multiple factors should be considered in support of the proposed sign. The building is located approximately 130 metres from the closest northbound highway lane. The photos in Attachment 4 demonstrate that visibility of the sign is interrupted due to the terrain and existing trees. The proposed sign is also smaller than the maximum permitted sign along this business frontage and is not significantly larger than previous signage at this location. Administration finds that the impact of this highway-oriented sign is insignificant. Therefore, Administration has no concerns with the requested variance and recommends approval.

3. Individual Letter Signs (x3) – Lobby Entrance Tower

Variance to Letter Height Regulation

The subject application proposes three (3) individual letter signs that are to be mounted on three sides of the tower that is located over the hotel lobby entrance. The signage is consistent with the location requirements, as it is incorporated into the architectural elements. However, the proposal is non-compliant with the LUB letter height standards for flush-mounted and individual letter signs, which states:

9.4.2.4 For Signs that are located on a building that is further than 3.0 m from the front property line, the following apply:

- a. The first letter of a word may be a maximum height of 0.4 m*
- b. The second and additional letters of a word may have a maximum height of 0.3 m.*
- c. A word that is capitalised may have a maximum height of 0.3 m.*

The regulations are intended to maintain consistency across different businesses, and to maintain a reasonable scale that results in cohesive and appealing signage. By incorporating the signage into the available space on the tower, the proposal requests variances to all three (3) individual letter signs as follows:

“HOUSE” requesting a letter height of 0.304m, resulting in a 1.3% variance request to letter height.
“RHYTHM” requesting a letter height of 0.38m, resulting in 26.7% variance request to letter height.
“H”owl requesting a letter height of 0.71m, resulting in a 78% variance request to letter height.
H”owl” requesting a letter height of 0.46 m, resulting in a 53% variance request to the letter height.

The sizing of the letters results in well designed and well incorporated signage within the existing architectural elements of the tower. The variances are requested for aesthetic purposes. The location of this signage is in the centre of the parcel, more specifically the parking area of the parcel and is mainly directed towards visitors already located on the subject property. Administration notes that the closest sign that could be visible from the street will be approximately 40 metres removed from the driving lane. Given that there are no other adjacent businesses to the subject site, consistency and context of signage is not an issue for this application. Administration has no concerns with the requested variances and recommends approval.

Variance to Quantity of Individual Letter Sign Regulation

Section 9.4.3.1 of the LUB limits the number of individual letter signs to one per frontage.

The applicant proposes one (1) individual letter sign along the southwest façade of the building, and one (1) individual letter sign on the tower above the hotel lobby entrance. This exceeds the maximum of one (1) sign per frontage. The building is located on a large lot, with two street frontages. Although the proposed signs are facing the same frontage, the existing mature trees limit the signs to be seen simultaneously from multiple locations along the southwest boundary. The signs are also of significantly different sizes, avoiding repetition of the exact same sign on the same frontage. Administration recommends approval of the variance to permit both south-west facing signs.

SUBMITTED COMMENTS

Sign development permit applications do not require a Notice of Application posting. No comments were received at the time of writing this report.

OPTIONS FOR CONSIDERATION

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

The Planning and Development Department recommends that the Canmore Planning Commission **APPROVE** PL20230111, subject to the conditions of approval set out in Schedule A attached to this report.

ATTACHMENTS:

1. Site Context
2. Zoning
3. Submitted Proof Pages
4. Bylaw Conformance Review
5. Landscaping Plan
6. Schedule A – Conditions of Approval



Anika Drost
Development Planner

ATTACHMENT I – SITE CONTEXT (use arrows to identify the subject site on each view)



Aerial View of Subject Site



View of site looking east from Palliser Trail.



View of site looking south from Silvertip Trail approach onto property.

ATTACHMENT 2 – ZONING – SUBJECT SITE WITHIN DC 09-99



If approved, your artwork will be used exactly as pictured. This document will be considered correct over all previous conversations, instructions, or earlier revisions. Please confirm it is correct in every detail, including spelling and punctuation if applicable. Slight color differences are likely, due to different print and display processes.



147.25'
374cm

87" (220cm)

68.5"
174cm

87"x 71.5" 220cm x 181.65cm 3.9m2
 3/4" black painted medex backer
 raised text and logo
 raised medex graphics with digital print
 raised black border

height of M | 11.3" (28.7cm)

height of R 9" (22.8cm)

height of H 15.8" (40.1cm)

quantity x 2 (single sign with 2 sides)



This colour represents a raised border.
The colour of the border will be black.

Client: MTN HOUSE - By BASECAMP			WO#: 18419
Date: 9 Mar 2023			Version: 1
Description: Sign package			Pages: 1 of 13
Drawn by: Dylan Smith			71
File path: S:\Sign Shop files Mar 11 - 09 A\Base Camp parent directory\MTN House\18419 sign package			

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ARTWORK PROOF

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110" x 74.65" 279.4cm x 189.6cm 5.3m²
3/4" medex
individually cut/painted letters
Matthews paints

height of **M** **37.5" (95.25 cm)**

height of **H** **19" (48.26 cm)**

height of **H** **6" (15.24 cm)**

quantity x1

Client: MTN HOUSE - By BASECAMP			WO#: 18419
Date: 9 Mar 2023			Version: 1
Description: Sign package			Pages: 7 of 13
Drawn by: Dylan Smith			72
File path: S:\Sign Shop files Mar 11 - 09 A\Base Camp parent directory\MTN House\18419 sign package			

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ARTWORK PROOF

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69" x 47" 175.26cm x 119 cm 2.08m²
individually cut and painted 3/4" medex
Matthews paints

height of **M** **23.5" (59.69 cm)**

height of **H** **12" (30.4 cm)**

height of **B** **3.7" (9.3 cm)**

clearance **400" (1016 cm)**

quantity x **2**

Client: MTN HOUSE - By BASECAMP			WO#: 18419
Date: 9 Mar 2023			Version: 1
Description: Sign package			Pages: 9 of 13
Drawn by: Dylan Smith			73
File path: S:\Sign Shop files Mar 11 - 09 A\Base Camp parent directory\MTN House\18419 sign package			

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66" x 45" 167cm x 114 cm 1.9m²
individually cut and painted 3/4" medex
Matthews paints

height of **R** **15" (38 cm)**

height of **&** **15" (38 cm)**

height of **H** **28" (71 cm)**

clearance **400" (1016 cm)**

quantity **x1**

Client: MTN HOUSE - By BASECAMP			WO#: 18419
Date: 9 Mar 2023			Version: 1
Description: Sign package			Pages: 12 of 13
Drawn by: Dylan Smith			74
File path: S:\Sign Shop files Mar 11 - 09 A\Base Camp parent directory\MTN House\18419 sign package			

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ARTWORK PROOF

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Horrel 10" (25.4cm)

Horrel 10" (27.94cm)

Horrel 18" (45.72cm)

Client: MTN HOUSE - By BASECAMP			WO#: 18419
Date: 9 Mar 2023			Version: 1
Description: Sign package			Pages: 10 of 13
Drawn by: Dylan Smith			75
File path: S:\Sign Shop files Mar 11 - 09 A\Base Camp parent directory\MTN House\18419 sign package			

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ATTACHMENT 4 - BYLAW CONFORMANCE REVIEW – FREESTANDING SIGN



REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
SECTION 9.1.2 MATERIAL	<ul style="list-style-type: none"> - PAINTED OR STAINED WOOD, STONE, PAINTED OR NONFERROUS METAL OR WEATHERED STEEL - COMPOSITE WOOD MATERIALS AND EXTERIOR GRADE PLYWOOD MAY BE USED WHERE SIGN HAS RELIEF 	COMPOSITE WOOD - MEDEX	No
SECTION 9.1.3 RELIEF	SHOULD INCORPORATE RELIEF	RAISED LETTERS	No
SECTION 9.1.5 LIGHTING	SHALL NOT BE ILLUMINATED WITH LIGHT ATTACHED TO REAR OF EACH INDIVIDUAL LETTER DIRECTED TOWARDS SIGN FACE AREA; SIGN FACE AREA MAY BE ILLUMINATED; ADHERENCE TO LIGHTING PROVISIONS	NO LIGHTING PROPOSED;	No
SECTION 9.9.1.1 AND SECTION 9.9.1.2 LANDSCAPING	MINIMUM 2.0M WIDE LANDSCAPING AREA AROUND ALL SIDES OF SIGN	LANDSCAPING AS PER LANDSCAPING PLAN	No
SECTION 9.9.3.3 AREA	MAXIMUM SIGN AREA SHALL BE 2.00M2	4.00M2	YES

ATTACHMENT 4 - BYLAW CONFORMANCE REVIEW – INDIVIDUAL LETTER SIGN



REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
SECTION 9.1.2 MATERIAL	<ul style="list-style-type: none"> - PAINTED OR STAINED WOOD, STONE, PAINTED OR NONFERROUS METAL OR WEATHERED STEEL - COMPOSITE WOOD MATERIALS AND EXTERIOR GRADE PLYWOOD MAY BE USED WHERE SIGN HAS RELIEF 	COMPOSITE WOOD	No
SECTION 9.1.3 RELIEF	SHOULD INCORPORATE RELIEF	RAISED LETTERS	No
SECTION 9.1.5 LIGHTING	LIGHTING SHALL ILLUMINATE THE SIGN FACE AREA ONLY	EXISTING GOOSENECK LIGHTING	No
SECTION 9.4.1.1 LOCATION 1	SHALL BE LOCATED ON THE BUILDING FRONTAGE DIRECTLY ADJACENT TO THE BUSINESS	ALONG FRONTAGE	No
SECTION 9.4.1.3 LOCATION 2	SHALL BE LOCATED ON THE FAÇADE OR STRUCTURAL AWNING OF THE MAIN FLOOR; OR ON THE 2 ND FLOOR FAÇADE WHERE BUILDING WAS DESIGNED TO INCORPORATE SIGNAGE INTO ARCHITECTURAL ELEMENTS	LOCATED ON THIRD FLOOR	YES, VARIANCE TO PERMIT 3RD FLOOR SIGN
SECTION 9.4.2.6 SIGN DIMENSION	MAXIMUM SIGN AREA OF 1.8M ² , EXCEPT WHERE FRONTAGE IS AT LEAST 9.0M WIDE = 1.8M ² PLUS 0.1M ² PER 1.5M OF FRONTAGE, TO A MAXIMUM OF 7.5M ²	5.3M ²	No
SECTION 9.4.2.6 LETTER HEIGHT	SIGN THAT IS LOCATED ON A BUILDING THAT IS FURTHER THAN 3.0M FROM THE PROPERTY LINE: 0.3M LETTER HEIGHT FOR A CAPITALIZED WORD	0.48M	Yes 60%
SECTION 9.4.3 QUANTITY	MAXIMUM OF ONE (1) INDIVIDUAL LETTER SIGN PER FRONTAGE	1X SIGN – SOUTHWEST FACING 1 ST PROPOSED SIGN	No
SECTION 14.11.5.4 ORIENTATION	SIGNAGE SHALL NOT BE ORIENTED OR LEGIBLE FROM TRANS-CANADA HIGHWAY	TOWARDS HIGHWAY	Yes



View heading northbound on Highway I, approaching development on the right-hand side.



View heading northbound on Highway I, closer to development.



View looking south, heading northbound on Highway I.



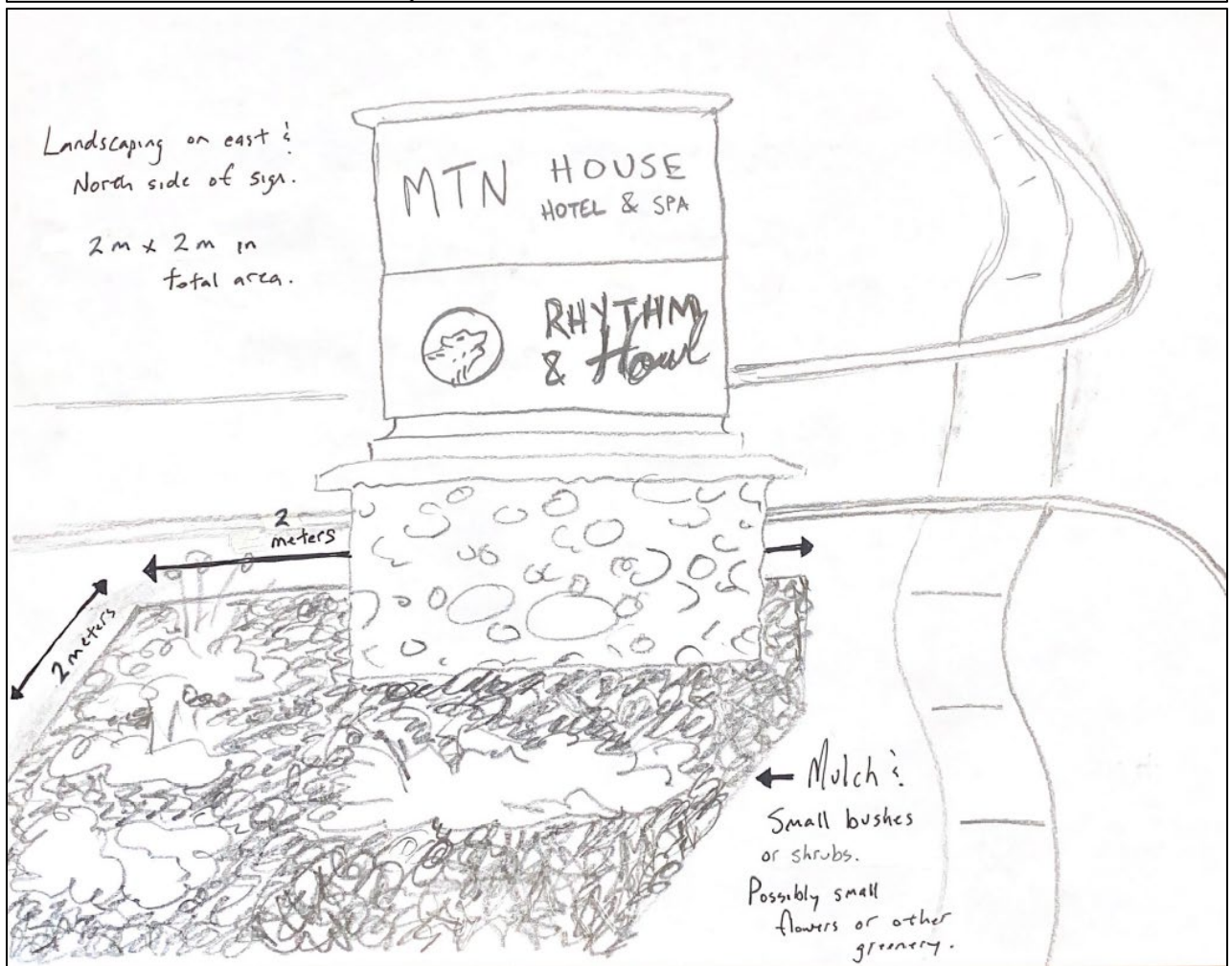
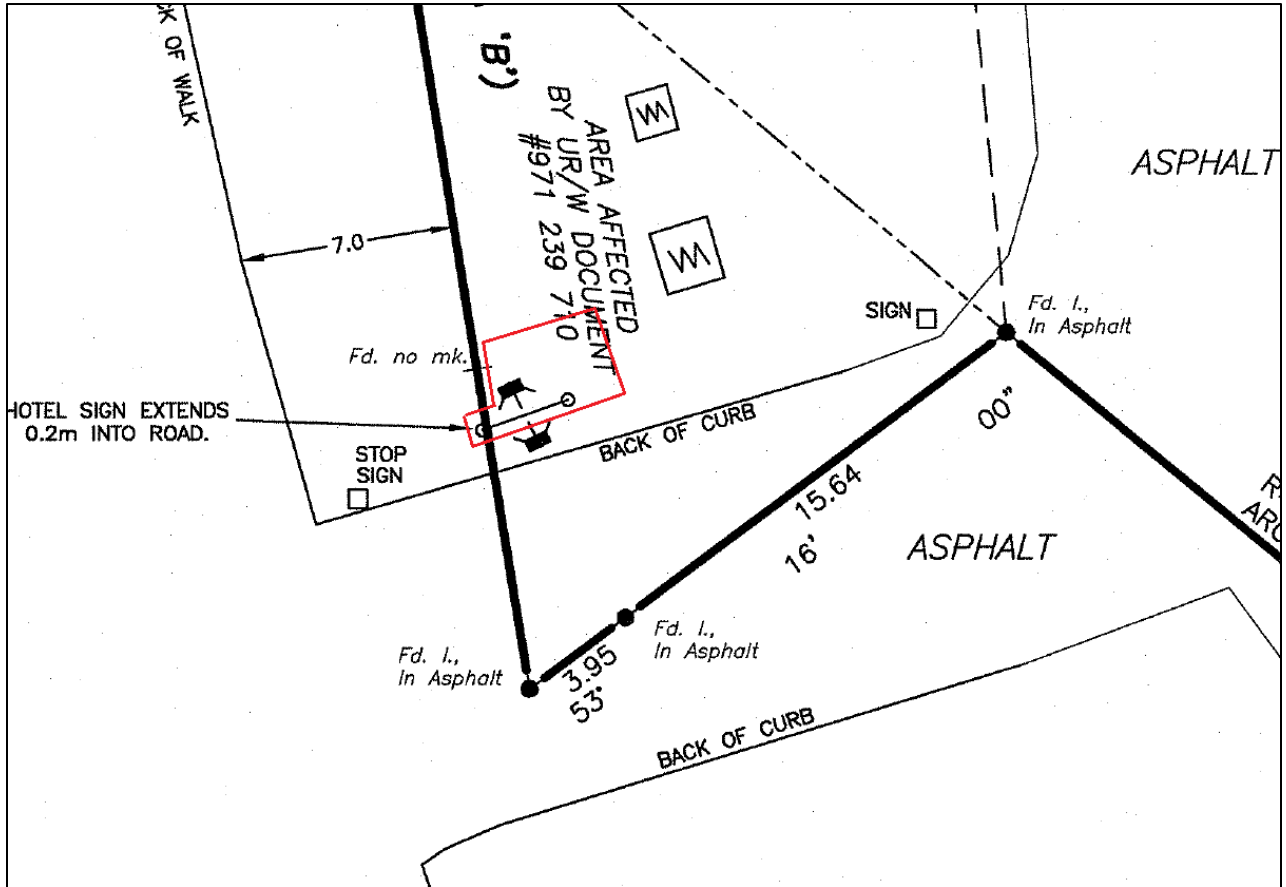
View heading southbound on Highway I, approaching development on the left-hand side.

ATTACHMENT 4 - BYLAW CONFORMANCE REVIEW – INDIVIDUAL LETTER SIGNS



REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
SECTION 9.1.2 MATERIAL	<ul style="list-style-type: none"> - PAINTED OR STAINED WOOD, STONE, PAINTED OR NONFERROUS METAL OR WEATHERED STEEL - COMPOSITE WOOD MATERIALS AND EXTERIOR GRADE PLYWOOD MAY BE USED WHERE SIGN HAS RELIEF 	COMPOSITE WOOD - MEDEX	No
SECTION 9.1.3 RELIEF	SHOULD INCORPORATE RELIEF	RAISED LETTERS	No
SECTION 9.1.5 LIGHTING	LIGHTING SHALL ILLUMINATE THE SIGN FACE AREA ONLY	NO LIGHTING PROPOSED	No
SECTION 9.4.1.3 LOCATION	INDIVIDUAL LETTER SIGNS SHALL BE LOCATED ON THE FAÇADE OR STRUCTURAL AWNINGS ON THE MAIN FLOOR; OR ON THE FAÇADE OF THE SECOND FLOOR WHERE BUILDING HAS BEEN DESIGNED TO INCORPORATE SIGNAGE INTO THE ARCHITECTURAL ELEMENTS	INCORPORATED INTO ARCHITECTURAL ELEMENTS	No
SECTION 9.4.2.6 SIGN DIMENSION	MAXIMUM SIGN AREA OF 1.8M2, EXCEPT WHERE FRONTAGE IS AT LEAST 9.0M WIDE = 1.8M2 PLUS 0.1M2 PER 1.5M OF FRONTAGE, TO A MAXIMUM OF 7.5M2	2.08M2 1.90M2	No
SECTION 9.4.2.4 LETTER HEIGHT	SIGN THAT IS LOCATED ON A BUILDING THAT IS FURTHER THAN 3.0M FROM THE PROPERTY LINE: <ul style="list-style-type: none"> - 0.4M OF THE FIRST LETTER OF A WORD - 0.3M LETTER HEIGHT FOR A CAPITALIZED WORD 	"HOUSE" - 0.304M "RHYTHM" - 0.38M "H"OWL - 0.71M H"OWL" - 0.46M	Yes 1.3% 26.7% 78% 52%
SECTION 9.4.3 QUANTITY	MAXIMUM OF ONE (1) FLUSH-MOUNTED SIGN OR INDIVIDUAL LETTER SIGN PER FRONTAGE	1x NORTH FACING – FIRST SIGN 1x NORTH EAST FACING – FIRST SIGN 1x SOUTH WEST FACING – SECOND SIGN	No No Yes
SECTION 14.11.5.4 ORIENTATION	SIGNAGE SHALL NOT BE ORIENTED OR LEGIBLE FROM TRANS-CANADA HIGHWAY	NOT LEGIBLE	No

ATTACHMENT 5 - LANDSCAPING PLAN



ATTACHMENT 6 – SCHEDULE A – CONDITIONS OF APPROVAL

SCHEDULE A
CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20230111

LAND USE DISTRICT: DC – 09-99

APPROVED USE(S): Freestanding Sign (x1)
Flush-Mounted Sign (x1)
Individual Letter Sign (x3)

APPROVED VARIANCE(S): Orientation Variance
Location Variance
Letter Height Variance
Quantity Variance
Sign Area Variance

MUNICIPAL ADDRESS: 1 Silvertip Trail

LEGAL ADDRESS: Lot 1 Block 17 Plan 971 1512

APPROVED VARIANCES

1. Variance to Section 14.11.5.4 of Land Use Bylaw 2018-22, regarding the orientation and legibility of the sign from the Trans-Canada Highway.
2. Variance to Section 9.4.1.3 of Land Use Bylaw 2018-22, regarding the location of an individual letter sign on the third floor instead of first floor.
3. Variance to Section 9.4.2.4.c of Land Use Bylaw 2018-22, regarding the letter height to allow a letter height of 0.483 m instead of 0.3 m on the individual letter sign located on the southwest building façade.
4. Variance to Section 9.4.2.4.c of Land Use Bylaw 2018-22, regarding the letter heights to allow a maximum letter height of 0.71 m instead of 0.3 m on the individual letter signs located on the tower above the hotel lobby entrance.
5. Variance to Section 9.4.3.1 of Land Use Bylaw 2018-22, regarding the quantity of individual letter signs to allow two (2) individual letter signs facing the south-west frontage.
6. Variance to Section 9.9.3.3 of Land Use Bylaw 2018-22, regarding the maximum overall sign area to allow a sign area of 4.0 m² instead of 2.0 m².

STANDARD CONDITIONS

1. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
2. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
3. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore Parks Department.
4. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
5. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Emergency Services.

SPECIFIC CONDITIONS

1. Prior to release of the Development Permit, the applicant shall enter into an encroachment agreement with the Town of Canmore and any other interested party to accommodate the existing freestanding sign, which is encroaching into Road Plan 2010618. The encroachment agreement shall be to the satisfaction of the Development Authority and registered on title immediately upon execution.

2. A 2-metre wide landscaped area shall be provided around the base of the freestanding sign. The landscaped area shall be located on private land to the north and east of the base of the sign. Landscaping shall be in general compliance with the approved landscaping plan and include one or more of the following: rocks, mulch or non wildlife-attractant plants. Landscaping shall be provided to the satisfaction of the Development Authority within (6) months of issuance of the Development Permit.

ADVISORY COMMENTS

1. The applicant shall comply with Section 9.1.4.1 of the LUB, regarding the painting of the upper portion of the existing freestanding sign structure.

 Signature
 Chair, Canmore Planning Commission

 Date

IS A NOTICE POSTING REQUIRED: **YES** **NO**