

TOWN OF CANMORE

AGENDA

Subdivision & Development Appeal Board Hearing
Council Chambers at the Civic Centre, 902 – 7 Avenue
Thursday, December 14, 2023 at 1:30 p.m.

A. CALL TO ORDER AND APPROVAL OF AGENDA

1. **Board and Administration Introductions**
2. **Approval of the Agenda for the December 14, 2023 Subdivision & Development Appeal Board Hearing**

B. APPROVAL OF MINUTES

1. **Approval of the September 7, 2023 Subdivision & Development Appeal Board Hearing Minutes**

C. APPEAL HEARING

1. **PL20230189**
Development Permit – Change of Use to Employee Housing – General Industrial District
Unit 1 Plan 0010470
200 – 130 Bow Meadows Crescent
Appeal against a refusal by the Development Officer

- (1) Introduction of Applicant
- (2) Development Authority Presentation
- (3) Applicant Presentation
- (4) Public Verbal Submissions
- (5) Public Written Submissions
- (6) Questions for Clarification
- (7) Closing Comments

D. CONCLUSION

**TOWN OF CANMORE
 MINUTES**

Subdivision and Development Appeal Board Hearing
 Council Chamber at the Canmore Civic Centre, 902 – 7 Avenue
September 7, 2023, at 2:00 p.m.

1. CALL TO ORDER

The Chairperson called the meeting to order at 2:30 p.m.

MEMBERS PRESENT

| | |
|----------------------|-----------------------|
| John McClure (Chair) | Public Representative |
| Christoph Braier | Public Representative |
| Fraser MacIver | Public Representative |
| Cheryl Hyde | Clerk |

ADMINISTRATION PRESENT

| | |
|---------------|---|
| Marcus Henry | Supervisor of Planning and Development Supervisor |
| Eric Bjorge | Development Planner |
| Lauren Miller | Manager of Planning and Development |

2. ADOPTION OF HEARING MEETING AGENDA

It was moved by the Chairperson that the agenda of September 7, 2023 be adopted as presented.

MOTION CARRIED

3. ADOPTION OF MINUTES

It was moved by the Chairperson that the Minutes of the June 23, 2023 Appeal Hearing be adopted as presented.

MOTION CARRIED

It was moved by the Chairperson that the Minutes of the July 20, 2023 Appeal Hearing be adopted as presented.

MOTION CARRIED

4. APPEAL HEARING PL20230120

APPLICATION DETAILS

Appeal against a refusal by the Canmore Development Authority of Development Permit PL20230120.

APPELLANT INTRODUCTION AND OPPORTUNITY FOR ANY OBJECTIONS

The Appellant, Leah and Ron Lechelt, identified themselves to the Board.

The Chairperson asked the Appellant if they had any objections to the Board Members present hearing the appeal. There were no objections.

The Chairperson asked the Appellants if they received a copy of the agenda package that was distributed to the Board and if they have any concerns about any of the information provided. There were additional documents in the agenda package not relevant to the appeal. Page 126 – 132. These documents will be removed from the record of submissions.

PRESENTATION OF THE STATUTORY REQUIREMENTS OF THE APPEAL

Eric Bjorge presented the application, appeal date timelines and requirements.

The Chairperson noted that the statutory requirements of the appeal had been satisfied.

The Board proceeded with the hearing.

HEARING OUTLINE

The Chairperson outlined the hearing process for all present.

There were no objections from the Appellant.

Gaye Harden spoke to a request submitted by Andrea Jung and David Burghardt to delay this hearing until October 23 or thereafter. The Board rejected the request because notice of the hearing date was provided in accordance with legislation.

ADMINISTRATION'S PRESENTATION OF THE APPLICATION AND DECISION

Eric Bjorge gave a verbal and visual presentation detailing the application and why the decision to refuse the application was made. Eric Bjorge responded to questions from the Board.

APPELLANTS PRESENTATION OF THE APPLICATION AND DECISION

The Appellant provided a verbal and visual presentation to the Board and provided a written submission. The Appellant responded to questions from the Board.

PERSONS SPEAKING IN FAVOUR OF THE APPEAL

None.

CORRESPONDENCE RECEIVED IN FAVOUR OF THE APPEAL

The following written submissions were received in favour of the appeal and are located on page 101 of the agenda package.

1. Collins, David and Tanya – Canmore residents

LATE CORRESPONDENCE RECEIVED IN FAVOUR OF THE APPEAL

1. MacSween, Michael

PERSONS SPEAKING IN OPPOSITION TO THE APPEAL

1. Harden, Gaye – resident of 626 1st Street
2. Harden, Gaye read aloud the written submission provided by Jung, Andrea and Burghardt David, owners of 628 1st Street
3. Harden, Gay read aloud the written submission provided by Lisa Downing and Shanne Leavitt

CORRESPONDENCE RECEIVED IN OPPOSITION TO THE APPEAL

The following written submissions were received in opposition of the appeal and are located between pages 85 and 133 of the agenda package.

1. Adams, Brett and Pam – visitors to 628 1st Street
2. Adams, Levi – visitor to 628 1st Street
3. Blazo, Adrienne
4. Burghardt, David – owner of 628 1st Street
5. Burghardt, Tim – visitor to 628 1st Street
6. Harden, Gaye – resident of 626 1st Street (2 submissions)
7. Jung, Andrea and Burghardt, David – owners of 628 1st Street
8. Jung, Andrea – owner of 628 1st Street
9. Lougheed, Dave – owner of 634 1st Street
10. Lougheed, Dave and Dana – owners of 634 1st Street

LATE CORRESPONDENCE RECEIVED IN OPPOSITION OF THE APPEAL

1. Downing, Lisa and Leavitt Shanne – residents of 621 2nd Street
2. Potter, Clifton – resident of 617 – 1st Street

PERSONS SPEAKING NEITHER IN FAVOUR NOR IN OPPOSITION OF THE APPEAL

CORRESPONDENCE RECEIVED NEITHER IN FAVOUR NOR IN OPPOSITION REGARDING THE APPEAL

The following written submissions were received neither in favour nor in opposition of the appeal and are located on pages xx of the agenda package.

1. Allweather Builders
2. Russell and Russell Design Studios (Alasdair Russell)

Meeting break 4:25 – 4:30 p.m.

COMMENTS/CLARIFICATION BY ADMINISTRATION

Lauren Miller, Manager of Planning and Development, and Marcus Henry, Supervisor of Planning and Development, provided comments and clarification and responded to questions from the Board.

COMMENTS/CLARIFICATION BY THE APPELLANT

Appellant Leah and Ron Lechelt provided comments and clarification and responded to questions from the Board.

ADDITIONAL COMMENTS

The Chairperson gave leave to public member Gaye Harden to provide further comments.

FAIR HEARING

The Chairperson asked if the Appellant felt that they had received a fair hearing.

The Appellant agreed that they had.

The Chairperson asked if the Applicant felt that they had received a fair hearing.

The Applicant agreed that they had.

The Chairperson announced this portion of the hearing closed and that, in accordance with the provincial legislation, the Board is required to hand down its decision within 15 days from today's date. No decision is binding until the Board issues a written decision.

5. ADJOURNMENT

The Chairperson moved that the hearing of September 7, 2023 be adjourned at 4:46 p.m.

MOTION CARRIED
UNANIMOUSLY

John McClure, Chair

Cheryl Hyde, SDAB Clerk

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated. The submission of scanned or photographed application forms with handwritten information may slow the processing of your application. **All applications shall be submitted electronically via email to planning@canmore.ca.**

| PROPERTY INFORMATION | | | |
|---|----------|----------------|---|
| Municipal Address 130 Bow Meadows Crescent (Unit 1) | | | |
| Legal Address 2 | 6 | 9512298 | Existing Use of Land/Building General Industrial Uses |
| Lot/Unit: | Block: | Plan: | |

| DEVELOPMENT INFORMATION | | | |
|---|---|----------------------------|--|
| Please indicate which checklist you have referenced to form this submission: Change of Use | | | |
| Proposed Development/Use(s) To allow the discretionary use of employee housing on the upper floor of the existing industrial unit. | | | |
| Total Proposed Gross Floor Area (m ²) 178 | Number of Residential Units 1 | Number of Commercial Units | Property Size (Hectares). New construction <u>only</u> . |
| Will the project require a future Subdivision or Condominium Plan to create separate unit titles? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> | | | |

| PUBLIC TREE DISCLOSURE | |
|---|--|
| Is there existing Town Trees (Public Tree) within 6m of the construction area, this would include the "Road Right-of-Way" between the private property line and roadway? | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| If yes, a Tree Protection Plan Agreement is required to be submitted as part of this application. For more information on the requirements of submitting your Tree Protection Plan Agreement or obtaining a Tree Assessment for the removal of a Town Tree, please contact the Town of Canmore Parks Department at 403.678.1599 or Parks@canmore.ca . | |
| Additional information regarding the Town of Canmore Tree Protection Bylaw can be found on the Town Website . | |



| APPLICANT INFORMATION | |
|--|------------------------------|
| Name Michelle Ouellette | Phone 403 621 1446 |
| E-mail mouellette@mcelhanney.com | |
| Mailing Address 203 – 502 Bow Valley Trail Canmore, AB T1W 1N9 | |

| OWNER INFORMATION (if different than applicant) | |
|---|------------------------------|
| Name A3K Corporation | Phone 403 389 2673 |
| E-mail derek@glacierholdings.ca | |
| Mailing Address 220 Bear Street, Banff AB | |

DECLARATION

I/We declare that I am/We are the owner of the land described above or authorized to act on behalf of the registered owner(s). I/We have reviewed all of the information supplied to the Town with respect to an application and it is true and accurate to the best of my/our knowledge. I/We understand that the Town of Canmore will rely on this information in its evaluation of the application. Any decision made by the Town of Canmore based on inaccurate information may be cancelled at any time. I/We give authorization for electronic communication, using the email provided on this application form.

By signing below, I/We confirm to have carefully read this declaration and agree to the terms within.

| | |
|---|-----------------------------|
| Signature of Applicant  | Date June 6, 2023 |
| Signature of Owner  | Date June 6, 2023 |

FOIP Notification: This personal information is being collected under the authority of the Municipal Government Act (MGA) and in the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the Municipal Records Officer at municipal.clerk@canmore.ca. **Please note, the Municipal Clerk's Office should only be contacted regarding FOIP inquiries.**

PAYMENT

Until the applicable permit fees have been paid in full to the Town of Canmore, the Town will not commence the review of your application. Town staff will contact you upon receipt of the application to arrange for the applicable fee(s) to be paid.



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1

NOTICE OF DECISION

THIS IS NOT A DEVELOPMENT PERMIT

| | |
|--------------------------------|------------------------------------|
| DEVELOPMENT PERMIT No.: | PL20230189 |
| APPLICANT NAME: | McElhanney (Jill Hofer) |
| MUNICIPAL ADDRESS: | Unit 1 – 130 Bow Meadows Crescent |
| LEGAL ADDRESS: | Unit 1 Plan 0010470 |
| LAND USE DISTRICT: | General Industrial (IND2) District |
| USE(S): | Change of Use to Employee Housing |
| DATE OF DECISION: | October 30, 2023 |
| REFUSED BY: | Development Officer |
| DATE ISSUED: | October 30, 2023 |

It has been decided that the application be **REFUSED** for the reasons noted in the attached **Schedule A**.

This application was deemed complete on: June 30, 2023

Signature

October 30, 2023
Date

Harry Shnider
Development Officer

A decision of the Development Authority on a development permit application may be appealed by serving a written Notice of Appeal to the Secretary of the Subdivision and Development Appeal Board within twenty-one (21) days of the date that the applicant is notified of the decision in writing.

Should you have any questions or require information regarding any of the above please contact the Development Officer as noted in this document.

SCHEDULE A

REASONS FOR REFUSAL

DEVELOPMENT PERMIT No.: PL20230189

LAND USE DISTRICT: IND 2 – General Industrial District

MUNICIPAL ADDRESS: Unit 1 - 130 Bow Meadows Crescent

LEGAL ADDRESS: Unit 1 Plan 0010470

-
1. The Development Authority believes that the proposed Employee Housing unit does not align with the purpose of the district and therefore contravenes Section 1.10.0.3(b) of the Land Use Bylaw (LUB):

"to provide for a range of industrial uses which allow for intensive and efficient use of Canmore's industrial land base. Non-industrial uses are appropriate only in limited circumstances and locations where such uses do not displace current industrial uses or utilize land or buildings with potential for general industrial development. "

1.10.0.3 When making a decision on a Development Permit for a Discretionary Use, the Development Authority shall consider:

b. The location of the parcel and the appropriateness of the proposed development;

In the opinion of the Development Authority, the subject site and building are not constrained or unusual in any manner that would reduce their potential for industrial operations.

2. The Development Authority believes it does not have the regulatory authority to enforce Section 5.3.6.1(a) of the LUB and Policy 12.1.8(a) of the Municipal Development Plan (MDP):

5.3.6.1 Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

a. Adequate long-term and legally-binding provisions are in place to ensure the units remain as bona fide Employee Housing and are demonstrably subordinate in terms of area and intensity to other uses in the building.

12.1.8 Where residential development is proposed in industrial areas, the Town should consider the following issues:

a. Residential uses are limited to housing for employees,

In the opinion of the Development Authority, its authority lies with regulating the use, and not the user. Therefore, the Development Authority is not confident that it has the power to ensure that the proposed housing will only be used for employees.

3. The Development Authority believes that the employee housing units do not comply with Section 5.3.6.1(b) of the LUB:

5.3.6.1 Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

b. The space proposed for Employee Housing would not be reasonably used for commercial or industrial purposes.

In the opinion of the Development Authority, there are no site or building constraints that would reasonably prevent the Employee Housing units from being used for commercial or industrial purposes.

4. The Development Authority does not have confidence that, as described in Section 5.3.6.1(d) and (e) of the LUB and Policy 12.1.8(b) and (c) of the MDP, the Employee Housing units would not constrain any existing, or future permitted or discretionary, commercial or industrial uses from developing on the site or in the industrial area.

5.3.6.1 Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

d. Employee Housing units would not constrain any future permitted or discretionary, commercial or industrial uses from developing on the site or on surrounding areas.

e. Employee Housing would not unduly interfere with existing and any potential industrial development in the area.

12.1.8 Where residential development is proposed in industrial areas, the Town should consider the following issues:

b. Impacts from industrial uses are sufficiently small to make residential uses appropriate.

c. Residential uses will not displace or inhibit the operation of existing or future industrial uses

Adjacent existing development may change over time to other forms of industrial uses. Given the location of the subject site (with existing industrial buildings on adjacent lots), the Development Authority does not have confidence that the proposed Employee Housing unit can be renovated to fully eliminate nuisances, or, that their existence will not in some manner constrain redevelopment of adjacent or nearby parcels.

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated.

| PROPERTY INFORMATION | | | |
|---|----------------------------|---|--|
| Municipal Address 130 Bow Meadows Cres. | | Development Permit/Subdivision Application File Number PL20230189 | |
| APPELLANT INFORMATION | | | |
| Name of Appellant Andrea Rudiger | | Agent Name (If applicable) | |
| Mailing Address (for notification purposes) 203 - 502 Bow Valley Trail | | | |
| City Canmore | Province Alberta | Postal Code T1W 1N9 | |
| Phone Number (Day) 587-774-1218 | | Email arudiger@mcelhanney.com | |
| <input checked="" type="checkbox"/> The appellant/agent, gives authorization for electronic communication by the Clerk, using the email provided on this Notice of Appeal | | | |

APPEAL AGAINST (Check one box only. For multiple appeals you must submit separate Notice of Appeal forms)


| Development Permit | Subdivision Application | Stop Order |
|---|---|-------------------------------------|
| <input type="checkbox"/> Approval | <input type="checkbox"/> Approval | <input type="checkbox"/> Stop Order |
| <input type="checkbox"/> Conditions of Approval | <input type="checkbox"/> Conditions of Approval | |
| <input checked="" type="checkbox"/> Refusal | <input type="checkbox"/> Refusal | |

REASONS FOR APPEAL Section 678 and 686 of the *Municipal Government Act* requires that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (attach a separate page if required)

Appeal to the Development Authority's decision to refuse the development permit application at Unit 1 - 130 Bow Meadows Crescent. The purpose of the development permit application is to change 178 sq m (1,915 sq ft) of space from General Industrial to Employee Housing. This application was made on June 6th, 2023 and refused on October 30th, 2023.

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| | |
|--|-------------------------------------|
| Signature of appellant/agent  | Date (MM/DD/YYYY) 11/17/2023 |
|--|-------------------------------------|

November 17th, 2023

Our File: 2531-315-0300

Town of Canmore Planning and Development Department
 Main Floor, 902 7th Avenue
 Canmore, AB T1W 3K1
 via email: municipal.clerk@canmore.ca

Attention: Subdivision & Development Appeal Board Chair and Members

SDAB Appeal of Decision – PL20230189

The below information is provided in support of the appeal to the Development Authority's decision to refuse the development permit application on behalf of A3K Corporation. The purpose of the development permit application is to change 178 sq m (1,915 sq ft) of space from General Industrial to Employee Housing as part of a proposed development permit located at Unit 1 – 130 Bow Meadows Crescent: Plan 9512298, Block 6, Lot 2. This application was made on June 6th, 2023.

INTRODUCTION

The site is a single parcel of land privately and collectively owned by A3K Corporation, 2408704 ALBERTA INC., and 2440617 ALBERTA CORP. The site is located at 130 Bow Meadows Crescent and is proposing an Employee Housing unit as shown in Appendix A. The site is zoned IND2 General Industrial District which allows for Employee Housing as a discretionary use above the ground floor. This development form provides a unique opportunity for local tradespersons, artisans, and other small businesses to get started and provides the owner or staff a place to reside. There is a well-known issue in Canmore of both available space for business employment and for employee housing. This application aligns with addressing these issues and the applicable Land Use Bylaw District, the applicable Statutory Plan (ASP) and the Municipal Development Plan (MDP).

The application supports the current 2023-2026 Council Strategic Plan by supporting the livability goals set by Town Council. This includes *“The provision of affordable and accessible services is vital to our community. This includes a commitment to a range of underserved housing options...”* and this application supports the Canmore Economic Strategy 2020-2025 by supporting Pillar 3: Retaining and attracting a talented workforce *“by ensuring access for all to housing, and quality amenities and facilities...”*.

McElhanney

203 – 502 Bow Valley Trail, Canmore AB Canada T1W 1N9
 Tel. 403-609-3992 | Tel. 403-678-6363 (surveying) | Fax. 1-855-407-3895 | www.mcelhanney.com

Holistically “Part 17 of the MGA (sections 616 to 697) contains significant provisions relating to land use planning and the regulation of subdivision and development of land in Alberta. Section 617 of the MGA identifies the overall purpose of Part 17. This provision states:

- **617** *The purpose of [Part 17] and the regulations and bylaws under this Part is to provide means whereby plans and related matters may be prepared and adopted to*
 - a. achieve the orderly, economical and beneficial development and use of land and patterns of human settlement, and*
 - b. maintain and improve the quality of the physical environment within which patterns of human settlement are situated in Alberta, without infringing on the rights of individuals for any public interest except to the extent that is necessary for the overall greater public interest.”*

We provide the following planning rationale in support of the conversion of an Employee Housing unit at 130 Bow Meadows Crescent as the use conforms to the current Area Structure Plan, the Land Use Bylaw, and the Municipal Development Plan, meets the regulations contained in Section 617 of the MGA.

Applicable Planning Framework

This application is supported by applicable planning documents adopted and endorsed by Council. This includes the Indian Flats ASP and the Town of Canmore MDP and LUB. These plans create a document hierarchy and support the Town’s policy environment, as illustrated in Figure 1.

As outlined in these documents, in reviewing discretionary use applications, the municipality should consider the general purpose of the district, along with the site context and applicable policies, when making development decisions. The district purpose, site context, and applicable policies support this application and the development of an employee housing unit at 130 Bow Meadows Crescent.

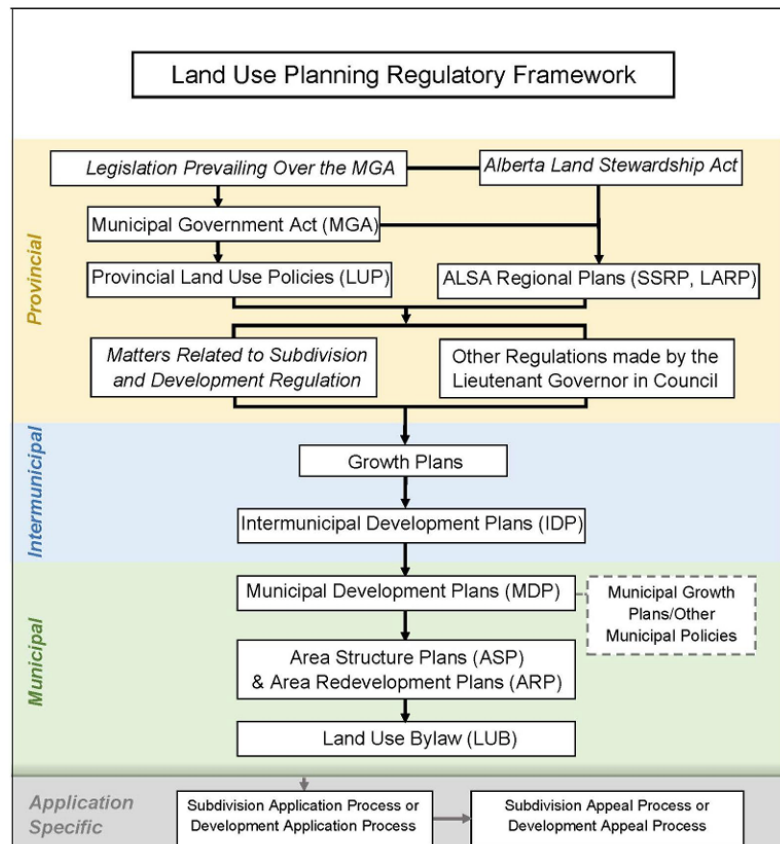


Figure 1: Hierarchy of Land Use Plans in Alberta, LRPT 2023. SDAB Training Guidebook

MUNICIPAL DEVELOPMENT PLAN

The Canmore Municipal Development Plan (MDP) provides high-level strategic guidance for growth in the Town. While it is not encouraged to locate residential uses in industrial areas, it is recognized that there are instances where it is appropriate in contexts where industrial character and business employment value is not diminished. The intent of the area as implemented in the Indian Flats ASP and current Land Use District only contemplates clean industrial uses, which do not interfere with employee housing as a use class.

Sections 5.3 and 12.1 of the MDP include policies specific to Market Affordable Housing. Relevant sections regarding Housing for Employees and Perpetually Affordable Housing include:

5.3 Market Affordable Housing

Housing for Employees

5.3.1 Conversion of spaces in the upper floors of existing buildings in industrial areas which are marginally useful for industrial purposes into housing for employees and live-work spaces may be allowed. The residential conversion should not compromise the primary industrial use of the area.

5.3.2 Development or conversion of upper floors of mixed-use or commercial buildings or main floor spaces that do not function well for commercial frontage into housing for employees and live-work spaces may be allowed. Variances to land use bylaw regulations, such as parking, may be approved to facilitate such development.

5.3.3 A strategy for housing employees should be implemented by the Town in partnership with an affordable housing agent, developers, business owners and economic development partners.

5.3.4 Private initiatives to create additional seasonal and permanent employee housing opportunities should be supported by the Town.

5.3.5 The management and administration of housing for employees shall be the responsibility of the businesses or commercial accommodation developers that are required to building and maintain the housing. Such housing will be required to be operated in such a manner that the Town can monitor and verify that any employee housing obligations are being satisfied.

12.1 General Industrial Policies

Housing for Employees and Perpetually Affordable Housing

12.1.8 Where residential development is proposed in industrial areas, the Town should consider the following issues:

- a. Residential uses are limited to housing for employees.
- b. Impacts from industrial uses are sufficiently small to make residential uses appropriate.
- c. Residential uses will not displace or inhibit the operation of existing or future industrial uses, and
- d. Residential units are subordinate to the industrial uses.



The policies listed above further support the application to allow for Employee Housing on the site. The use of Employee Housing will provide required living quarters for employees of the development. The housing component being proposed will serve as a subordinate use on the site to the main Contractor Services use and meets all the criteria above. The proposal meets the policies contained in the MDP.

INDIAN FLATS AREA STRUCTURE PLAN

The Indian Flats Area Structure Plan (ASP) is a statutory document that was passed by Bylaw and is applicable to the site. The Indian Flats Area Structure Plan (ASP) proposes a sequence of development for the area, future land uses, population density, and the general location of transportation and public utilities.

This ASP includes policies that support this application. These include:

1.0 Purpose

The Indian Flats ASP expands upon the direction provided by the Canmore MDP which encourages the broadening of the employment and economic base of the community and promotes the development of clean light industrial uses which are sensitive to the surrounding environment. Because the Plan envisions clean industrial or “industrial business” uses in the Plan area, it follows that there would be no conflicts with limited employee housing located over the primary service bays on the ground floor.

3.1.2 Objectives

3.1.2.1 To provide for a range of lot sizes that will accommodate diversified, clean, light industrial land uses.

3.3 Land Use

The ASP recognizes that “The tourist trade also requires access to certain associated industries which support its activities. Development restriction in the surrounding national and provincial parks suggest that Canmore has a future as the primary service centre for the area” The typical service centre uses which support the tourism industry in the Bow Valley do not include noxious uses which are incompatible. The use of limited sites in the area for employee housing support the goals and objective of supporting the tourist trade described in the ASP.

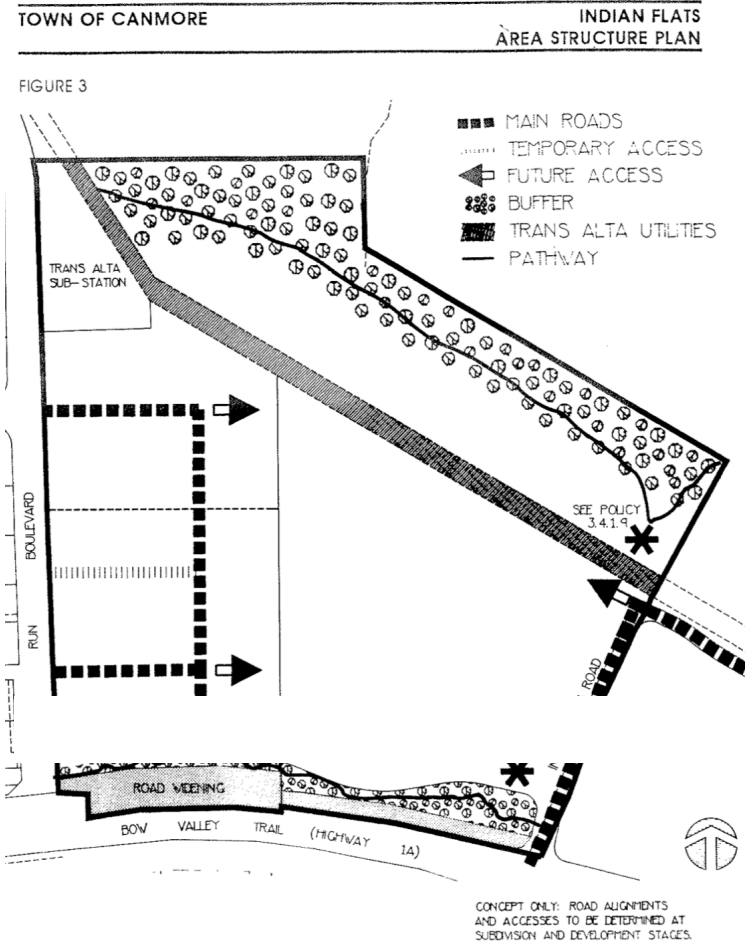


Figure 2. Indian Flats ASP Development Concept

The Indian Flats ASP provides clear direction that the area be developed with high quality clean industrial uses, which do not conflict with minimal employee housing. This development does not take away from the 7 existing commercial/industrial bays and maintains access to commercial/industrial space for clean, light industrial uses. In accordance with both the Land Use Bylaw and the intent of the ASP, supported by the MDP, the employee housing use is acceptable.

LAND USE BYLAW 2018-22

Land Use Bylaw (LUB) 2018-22 was adopted by Town Council in 2019. The LUB is intended to implement the overarching statutory plans for Canmore. It reflects what Council considers appropriate for development in each District. The site is currently zoned General Industrial District (IND 2). The general purpose of the IND 2 District is to provide for a range of industrial uses that allow intensive and efficient use of Canmore's industrial land base in accordance with policies in the Municipal Development Plan. Non-industrial uses are appropriate in limited cases where they do not displace current industrial uses.

Employee Housing is listed as a Discretionary Use in the IND2 District. Section 1.10.0.3 of the LUB indicates that, when deciding on a Development Permit for a Discretionary Use, the Development Authority shall consider:

- a. Any plans or policies affecting the parcel;
- b. The location of the parcel and the appropriateness of the proposed development;
- c. The merits of the proposed development and its compatibility with the intent of its Land Use District;
- d. The potential impact to development with respect to adjacent parcels;
- e. Servicing and access requirements; and
- f. General planning principles.

Section 5.3.6 of the LUB provides additional Employee Housing Provisions in the IND2 district. This policy states that: Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

- a. Adequate long-term and legally binding provisions are in place to ensure the units remain as bona fide Employee Housing and are demonstrably subordinate in terms of area and intensity to other uses in the building.
- b. The space proposed for Employee Housing would not be reasonably used for commercial or industrial purposes.



- c. The Employee Housing units are appropriate in design for Employee Housing, particularly with respect to the unit size.
- d. Employee Housing units would not constrain any future permitted or discretionary, commercial, or industrial uses from developing on the site or in surrounding areas.
- e. Employee Housing would not unduly interfere with existing and any potential industrial development in the area.

This application meets the list of provisions outlined as criteria for Employee Housing development. Based on a survey of the area, no permitted or discretionary uses nearby create land use conflicts with the proposed employee housing above the main floor. Further, no other permitted or discretionary uses in the IND2 district could cause compatibility issues or nuisance to the employee housing. Where uses may cause conflict, they would be unsuitable for the Indian Flats ASP and would not be considered for this area.

COMPATIBILITY WITH SURROUNDING LAND USES

Existing development in the area reflects the ASP's objectives of high-quality, clean, industrial uses. Businesses include the Rocky Mountain Soap Company, Canmore Cave Tours, Fireweed Glass Studio, Sheep Dog Brewing, Carignan Mechanical, Canmore Glass & Screen, Dirty Dog Car Wash, Eurokan Auto, Crossway Community Church, Mountain Fire Foods, and CanSign, among other light industrial and non-noxious development. These uses are in single and two-storey buildings with commercial offices above main floor retail, commercial, and business industrial bays.

On February 22, 2023, a Subdivision Appeal Board Hearing was held for a similar Development Permit Application at 127 Bow Meadows Crescent. This hearing was for the conversion of Trade Contractor Services to Employee Housing as part of a building renovation above and industrial use, governed by the same statutory documents as the site at 130 Bow Meadows Drive. The Subdivision Appeal Board found in favour of the applicant at 127 Bow Meadows Crescent and so ordered the Development Permit be approved. As with the arguments laid out herein, the surrounding land uses in the area support the development proposed by PL20230189.

LOCAL AMENITIES AND SERVICES TO SUPPORT EMPLOYEE HOUSING

The site has excellent access to public parks and various multi-use biking and hiking trails. Residents may access these services by walking 500m to 700m, using a free Roam bus, or using the future multi-use trail on Elk Run Boulevard. These local recreation amenities include the Elk Run Off Leash Park, Cougar Creek Skating Rink, Cougar Creek Trail Head, and the Grotto Mountain Trail Head. Nearby mountain biking trails include the Horseshoe, Lebensrun, and G8. Other nearby services include a local grocery, eating and gathering establishments, and the Alpine Club of Canada.



EXPANDED INDUSTRIAL DISTRICT

On February 28th, 2023, Council adopted changes to IND2 zoning allowing 'Office (above the ground floor)' throughout the district. By expanding this use the evolution of the IND2 District to a lighter industrial or business employment use designation in the Bylaw will occur over time. This will encourage more redevelopment of the area to multi-story buildings with commercial offices and increase light industrial and commercial space through intensification of underutilized sites west of Elk Run Boulevard. Further, the Smith Creek ASP which is located across Highway 1 from Dead Man's Flats will offer a large commercial and light industrial area when approved.

PROVISION OF PEDESTRIAN OR MULTI-USE TRAILS

The Integrated Transportation Plan establishes transportation priorities for the Town of Canmore. The plan identifies a multi-use trail along Elk Run Boulevard as a Council priority, and, in fact, Elk Run Boulevard is being re-designed to include a multi-use trail. Through the approval of 12 employee housing units located at 121 Bow Meadow Crescent, the construction of a multi-use trail connection from east of this site extending west to connect with Elk Run Boulevard is required as approved by the Canmore Planning Commission on May 25, 2022. This facility provides for employees living on site with excellent pedestrian and bicycle connectivity with the broader Town of Canmore multi-use network and local parks, amenities, and services.

PARKING AND LOADING

Onsite circulation and parking for vehicles and bicycles have been designed to ensure safe and convenient access to and within the site in accordance with Town guidelines.

CONCLUSION

Demand pressure on the Canmore housing market continues to weigh on the community's lack of affordable housing. Employee housing is especially unaffordable, and finding adequate, safe and legal housing within the Town has become increasingly challenging for workers in Canmore and the Bow Valley. The high cost of living and inadequate housing stock exacerbates Canmore's current housing crisis. Employee housing provisions within the IND 2 General Industrial District allow for employee housing to take up space that would not normally be used for commercial or industrial purposes, thus increasing the housing supply and lessening the overall housing demand.

Based on a thorough review of the proposed development, the site context, the applicable statutory plans, the current land use district, and existing development near the site, the proposed development is suitable for the site and contributes to orderly, economic, and beneficial land use. The intent of the Area Structure Plan is to provide a high-quality business industrial area, and this combined with the list of Permitted and Discretionary uses in the Land Use Bylaw for the site indicate it is suitable to include employee housing. This provides a unique and much-needed opportunity for residents to reside and support the primary industries in Canmore. By supporting housing that is close to employment centres, recreation opportunities, and transportation networks, this development contributes to a resilient economy and supports the long-term sustainability of Canmore as an employment and service center.



Sincerely,

McElhanney Ltd.



Jill Hofer, RPP, MCIP

Senior Planner

jhofer@mcelhanney.com | 403-812-0871

CC

Derek Johnson

A3K Corporation

Attachment(s)

Appendix A – Existing Site Plan

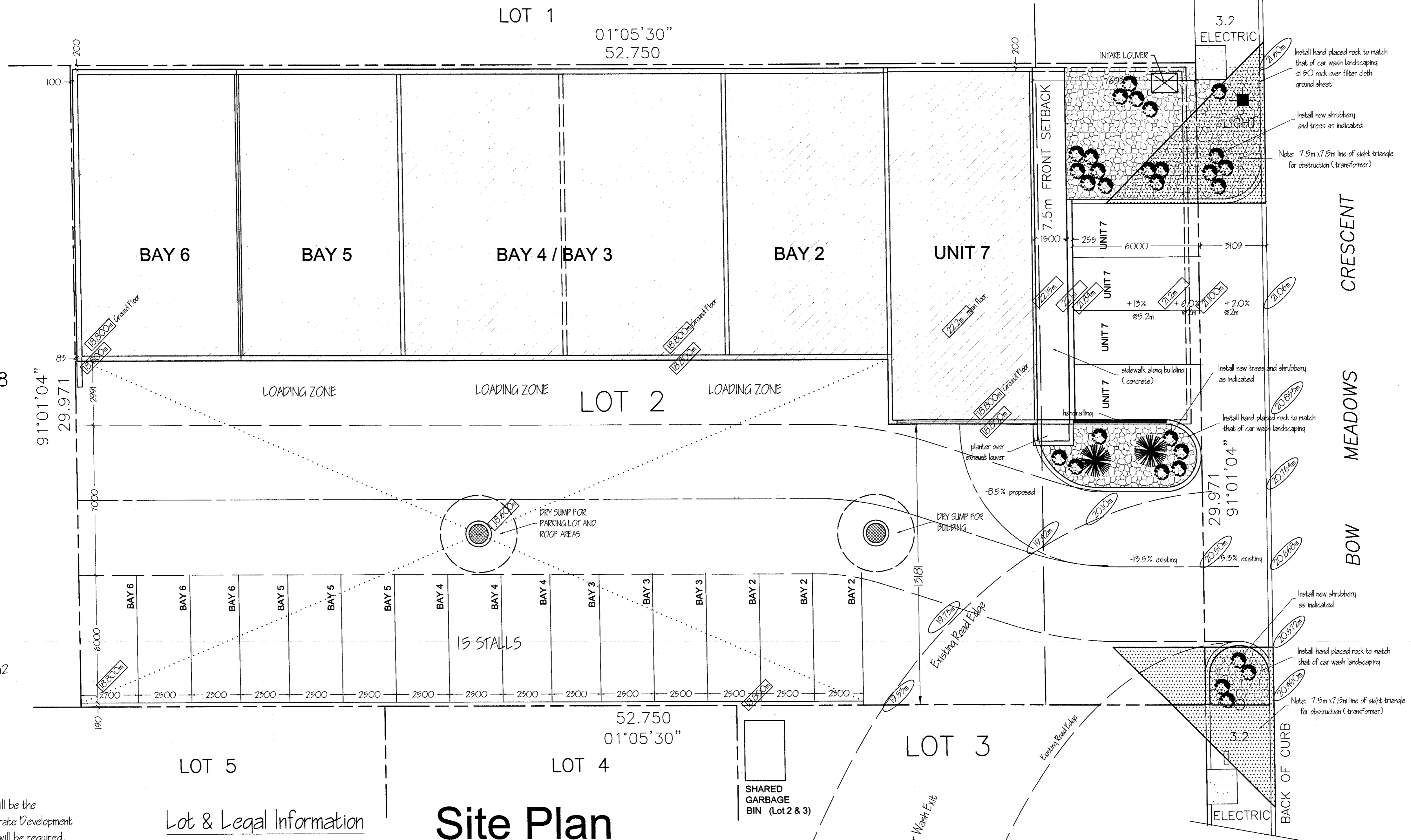
Appendix B – Proposed Floor Plan

Use of this Report. This letter was prepared by McElhanney Ltd. ("McElhanney") for the particular site, design objective, development, and purpose (the "**Project**") described in this report and for the exclusive use of the client identified in this report (the "**Client**"). The data, interpretations and recommendations pertain to the Project and are not applicable to any other project or site location and this report may not be reproduced, used, or relied upon, in whole or in part, by a party other than the Client, without the prior written consent of McElhanney. The Client may provide copies of this report to its affiliates, contractors, subcontractors, and regulatory authorities for use in relation to and in connection with the Project provided that any reliance, unauthorized use, and/or decisions made based on the information contained within this report are at the sole risk of such parties. McElhanney will not be responsible for the use of this report on projects other than the Project, where this report or the contents hereof have been modified without McElhanney's consent, to the extent that the content is in the nature of an opinion, and if the report is preliminary or draft. This is a technical report and is not a legal representation or interpretation of laws, rules, regulations, or policies of governmental agencies.



APPENDIX A

Existing Floor Plans



- General Notes**
1. Ground Floor 516.49 m²
Parkade 235.41 m²
Footprint = 751.90 m²
 2. Main Floor 219.33 m²
 3. Second Floor - upper 202.53 m²
- lower 1110
 4. Total Area = 938.35 m²
 5. Total Possible = 1351.50 m²

- Parking Information**
1. Actual requirements for each bay will be the responsibility of each owner. Separate Development Permits with the Town of Camrose will be required.
 2. Proposed are 3 stalls for each of Bays 2,3,4,5, & 6. Also, 4 stalls for Unit 7 and 5 stalls for Unit 8.
 3. Total stalls on lot are 24.
 4. Stall requirement range per m² (proposed)
938.35m²/46m² = 20 stalls required (max)
938.35m²/93m² = 10 stalls required (min)
 5. Stall requirement range per m² (at total build out)
1351.50m²/93m² = 15 stalls (min)
Unit 7&8 = 426.86m²/46m² = 9 stalls (max) 9 actual
Bay 2,3,4,5,6 = 1033m²/93 = 11.1 stalls (min) 15 actual
or with 35% of this area at 1/46m²
363m²/46m² = 7.8 stalls and
670m²/93m² = 7.2 stalls for a total of 15 stalls

Lot & Legal Information
 Lot 2
 Block 6
 Plan 9512298
 130 Bow Meadows Crescent
 Town Zoning "M2"
 ABC 1997 - Medium Hazard Industrial (F-2)
 (Fire safety compliance clause 3.2.2.69)

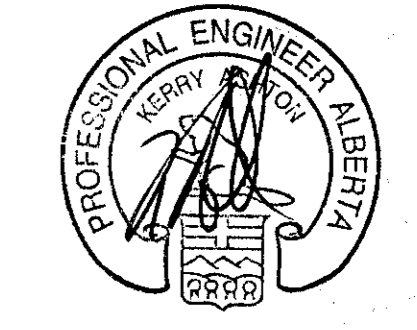
Site Plan
 Scale 1:100

- Note:**
1. Building services and connections to meet the Town of Camrose - Engineering Department specifications.
 2. Design of Service Connections and Dry Sumps to be designed by others.
 3. Final drainage plan to be verified prior to construction commencement.

- Landscape Notes**
1. Landscaping required at 10% of lot area equals 1581m² x 10% = 158m²
 2. Actual landscaping with sidewalks 92m² or 5.8%
Actual landscaping including boulevards 129.4m² or 8.2%
 3. Landscaping shown is approximate, detailed plan by other may be necessary prior to completion of this project.

- Plan Index**
- A1 - Site Plan & Notes
 - A2 - Ground Floor Plan
Window & Door Schedules
 - A3 - Main & Second Floor Plans
 - A4 - Elevations
 - A5 - Section, Specifications,
& Details
 - A6 - Roof Plan

PERMIT TO PRACTICE
 ASHTON ENGINEERING INC.
 Signature: [Signature]
 Date: July 20/19
PERMIT NUMBER: P 6223
 The Association of Professional Engineers,
 Geologists and Geophysicists of Alberta



| | | | |
|-----|---|------------------|-----------|
| No. | 1 | Permit Issue | 7/24/1999 |
| | | REVISION / ISSUE | Date |

BLUEPRINT DESIGN & DRAFTING
 #24 - 241 BENCHLANDS TERRACE
 CAMROSE, ALBERTA
 T1W 1G1
 403 678-2950

PROJECT
 130 Bow Meadow Crescent
SITE PLAN

DRAWN BY
 Louis Desroches
DATE
 July 10, 1999
SCALE
 Scale 1:100
SHEET
 A1-6

D DOOR SCHEDULE

| No. | Size | Type | Frame | Hardware/remarks | Quantity |
|-----|---------------------------|-----------------------------|---------------------|--------------------------|----------|
| 1 | 1010x2090 (exterior) | metal insulated/ half glass | extruded aluminum | left out swing | 5 |
| 2 | 1010x2090 (exterior) | metal insulated/ half glass | extruded aluminum | right out swing | 6 |
| 3 | 1010x2090 (exterior) | metal insulated | extruded aluminum | right out swing | 1 |
| 4 | 1896x2090 (exterior) | patio slider | alum. or alum. clad | left or right slide open | 1 |
| 5 | 1010x2090 (parkade-stair) | metal 1.5h fire rated | extruded aluminum | right out swing | 2 |
| 6 | 1010x2090 (mechanical) | metal hollow core | extruded aluminum | right out swing | 1 |
| 7 | 1010x2090 (wash rooms) | wood hollow core | wood or alum. | right in swing | 1 |
| 8 | 1010x2090 (mechanical) | wood hollow core | wood or alum. | right in swing | 1 |
| 9 | 1010x2090 (mechanical) | metal 45min. fire rated | extruded aluminum | right out swing | 3 |
| 10 | 3660x3660 (overhead) | metal insulated | wood or alum. | glazing as indicated | 3 |
| 11 | 4880x2745 (overhead) | metal insulated | wood or alum. | glazing as indicated | 1 |
| 12 | 3660x2745 (overhead) | metal insulated | wood or alum. | glazing as indicated | 1 |
| 13 | 2745x2745 (overhead) | metal insulated | wood or alum. | glazing as indicated | 1 |

Note:

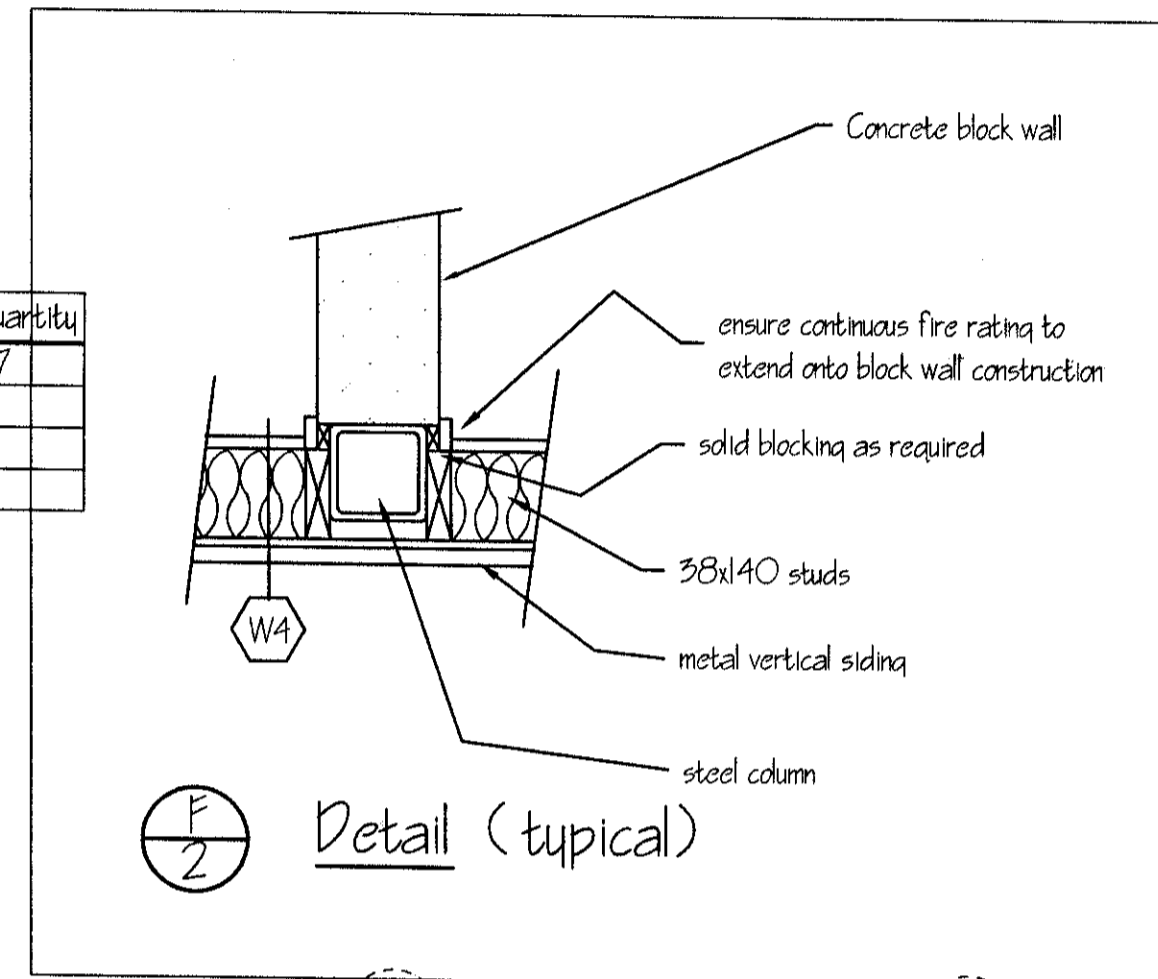
- Owner may adjust sizes, style, or locations if required and to coordinate with supplier.
- Adjust openings for wood or metal studs, block construction, and masonry openings.
- These doors are those required for structure as indicated and does not include tenant improvements.

W WINDOW SCHEDULE

| No. | Size | Type | Frame | Hardware/remarks | Quantity |
|-----|-----------|---------------------------|--------------------------------|-------------------------|----------|
| 1 | 1200x1200 | fixed over casement | alum. or alum. clad wood | standard double glazing | 27 |
| 2 | 1200x1200 | glass block at 45 degrees | pre-fab or site built as req'd | 190x190 standard clear | 5 |
| 3 | 1200x1200 | fixed unit at 45 degrees | alum. or alum. clad wood | standard double glazing | 2 |
| 4 | 1800x1800 | fixed over cable casement | alum. or alum. clad wood | standard double glazing | 1 |

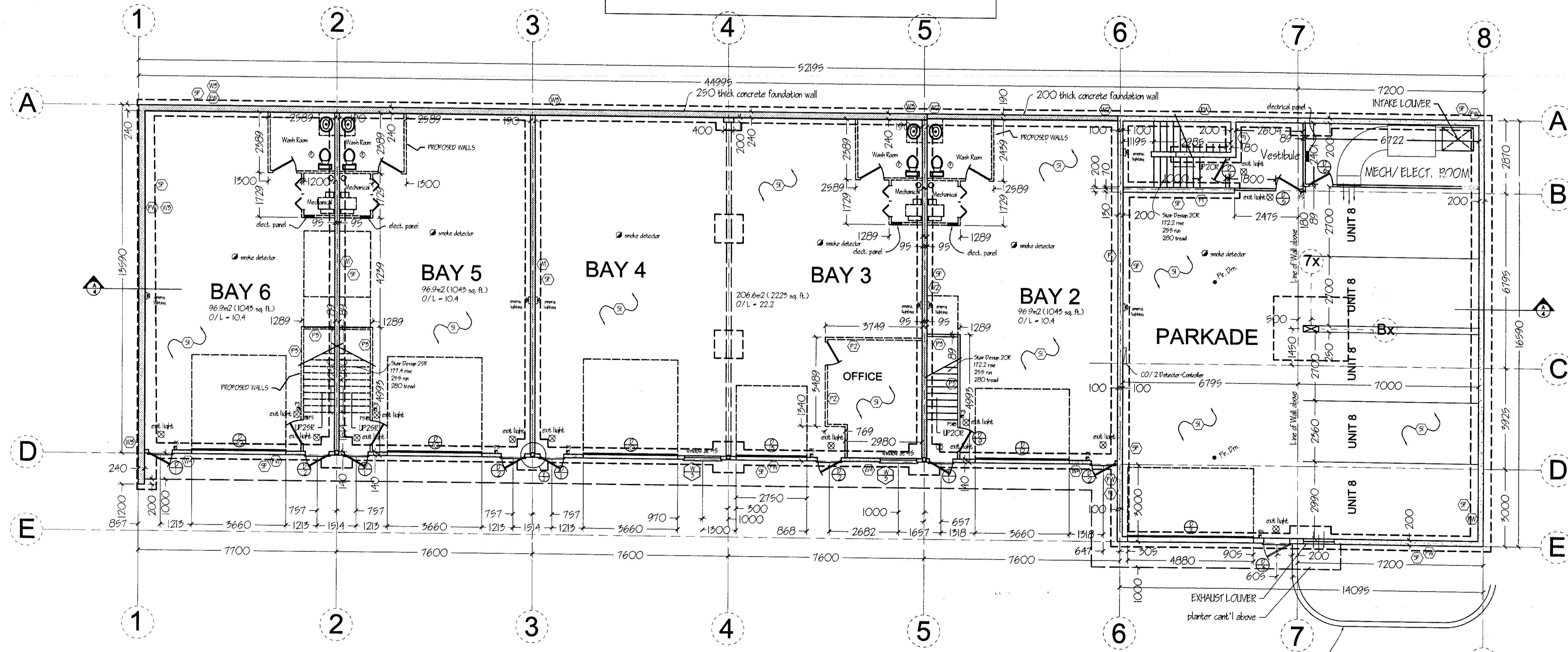
Note:

- Owner may adjust sizes, style, or locations if required.
- Window rough openings and sizes to be coordinated with supplier prior to construction.



GENERAL NOTES

- All dimensions, datums, and levels must be verified on site. Report any discrepancies to Blueprint Design prior to construction.
- Construction to conform to the 1997 Alberta Building Code, local regulations, and bylaws in the Town of Camrose.
- Refer to the Building Specifications for additional information on the construction of this structure.
- This drawing is in Metric Units unless otherwise noted.
- Refer to the Engineering drawings for additional information on the building structural.
- Refer to Surveyor's Plot Plan for additional site information.
- Coordinate all interior and exterior finishes with the building owner. Finishes shown may not be exactly as built.
- Install fire dampers on parkade ventilation system intake and exhaust.
- Fire rate all chimney chases, CA & FA intakes from Main Floor through the Second Floor Assembly and Roof Assembly.
- The Occupant Load for this structure has been calculated using a factor of 9.3m² per person. Refer to each Unit for the applicable O/L number.
- All roof drains to be discharged onto the parking lot surfaces. The locations shown on this roof plan may be adjusted if as required or as approved by the contractor / owner.
- Parking Lot to have dry sumps as shown, and to be sized to allow for lot and roof drainage. (TBD by others)
- Fire Rating (all gypsum board to be type X for this construction)
 - Interior Walls inside units - none
 - Interior Walls between units - 45 min.
 - Exterior Walls at property line - 2 hours
 - Slab between Main floor and Parkade - 2 hours
 - Second Floor Framing - 45 min.
 - Roof Assembly - 45 min.
 - Columns - clad with 2 layers of 12.7mm type X gypsum board all exposed sides
 - Beams - clad with 1 layer 15.9mm type X gypsum board all exposed sides
 - Mechanical rooms & chases 1 hour
- Refer to the structural drawings by Ashton Engineering Inc. for additional information on columns, beam, and framing details.
- All washrooms on the Main Floor to be constructed to Physically Challenged Standards.
- Refer to Site Servicing Plans by others for additional information on catch basins, grades, and services tie-ins.
- Building to have Emergency Lighting as per ABC 1997 (5.2.7)
- Install all handrails as per ABC 1997 (5.4.6.4)
- Unit partition walls shown are approximate. Owner / tenant may adjust as required to satisfy occupant and use for individual units. Any adjustments will require a Development Permit, Building Permit, and the review by the Building Safety Codes Officer and / or a P.Eng.
- Provide an approved Fire Alarm System for this building in accordance with ABC 1997 (5.2.4).



Ground Floor Plan 516.49m² (+235.41m²)

Scale 1:100

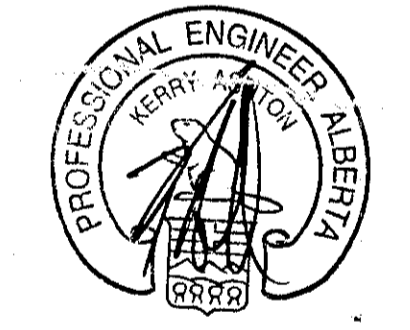
Note:

- Parkade ventilation design by others.
- Parkade area to be heated with ceiling mounted gas radiant units.
- The stair into the parkade area to be cast in place concrete, details as specified by P. Eng.
- Install emergency lighting as per ABC 1997 (5.2.7)
- Refer to mechanical plans by others for information on service tie-ins, drains, and dry sump details.
- Builder to allow for positive drainage to all floor drain locations.
- CA & FA intake locations to be determined by Mechanical contractor.
- Electrical panel and rough-in to each bay as specified by Electrical contractor.
- Allow for Fire Alarm pull stations at all exit locations as shown on plan. (TBD by others)
- Builder to rough-in services, wash room, mechanical, and electrical into Bays 2, 3, 4, 5, 6, & 7. Tenant will be responsible for all interior improvements, including development and building permits.

LEGEND

- ⊗ Exit Light
- ☒ Emergency Lighting
- ☑ Pull Station
- ⊙ Smoke Detector
- ⊕ Exhaust Fan
- Electrical Panel

PERMIT TO PRACTICE
ASHTON ENGINEERING INC.
Signature: *[Signature]*
Date: *July 30/99*
PERMIT NUMBER: P 6223
The Association of Professional Engineers, Geologists and Geophysicists of Alberta

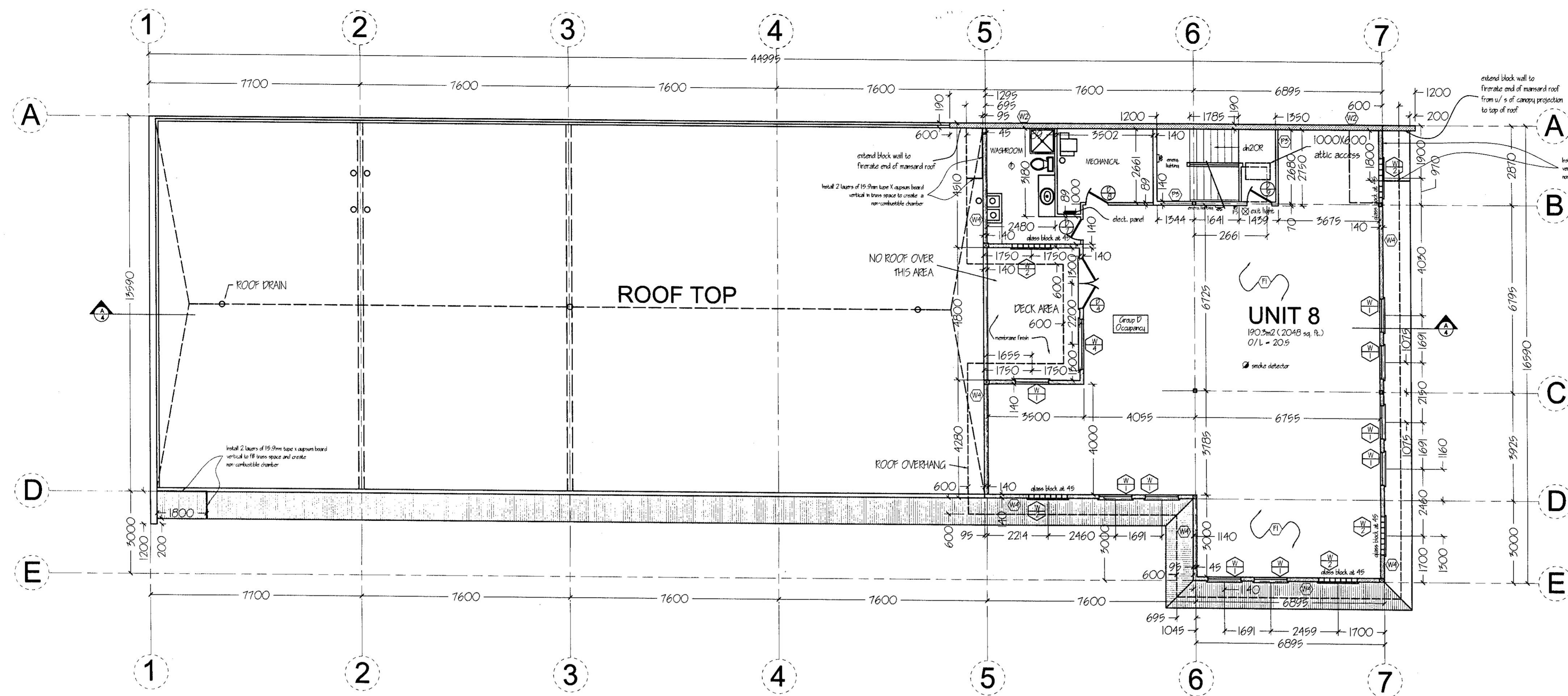


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| 1 | Permit Issue | 7/24/1999 |
| No. | REVISION / ISSUE | Date |

BLUEPRINT DESIGN & DRAFTING
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CANMORE, ALBERTA
T1W 1G1
403 678-2930

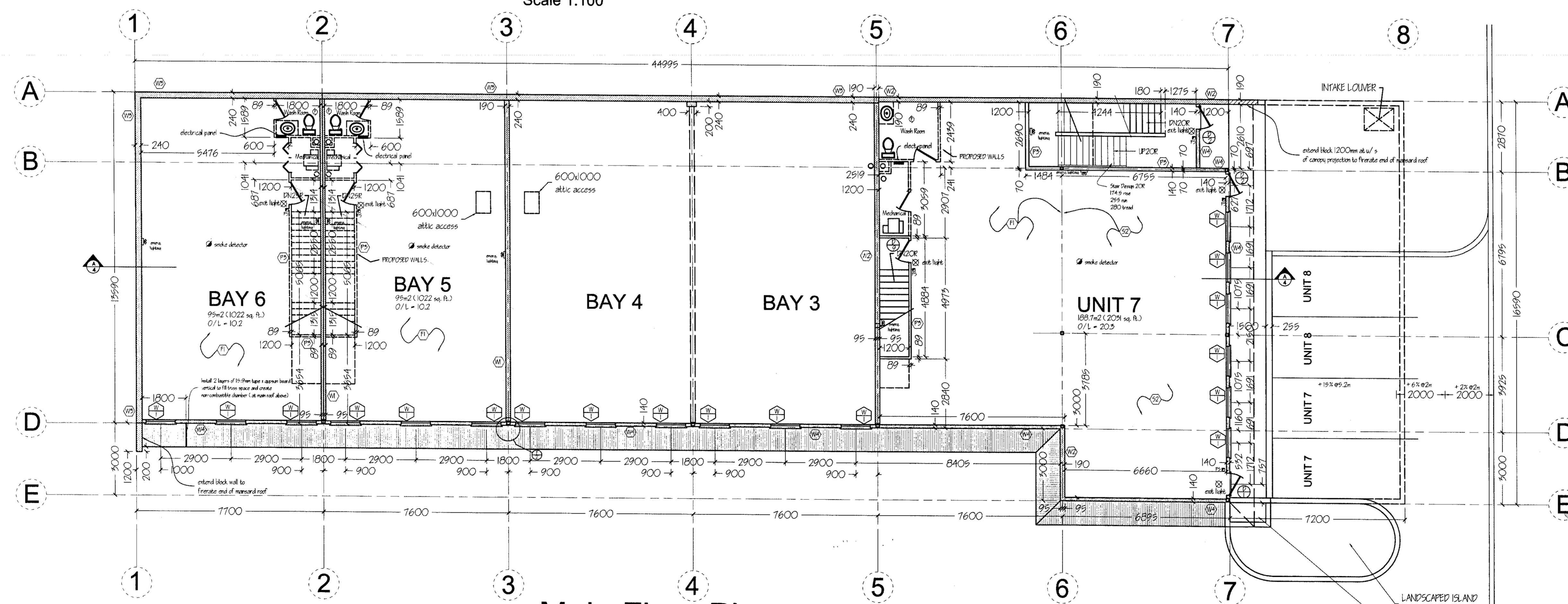
PROJECT
130 Bow Meadow Crescent
THE
GROUND FLOOR, Schedules, & Notes

DRAWN BY: **Louis Desroches**
DATE: **July 10, 1999**
SCALE: **Scale 1:100**
SHEET: **A2-6**



Second Floor Plan 202.53m²

Scale 1:100



Main Floor Plan 219.33m²

(Lower Second Floor Optional)

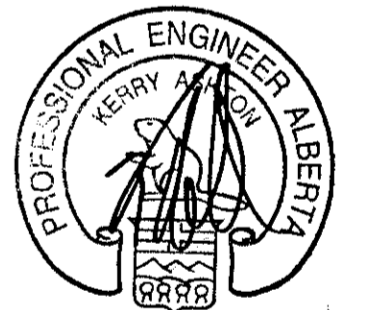
Scale 1:100

Note: Mechanical and wash rooms shown are for preliminary details only and may not be exactly as indicated. Verify prior to commencement of tenant improvements.

LEGEND

- ⊗ Exit Light
- ⊕ Emergency Lighting
- ⊠ Pull Station
- ⊙ Smoke Detector
- ⊕ Exhaust Fan
- ⊠ Electrical Panel

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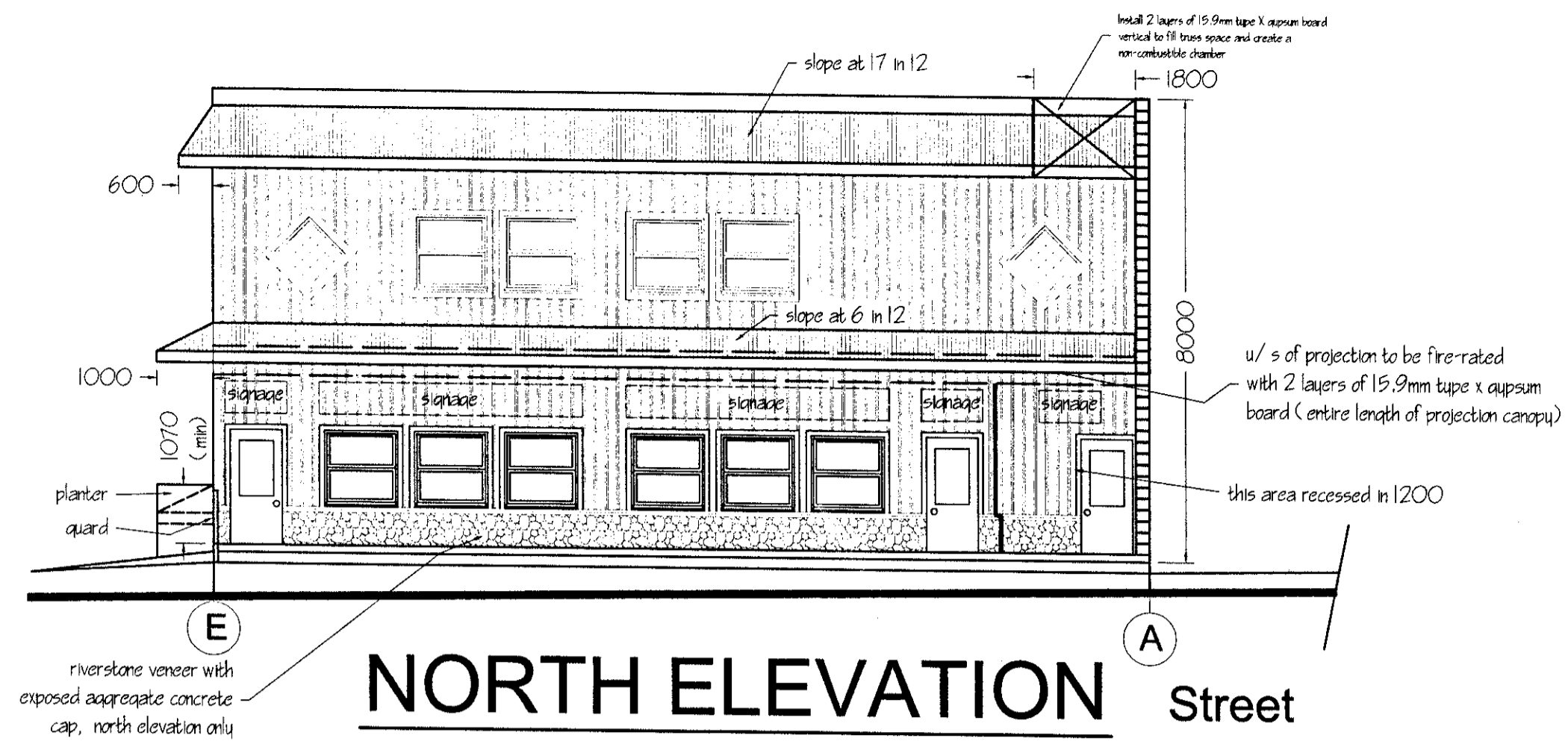


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| No. | | REVISION / ISSUE | 2/2000 |

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CANMORE, ALBERTA
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403 678-2930

PROJECT
130 Bow Meadow Crescent
THE
MAIN FLOOR & SECOND FLOOR

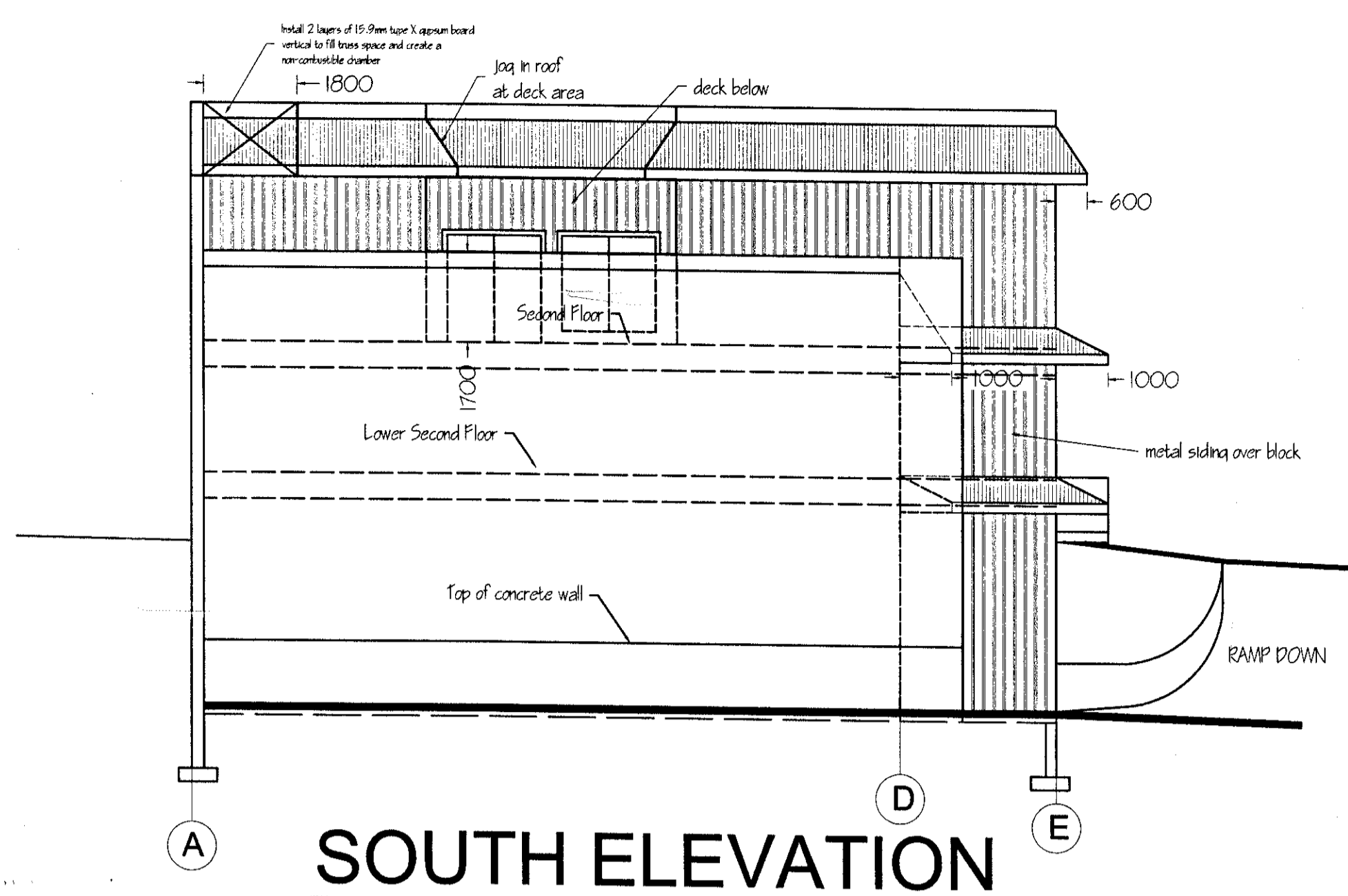
DRAWN BY: *Louis Desroches*
DATE: *July 10, 1999*
SCALE: *Scale 1:100*
SHEET: **A3-6**



NORTH ELEVATION Street

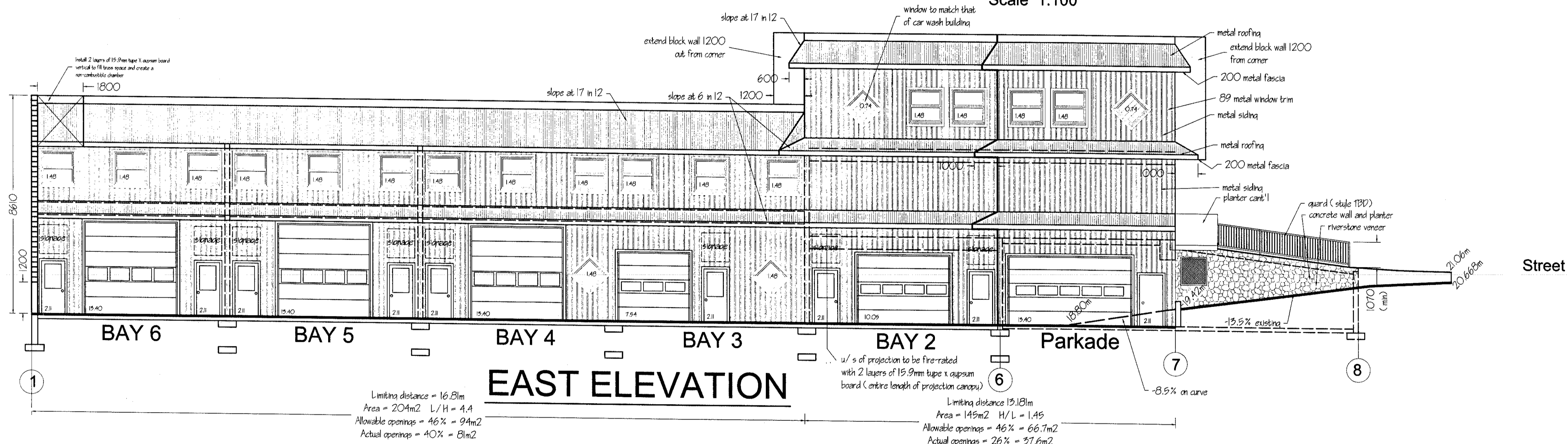
Scale 1:100

Note: All finishes and colors to match that of the existing car wash building



SOUTH ELEVATION

Scale 1:100

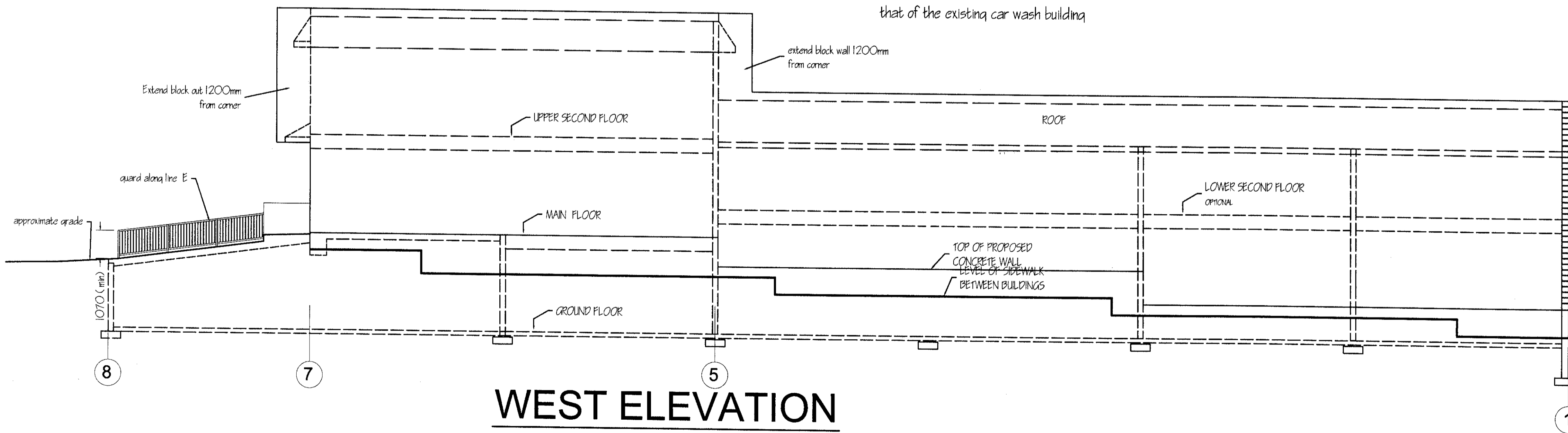


EAST ELEVATION

Limiting distance = 16.81m
Area = 204m² L/H = 4.4
Allowable openings = 46% = 94m²
Actual openings = 40% = 81m²

Limiting distance 15.181m
Area = 145m² H/L = 1.45
Allowable openings = 46% = 66.7m²
Actual openings = 26% = 37.6m²

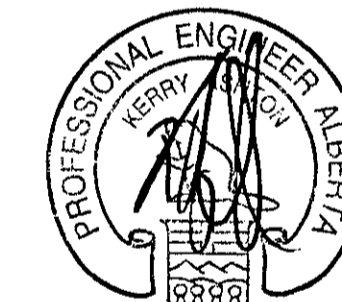
Note: All finishes and colors to match that of the existing car wash building



WEST ELEVATION

ALONG PROPERTY LINE

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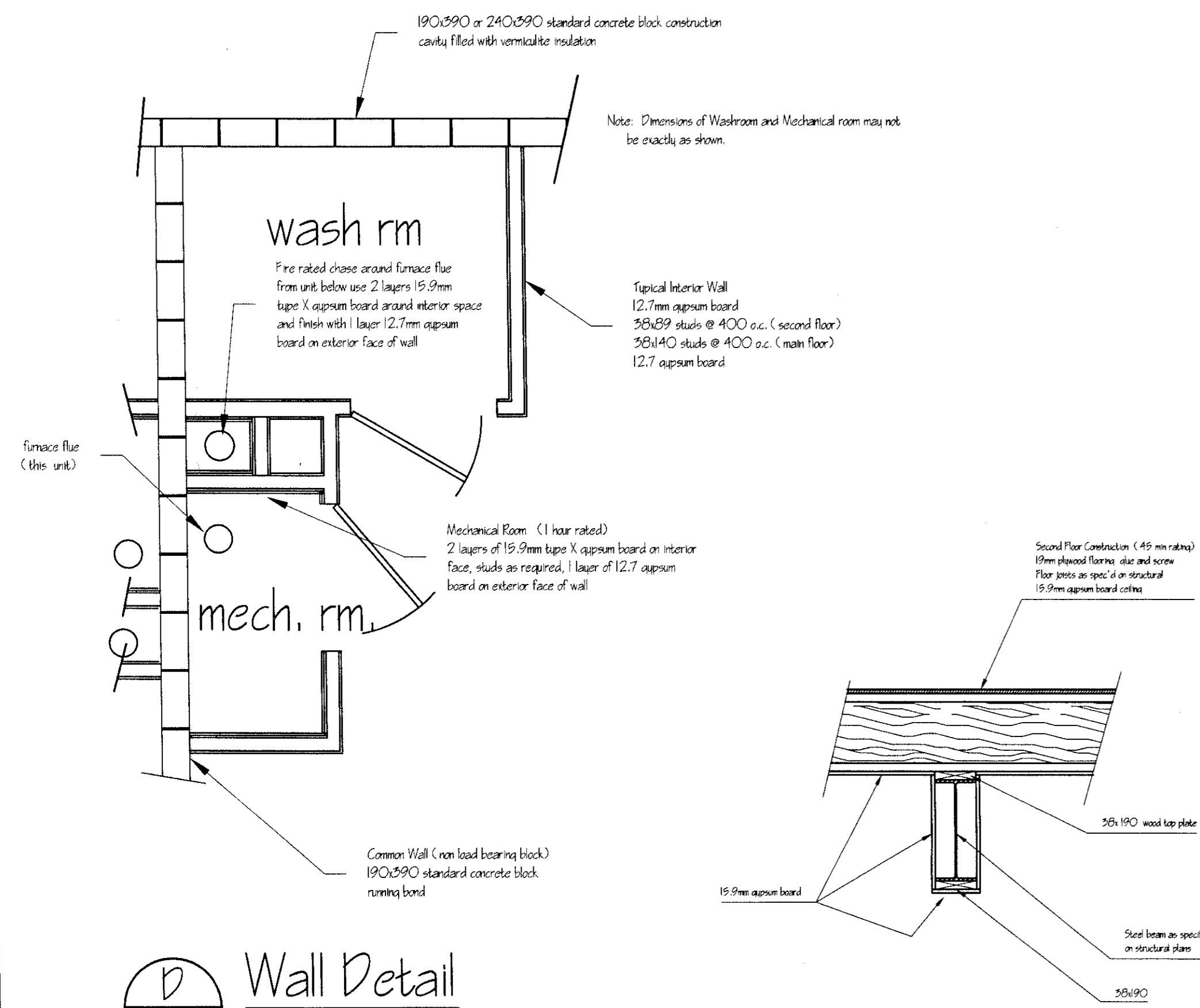


1 Permit Issue 7/24
No. REVISION / ISSUE Date

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& DRAFTING**
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PROJECT
130 Bow Meadow Crescent
FILE
ELEVATIONS

DRAWN BY
Louis Desroches
DATE
July 10, 1999
SCALE
Scale 1:100
SHEET
A4-6



D
5
Wall Detail
Scale 1:25

C
5
Beam Section
Scale 1:20

E
5
Wall Detail
Scale 1:30

Building Specifications

- (SF) Strip Footing - as per engineering plans
- (FW) Foundation Wall - Parapet on exposed surfaces, rigid insulation, flashing as req'd, concrete, thickness & reinforcing as per structural plans
- (F1) Interior Concrete Wall - 200mm thick concrete, reinforcing as per structural plans
- (G1) Ground Floor Slab - 150mm thick concrete slab, reinforcing as per structural plans
- (S2) Main Floor Slab - 250mm concrete slab, reinforcing as per structural plans, 2 hr fire rating
- (W1) Interior Wall (non-load bearing) - 190x90 concrete block, running bond
- (W2) Exterior Wall (or load bearing) - 190x90 concrete block, fill cavity with vermiculite insulation, running bond, 2 hr fire rating
- (W3) Exterior Wall - 240x90 concrete block, fill cavity with vermiculite insulation, running bond, 2 hr fire rating
- (W4) Exterior Wall - pre-finish vertical seam metal siding (to match building on lot 3), building paper, 12.7mm OSB sheathing, 38x140 studs @ 400 o.c., batt insulation, vapour barrier, 15.9mm gypsum board finish (1 hr fire rated)
- (P2) Interior Wall (standard) - 12.7mm gypsum board, 38x89 studs @ 400 o.c. (second floor), 38x140 studs @ 400 o.c. (main floor), 12.7mm gypsum board
- (P3) Interior Wall (common walls, corridors & stairwells) - 15.9mm gypsum board tape X, 38x89 studs @ 400 o.c. (second floor), 38x140 studs @ 400 o.c. (main floor), 15.9mm gypsum board tape X, 45 min. fire rating
- (P4) Bearing Wall - 15.9mm gypsum board tape X, 38x140 @ 400 o.c., 15.9mm gypsum board tape X
- (F1) Floor Framing - 19mm OSB floor sheathing glue and screw, TJI-L65 joists as indicated on structural plans, 15.9mm gypsum board tape X ceiling finish, 45 min. fire rating
- (R) Roof Construction - EPDM membrane roofing 60 mil (min), flashing as per code, 18.3mm OSB sheathing, roof trusses at 610 o.c., R-40 batt insulation, vapour barrier, 15.9mm gypsum board tape X ceiling, 45 min. fire rating

Columns - fire rate with 2 layers of 12.7mm tape X gypsum board around all exposed faces

Beams - fire rate with 15.9mm gypsum board tape X around all exposed faces (see details)

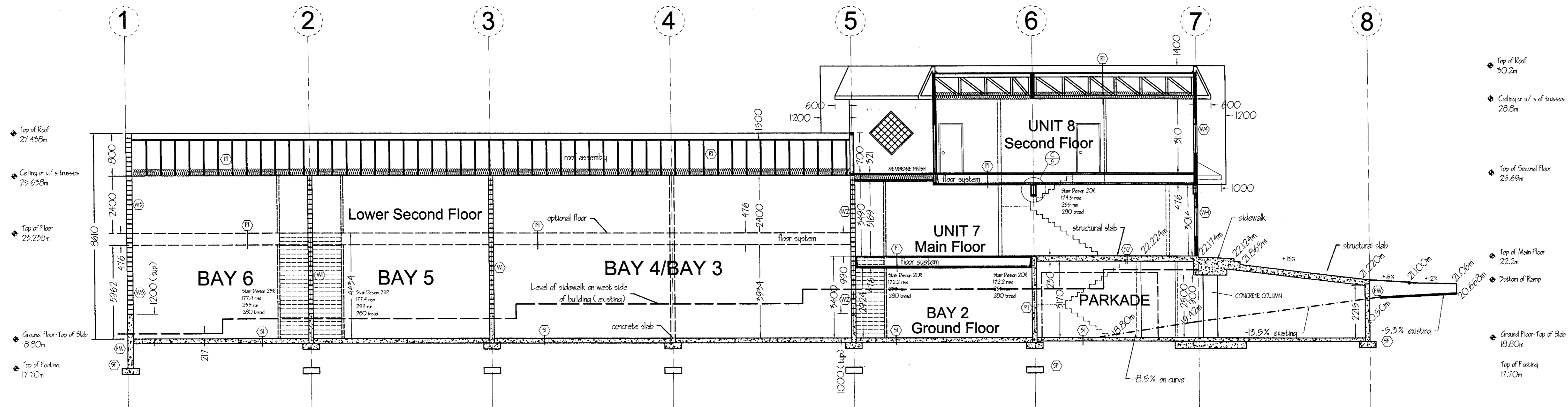
Mechanical Rooms - 1 hr. fire rated with 2 layers 15.9mm tape X gypsum board (interior face)

Wood Floor Assemblies - 45 min fire rated with 1 layer 15.9mm tape X gypsum board on ceiling face

Stair Wells - 45 min fire rated with 1 layer of 15.9mm tape X gypsum board to each side of stud framing

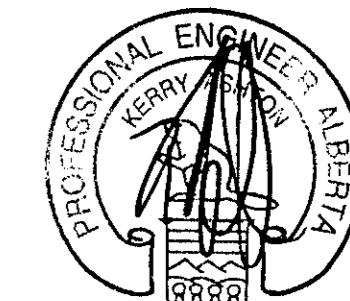
Truss Ledger - see detail E for additional information. (line A only)

Note: Install 1000mm wide canopy projection between ground floor / main floor, and main floor / second floor / lower roof. Fire rate with 2 layers 15.9mm tape X gypsum board. As per ABC 1997(9.2.5.16)



Section South - North
Scale 1:100

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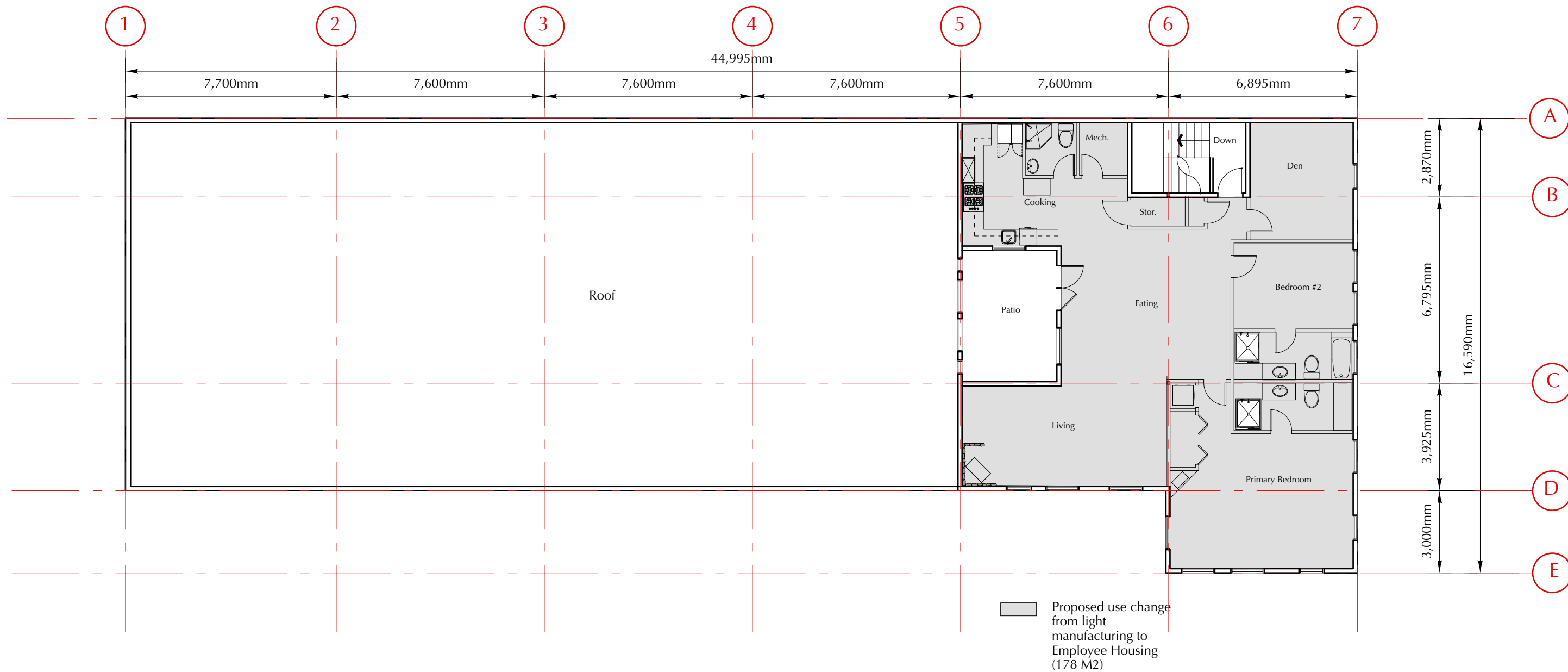
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CANMORE, ALBERTA
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403-678-2930

PROJECT
130 Bow Meadow Crescent
SECTION, DETAILS, & SPECIFICATIONS


DRAWN BY: Louis Desroches
DATE: July 10, 1999
SCALE: Scale 1:100
SHEET: A5-6

APPENDIX B

Proposed Second Floor Plan



1 Second Floor Plan
A2 Scale: 1:150

| | | | | | |
|----------------------|---|---|---|-----------|---|
| REVISIONS | PROJECT TITLE 130 Bow Meadows Cresnet, Canmore, Alta. Lot 2 Block 6 Plan 9512298 | This drawing is not to be scaled. The contractor shall verify all levels, datums and dimensions prior to commencement of work. All errors and omissions must be reported to the designer. This drawing must not be reproduced without written consent by the designer. | DATE May 14, 2023 SCALE AS NOTED PROJECT NO. DRAWN RF CHECK RF | <p>A2</p> |  <p>FINDLAY GROUP 202 - 729 10th Street Canmore, Alberta • T4W 2A9</p> |
|----------------------|---|---|---|-----------|---|

Employee Housing

130 Bow Meadows Crescent

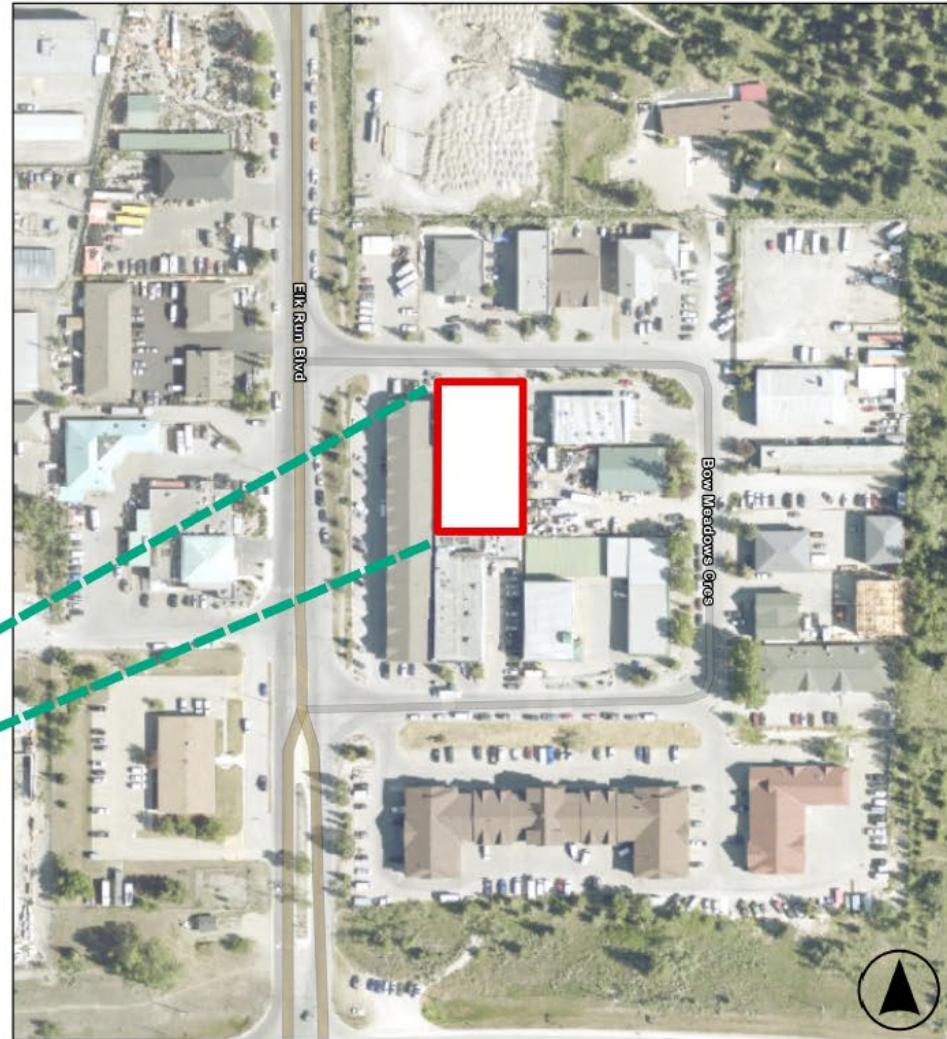
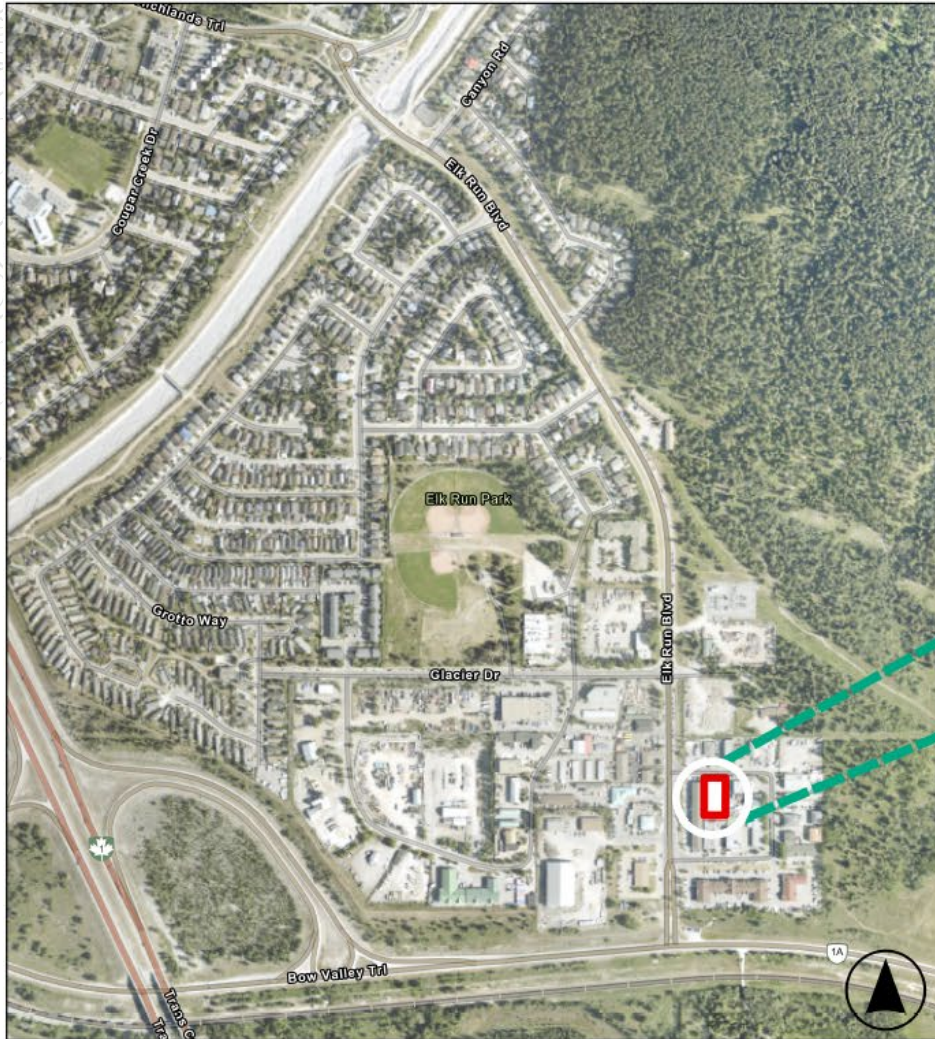
Subdivision & Development Appeal Board
December 14, 2023



McElhanney

Site Location

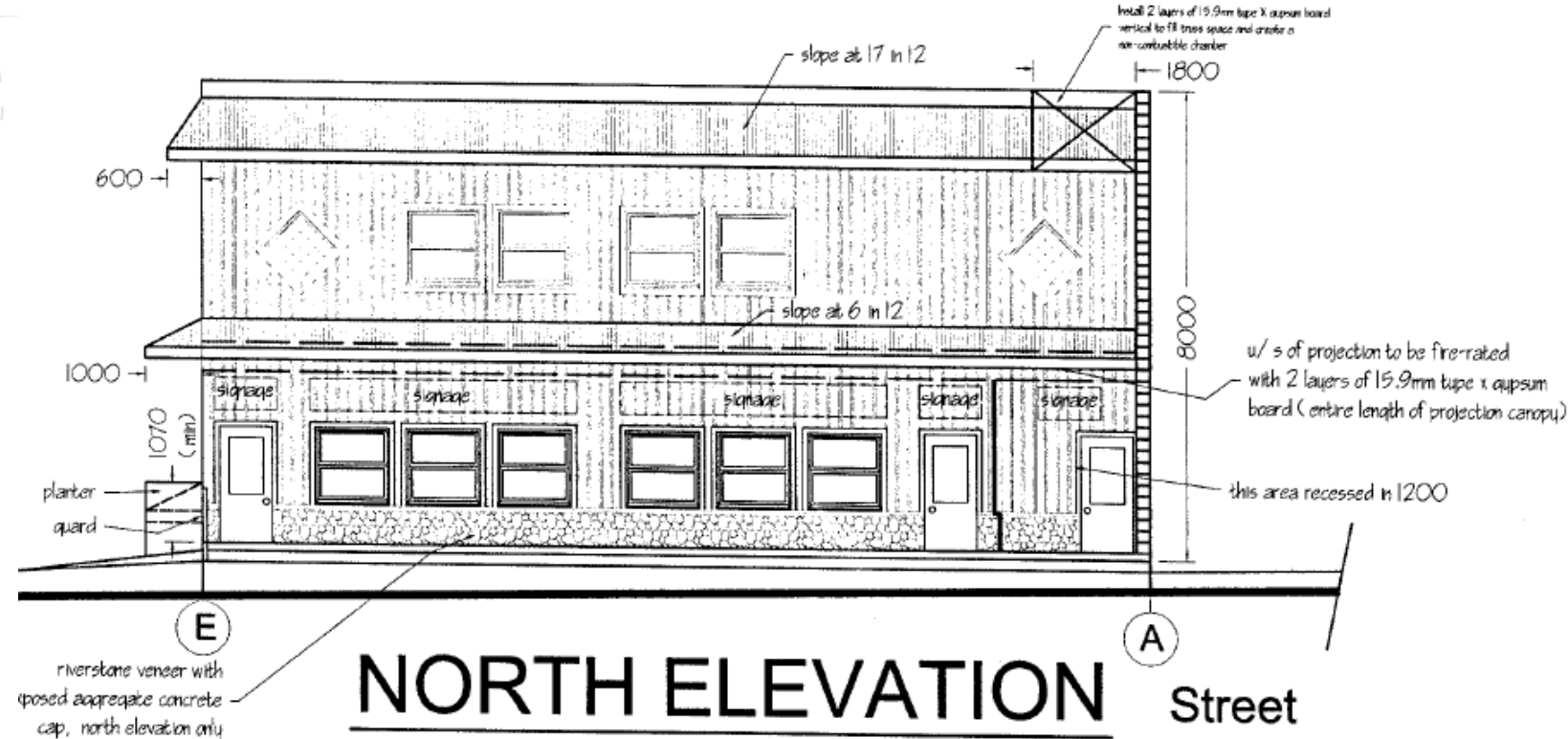
130 Bow Meadows Crescent



Proposal

Development approval for an existing **Employee Housing** unit.

130 Bow Meadows Crescent



Scale 1:100

Note: All finishes and colors to match that of the existing car wash building

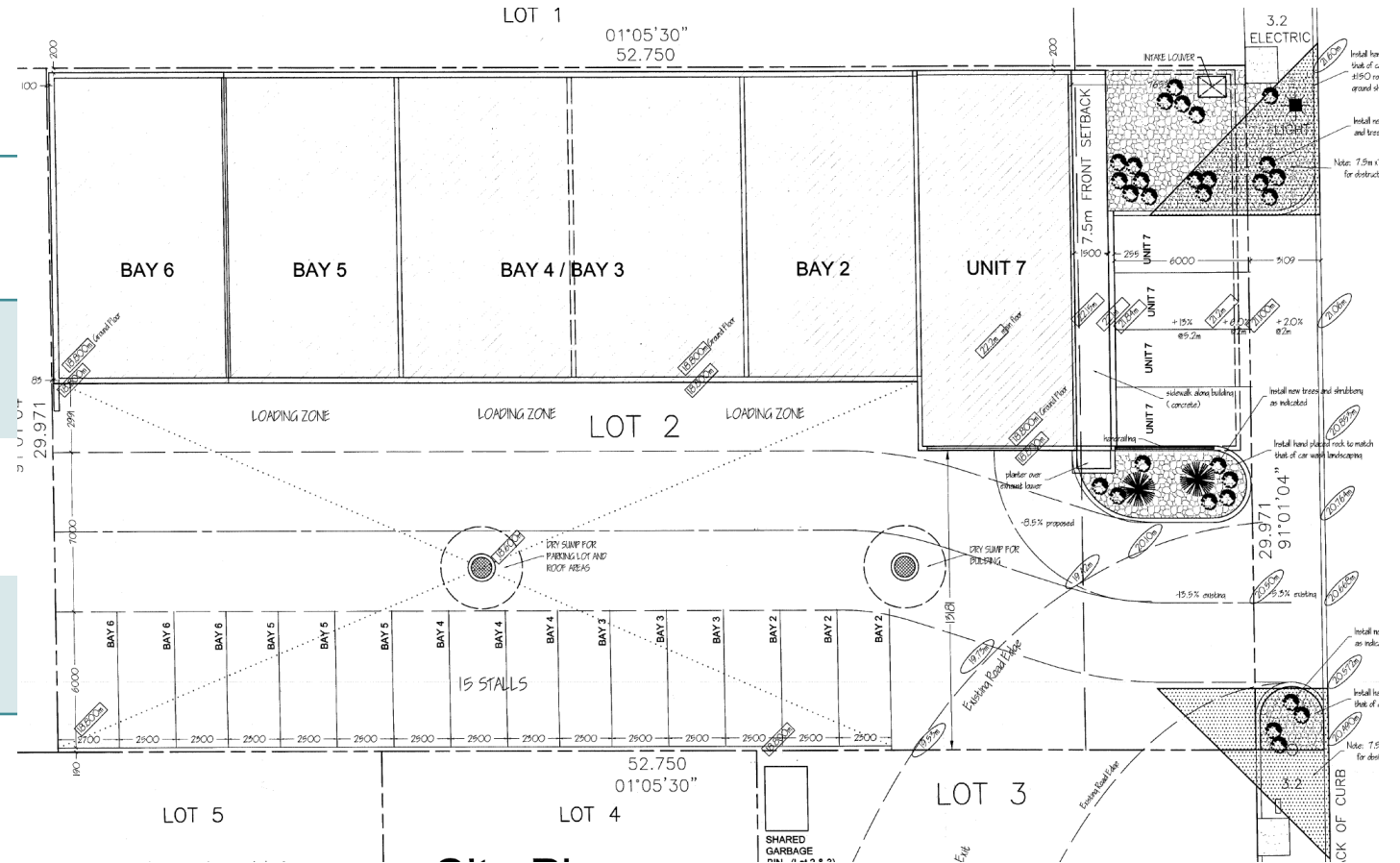
Site Development

Second Floor 202.53 m2 (2,180 ft2)

Ground Floor 516.49 (5,559 ft2)

Main Floor 202.53 m2 (2,190 ft2)

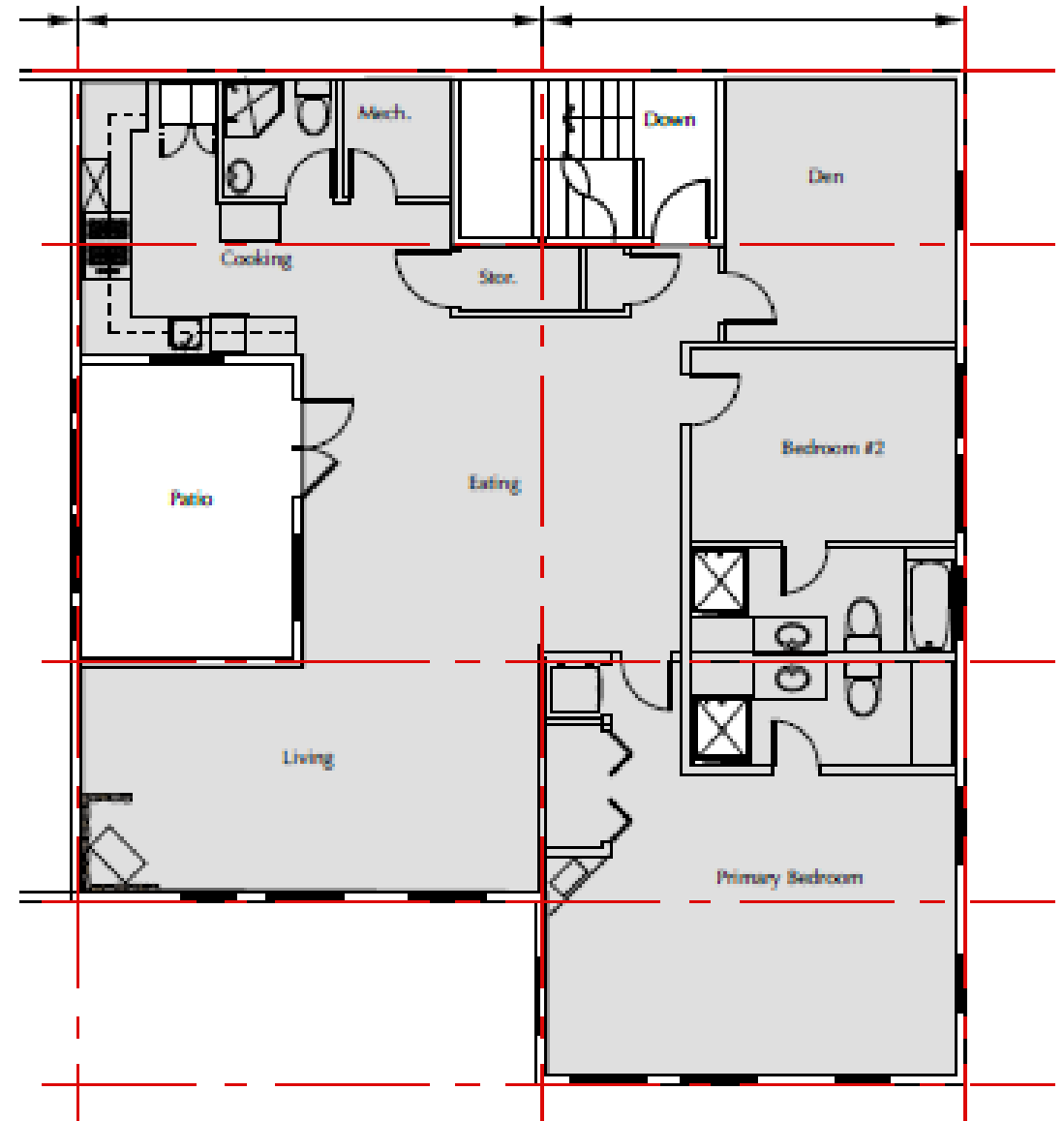
Gross Floor Area 938.35 m2 (10,102 ft2)



Second Floor Plan

Employee housing unit contains:

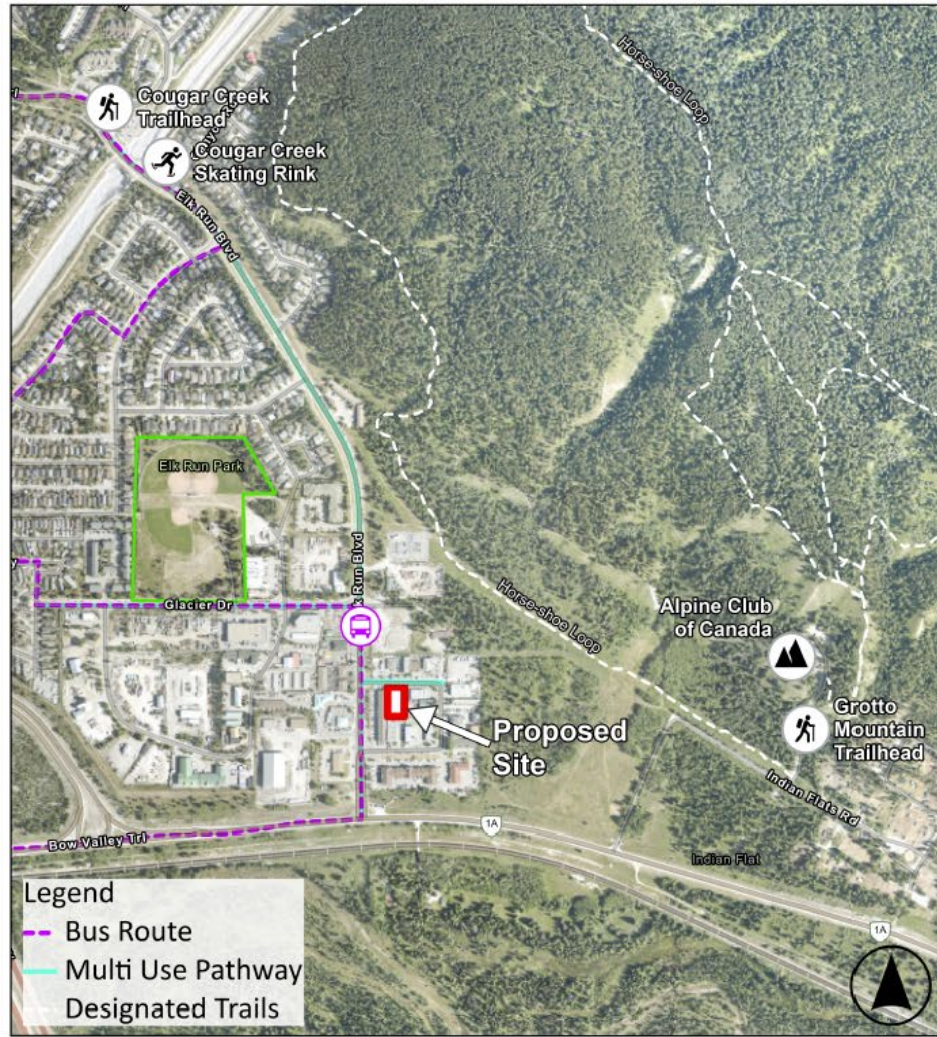
- Two bedrooms;
- Three bathrooms;
- Kitchen;
- Den;
- Living Area;
- Outdoor Amenity Space (Patio)
- 1,915 sq ft of space



Employee Housing Units



Nearby Amenities and Services



Nearby Amenities and Services



★ 130 Bow Meadows Cr.

- 1 Roam Bus – Less than 1 min walk
- 2 Daycare – 4 min bike ride, 10 min walk
- 3 Groceries (Valbella) – 1 min walk
- 4 Eating & Drinking Establishment (Wildlife/Sheepdog) – 3 min walk
- 5 Hiking/biking/running trails – 4 min walk
- 6 Dog Park – 8 min walk
- 7 New sidewalk – Immediately adjacent to site

Indian Flats Area Structure Plan

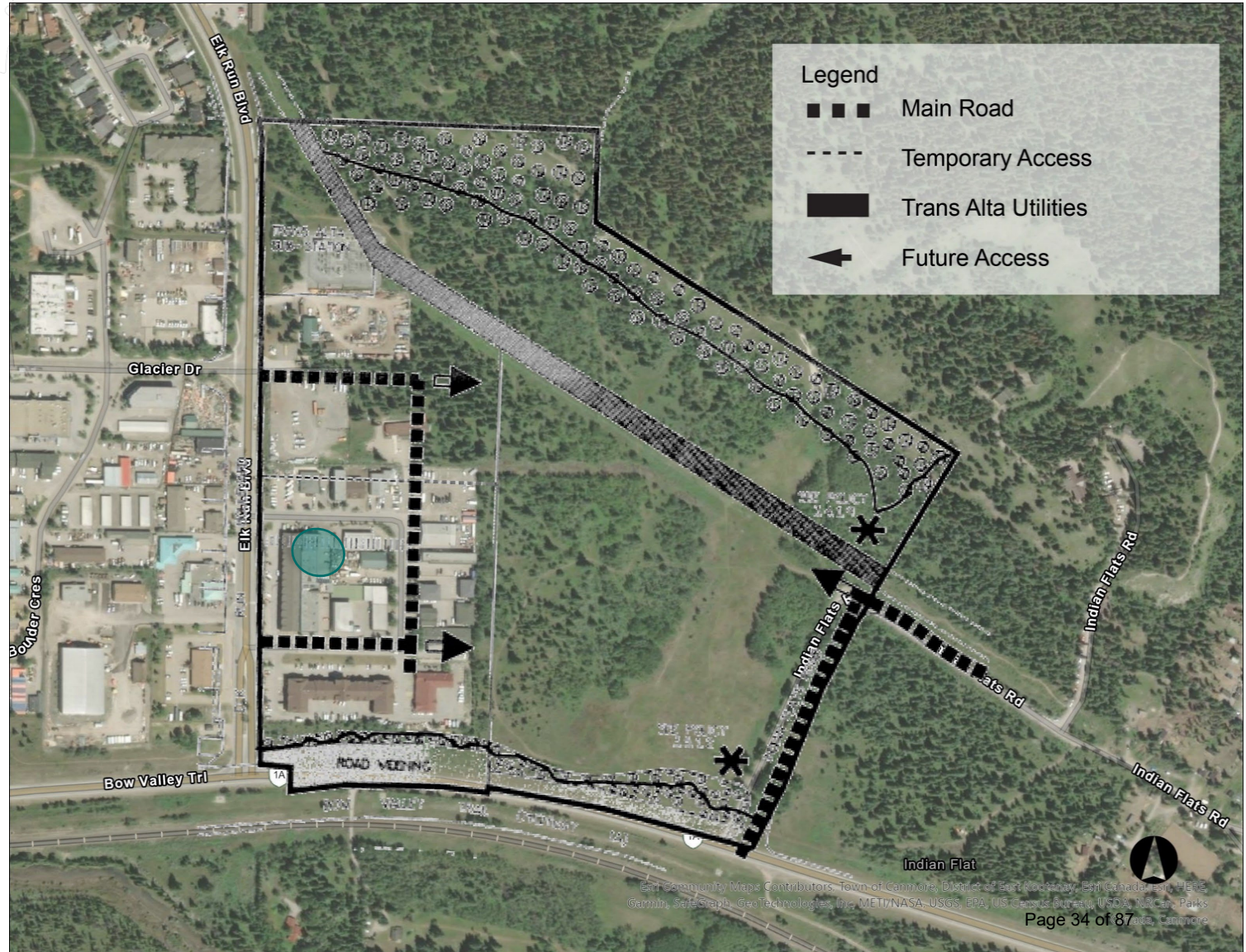
(Bylaw 7-94)

Objectives: To provide for a range of lot sizes that will accommodate diversified, clean, light industrial land uses.

Land Use: The ASP recognizes that “The tourist trade also requires access to certain associated industries which support its activities. Development restriction in the surrounding national and provincial parks suggest that Canmore has a future as the primary service centre for the area”

 Approximate site location

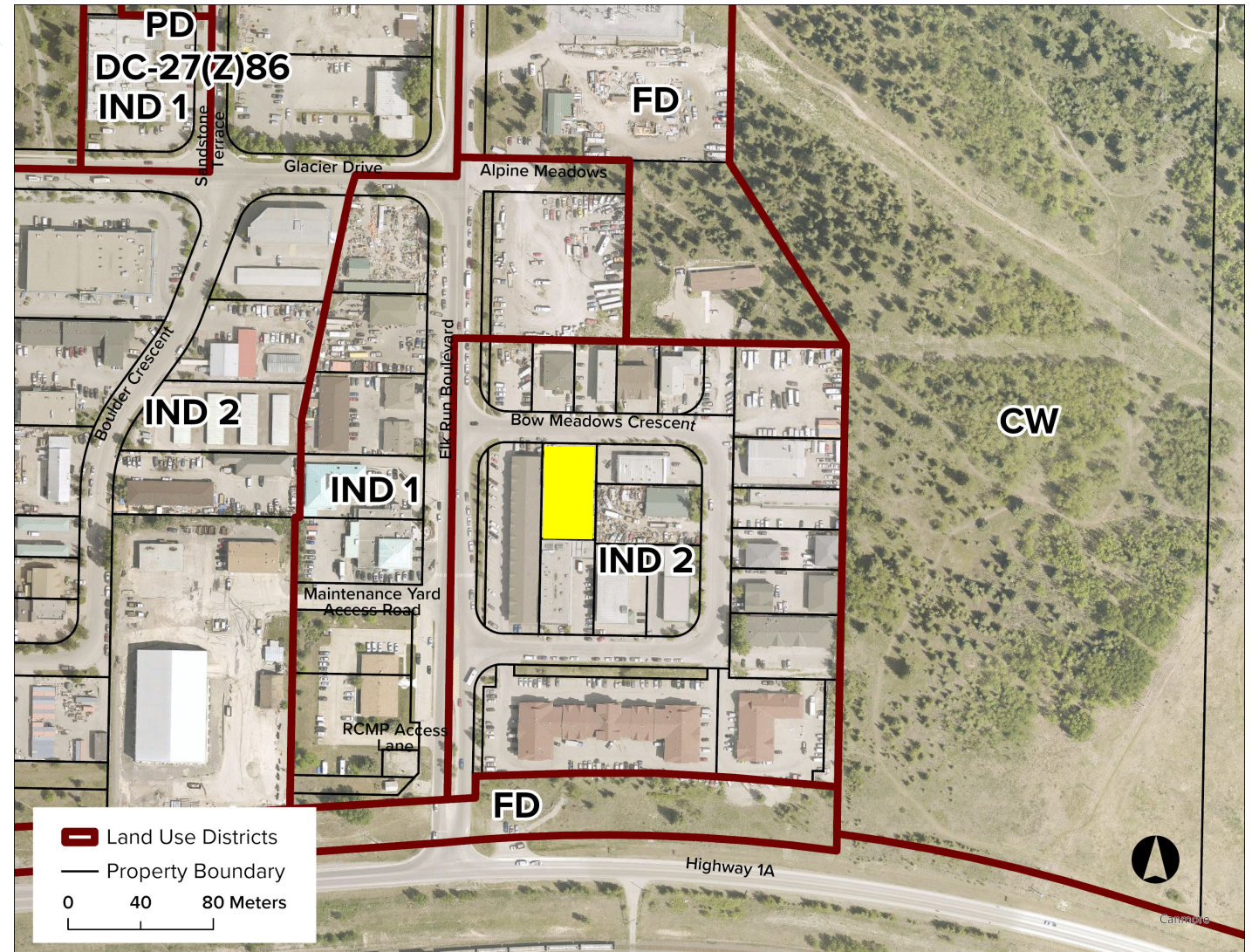
December 14, 2023 Subdivision and Development Appeal Board Hearing



Land Use Bylaw

IND 2 - GENERAL INDUSTRIAL DISTRICT

- **Employee Housing** allowed under Discretionary Uses
- Adding non-industrial uses (employee housing) does not displace current industrial uses (S. 5.3.4)
- Regulations in the IND2 District prohibit uses which create pollution or noxious odors, or fire and explosive risk (5.3.5)
- Units meet the criteria in LUB Employee Housing Provisions (S. 5.3.6)
- Consideration for **Discretionary** is evaluated on existing Council **approved statutory plans** **IE: Indian Flats ASP; Municipal Development Plan, Other Policies**



Canmore Municipal Development Plan

5.3.1 Conversion of spaces in the upper floors of existing buildings in industrial areas which are marginally useful for industrial purposes into **housing for employees and live-work spaces may be allowed.**

5.3.2 Development or conversion of upper floors of mixed-use or commercial buildings or main floor spaces that do not function well for commercial frontage into housing for **employees and live-work spaces may be allowed.**

5.3.4 Private initiatives to create additional seasonal and permanent employee housing opportunities should be supported by the Town.

Canmore Council Strategic Plan

Strategic Plan 2023-2026:

“The provision of affordable and accessible services is vital to our community. This includes a commitment to a range of underserved housing options.”

Canmore Economic Strategy

Economic Strategy 2020-2025 Pillar 3:

Retaining and attracting a talented workforce *“by ensuring access for all to housing, and quality amenities and facilities”*.

Conclusion

- The owners of the building reached out to nearby business owners and received **4 letters** in support of their application.
- The site context, applicable statutory plans, current land use district, and the existing developments near the site, indicate that the proposed development is **suitable for the site**.
- The development meets the intent of the **Area Structure Plan**, and this combined with the list of Permitted and **Discretionary** uses in the **Land Use Bylaw** indicate the developments suitability for the site.

Conclusion

- The Municipal Government Act, Part 17 the Planning and Development regulations, “provide means whereby plans and related matters may be prepared and adopted:
 - (a) to achieve the orderly, economical and beneficial development, use of land and patterns of human settlement, and
 - (b) to maintain and improve the quality of the physical environment within which patterns of human settlement are situated in Alberta,
without infringing on the rights of individuals for any public interest except to the extent that is necessary for the overall greater public interest.

Thank you



McElhanney



SUBDIVISION AND DEVELOPMENT APPEAL BOARD

STAFF REPORT



| | |
|------------------------------|--|
| DATE OF HEARING: | DECEMBER 14, 2023 |
| PROPOSED DEVELOPMENT: | CHANGE OF USE, GENERAL INDUSTRIAL TO EMPLOYEE HOUSING (1 UNIT) |
| APPLICATION NUMBER: | PL20230189 |
| LEGAL DESCRIPTION: | UNIT 1, PLAN 0010470 |
| CIVIC ADDRESS: | UNIT 200, 130 BOW MEADOWS CRESCENT |
| CURRENT USE(S): | GENERAL INDUSTRIAL |
| APPLICANT: | MCELHANNEY LTD. |

EXECUTIVE SUMMARY

This application proposes a change of use at Unit 200, 130 Bow Meadows Crescent to allow for the conversion of a space described in the application as 'general industrial' to a two bedroom plus den, employee housing unit. The property is designated General Industrial (IND 2) District in the Land Use Bylaw and governed by the Indian Flats Area Structure Plan. Employee Housing is listed as a discretionary use within the IND 2 land use district.

Administration refused the development permit application due to policy non-compliance with the Town's Municipal Development Plan and the Indian Flats Area Structure Plan.

AUTHORITY OF THE SDAB

For appeals of development permit applications, **the SDAB must comply with any applicable statutory plans** (MGA s. 687(3) (a.2)). Statutory plans are adopted by municipalities under Part 17, Division 4 of the MGA, and include intermunicipal development plans, municipal development plans, area structure plans and area redevelopment plans.

BACKGROUND

Municipal Development Plan (MDP)

The Town's MDP identifies that there is a limited supply of land available for industrial use and that industrial land shall be protected for industrial activity.

- *Industrial Goal #3 – “To conserve and protect the limited industrial land base and identify opportunities for new industrial lands.”*
- *Policy 12.1.3 - “Industrial lands shall be protected from adjacent uses that could impact the continued operation of industrial uses. This may include strategies such as buffering with open spaces or a gradual transition from industrial to commercial to residential uses”.*

However, the MDP also outlines that housing initiatives for those who work in Canmore should be supported.

- *Affordable Housing Goal #4 - “To cooperate with local businesses and the construction and development industry in finding innovative solutions to provide affordable housing for employees.”*
- *Policy 5.3.4 - “Private initiatives to create additional seasonal and permanent employee housing opportunities should be supported by the Town”.*

The MDP also provides a four-part test for when employee housing and perpetual affordable housing (now referred to as Vital Homes) could be considered within industrial areas:

- *Policy 12.1.8 - “Where residential development is proposed in industrial areas, the Town should consider the following issues:*
 - a. Residential uses are limited to housing for employees,*
 - b. Impacts from industrial uses are sufficiently small to make residential uses appropriate,*
 - c. Residential uses will not displace or inhibit the operation of existing or future industrial uses, and*
 - d. Residential units are subordinate to the industrial uses”*

Based on this test, a proposed application would need to meet all four parts of the test in order to be considered for development within an industrial area.

Indian Flats Area Structure Plan (ASP)

Adopted in 1994, the Indian Flats ASP directs that the purpose of the area is:

- *Goal 3.1.1.1 – “To provide for an area which allows a range of industrial activities that will be compatible with adjacent land uses.”*

As the ASP does not contemplate housing in this area, there is no policy direction in the ASP on whether residential housing is permitted and how it should be incorporated.

EXISTING SITE

The subject site fronts onto Bow Meadows Crescent, near the north intersection of Bow Meadows Crescent and Elk Run Boulevard. There is one existing building on the site, with two tenants on the ground floor, facing Bow Meadows Crescent. Five industrial bays are located on the lower level of building, facing a parking area. The unit proposed to be converted to employee housing is the only unit on the second floor.

Uses on properties adjacent to the subject site include:

- Paint shop and tour company to the north
- Multi-tenant industrial building to the south
- Car wash and general contractor to the east
- Multi-tenant industrial building to the west.

Please refer to Attachment I for site context images.

STATUTORY PLAN AND LAND USE BYLAW CONFORMANCE

Administration is of the opinion that the proposed Employee Housing unit does not comply with the applicable sections of the Land Use Bylaw (LUB) and does not support the proposed change of use for the following reasons:

MUNICIPAL DEVELOPMENT PLAN

As noted in the previous section, Policy 12.1.8 requires a four-part test to be met in order for employee housing to be considered appropriate in an industrial area.

With respect to 'plans', Policy 12.1.8 of the MDP (a statutory plan) outlines requirements to be met when employee housing is being considered in an industrial area:

Policy 12.1.8 - "Where residential development is proposed in industrial areas, the Town should consider the following issues:
a. Residential uses are limited to housing for employees,

This policy statement establishes a clear expectation that for housing to even be contemplated in an industrial area, the development authority must have confidence that it will only serve workers in the Bow Valley, now, and in perpetuity. This is a key off-set to the increased risk of conflict between residential and industrial uses in an industrial area. Administration's authority lies with regulating the use, and not the user. Further, the Town has no tools or mechanisms to enforce any programs or systems the developer might implement, in perpetuity. Similarly, the Town's experience is that enforcement on short-term rentals in residential units intended for long-term tenure can be challenging. Without such tools, the proposed housing could be used to house any individuals, regardless of their employment status, for any duration. Therefore, with no guarantees as to how the housing would be used in perpetuity, Administration does not support the proposed discretionary use.

b. Impacts from industrial uses are sufficiently small to make residential uses appropriate,

c. Residential uses will not displace or inhibit the operation of existing or future industrial uses, and

There are limited regulatory tools available to the Town to insulate the housing from the impacts of adjacent industrial uses. The parcel is located in the middle of the Elk Run Industrial Park, in proximity to an arterial road. Some of the adjacent uses (tour company) could be generally compatible with housing, however, adjacent existing development will change over time to other forms of industrial uses. This fluidity makes it difficult to establish design thresholds to ensure that occupants can enjoy their units. Although the ASP speaks to 'clean, light industrial uses' for this area, noise, smoke, and loading that are inherent with most industrial activity is still anticipated, and design cannot fully mitigate these elements enough to eliminate any potential conflict between uses.

This potential conflict with adjacent uses would not have been considered in the review of the building permit applications for the existing building. The Alberta Building Code imposes requirements based upon the proposed use(s) of the building at the time of application. Further, the applicant is only responsible for meeting the minimum requirements of the Building Code and would be under no obligation to make enhancements to the unit in order to mitigate future nuisances that may arise from surrounding industrial uses.

Industrial lands provide opportunity for land uses not permitted in other mixed-use areas such as distilleries, and manufacturing companies that produce higher noise, smell, or work with toxic substances. Canmore has limited areas where these industries could establish themselves or expand into, when current facilities no longer meet their growing needs. Permitting housing at this location poses a risk to this objective. Pressures on industrial land for non-industrial uses – driven by the relatively lower land costs in industrial area – is not a phenomenon unique to Canmore. Many municipalities have industrial land strategies intended to protect and maintain industrial areas because of these pressures.

Furthermore, should the vision for the type of industrial uses in the area change, the presence of residential development may present barriers to adding more intensive industrial uses to the district, as residents would be concerned about the quiet enjoyment of their property or unit, which could conflict with the basic operations of an industrial use. Therefore, it is important that the Elk Run Industrial Park be preserved to the greatest extent possible as an industrial park.

d. Residential units are subordinate to the industrial uses.”

The proposed change of use is for one unit located on the upper floor in an established industrial building. Administration would consider this one unit to be subordinate to the existing industrial uses present in the building.

As noted above, an application would need to meet all four parts of the test in order to be considered for development within an industrial area. Administration is of the opinion that all four parts of the test have not been met. Therefore, the application does not conform to the MDP’s policy framework for employee housing.

LAND USE BYLAW

Section 1.10.0.3 a. and b. of the LUB provides guidance for the Development Authority in evaluating a discretionary use within a land use district:

1.10.0.3 When making a decision on a Development Permit for a Discretionary Use, the Development Authority shall consider:

a. Any plans or policies affecting the parcel;

Plans that apply to the subject lands are the relevant sections of the MDP and Indian Flats ASP, as discussed in the previous section. The discussion demonstrates that the proposed employee housing unit does not comply with the relevant sections of the MDP and Indian Flats ASP.

b. The location of the parcel and the appropriateness of the proposed development;

The subject site is located in an area that does not have commercial or recreational services within a short walk or bicycle ride. The lack of access to services that residents elsewhere in Canmore have makes the proposed location inappropriate for housing. Further, employees who would live above their place of employment do not have the ability to leave the park to return to their place of residence, which would detract from what a typical resident living and working in Canmore would experience. Therefore, Administration are of the opinion that the proposed employee housing unit does not comply with Section 1.10.0.3.b.

Section 5.3.6.1 of the LUB provides specific regulations for Employee Housing uses in the IND 2 General Industrial District. The subsection lists six criteria for considering Employee Housing uses in this land use district:

5.3.6.1 Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

a. Adequate long-term and legally binding provisions are in place to ensure the units remain as bona fide Employee Housing and are demonstrably subordinate in terms of area and intensity to other uses in the building.

The applicant in their justification for the application, has suggested potential options to address Section 5.3.6.1 a:

- Placing a restrictive covenant on title of the unit to ensure that it remains for employees.
- Setting up a program where an annual declaration is made to renew a temporary development permit.
- Requiring the unit holder to sign a statutory declaration annually that the unit is being used for employee housing.

None of the above potential solutions are acceptable to Town Administration. A restrictive covenant could be rescinded without notice to the Town and it would be up to the Town to enforce an agreement that it would not be a party to. Regarding the other two suggestions, Town Administration does not have the capacity to maintain an annual 'employee housing registry' or to monitor a statutory declaration for one property.

b. The space proposed for Employee Housing would not be reasonably used for commercial or industrial purposes.

Upper floor spaces in industrial buildings typically function as offices or business support functions for larger ground floor industrial operations. The existing second floor unit is self-contained and has a separate entrance from the front entrance of the building. Therefore, Administration is of the opinion that the space could reasonably continue to be used for commercial or industrial purposes.

c. The Employee Housing units are appropriate in design for Employee Housing, particularly with respect to unit size.

The proposed employee housing unit is 178 m² and would occupy the entire second floor unit in the existing building. Administration is not concerned with the size of the unit.

d. Employee Housing units would not constrain any future permitted or discretionary, commercial or industrial uses from developing on the site or on surrounding areas.

e. Employee Housing would not unduly interfere with existing and any potential industrial development in the area.

Approval of the proposal could have an adverse effect on the properties near the subject site, particularly uses that produce noise, yet would normally be appropriate for an industrial area. Lands on Bow Meadows Crescent have the IND 2 land use designation, which allow for a wider range of uses that could have a greater impact on a residential use. Many of the listed uses are discretionary, which would require notification that a specific use was being proposed. More people living in the Elk Run Industrial Park will increase the number of residents potentially affected by a listed use within the IND 2 designation and interfere with the ability of the Town's efforts to attract a diversified mix of industry.

f. Outdoor Amenity Space such as balconies may be provided as part of the Employee Housing while meeting all of the above-described requirements in regard to impacts to or from adjacent industrial uses.

The proposed amenity for the site is an existing patio that opens from the second story unit at the same level as the roof. Given how the existing lot is paved for automobile parking and circulation, with a very small front yard setback, no other amenity space on the subject land is possible. The subject site does not have short-term bicycle parking stalls.

Based on the discussion above, Administration is of the opinion that the application does not conform to the regulations within Section 5.3.6.1 of the Town's Land Use Bylaw.

OPTIONS FOR CONSIDERATION

Section 687(3)(c) and (d) of the MGA provide that, in making a decision on a development appeal, the board may:

- confirm, revoke or vary the order, decision or development permit or any condition attached to any of them or make or substitute an order, decision or permit of its own;

Accordingly, the SDAB has the authority to:

1. Approve the application subject to the conditions in Schedule A.
2. Approve the application subject to the conditions in Schedule A and any conditions.
3. Refuse the application, specifying reason(s) for refusal.

RECOMMENDATION


The Planning & Development department recommends that the Subdivision & Development Appeal Board REFUSE application PL20230189. Should the SDAB choose to approve application PL20230189, the recommended conditions are included in Attachment 5.

ATTACHMENTS:

1. Site Context
2. Zoning Map
3. Bylaw Conformance Review
4. Submitted Plans
5. Schedule A – Proposed Conditions of Approval



Lauren Miller, RPP, MCIP, AICP
Manager of Planning & Development



Harry Shnider, RPP, MCIP
Senior Development Planner

ATTACHMENT I – SITE CONTEXT



Aerial Photo of subject site and surrounding area



Photo of subject site from Bow Meadows Crescent



Photo of lower level units of Subject Site

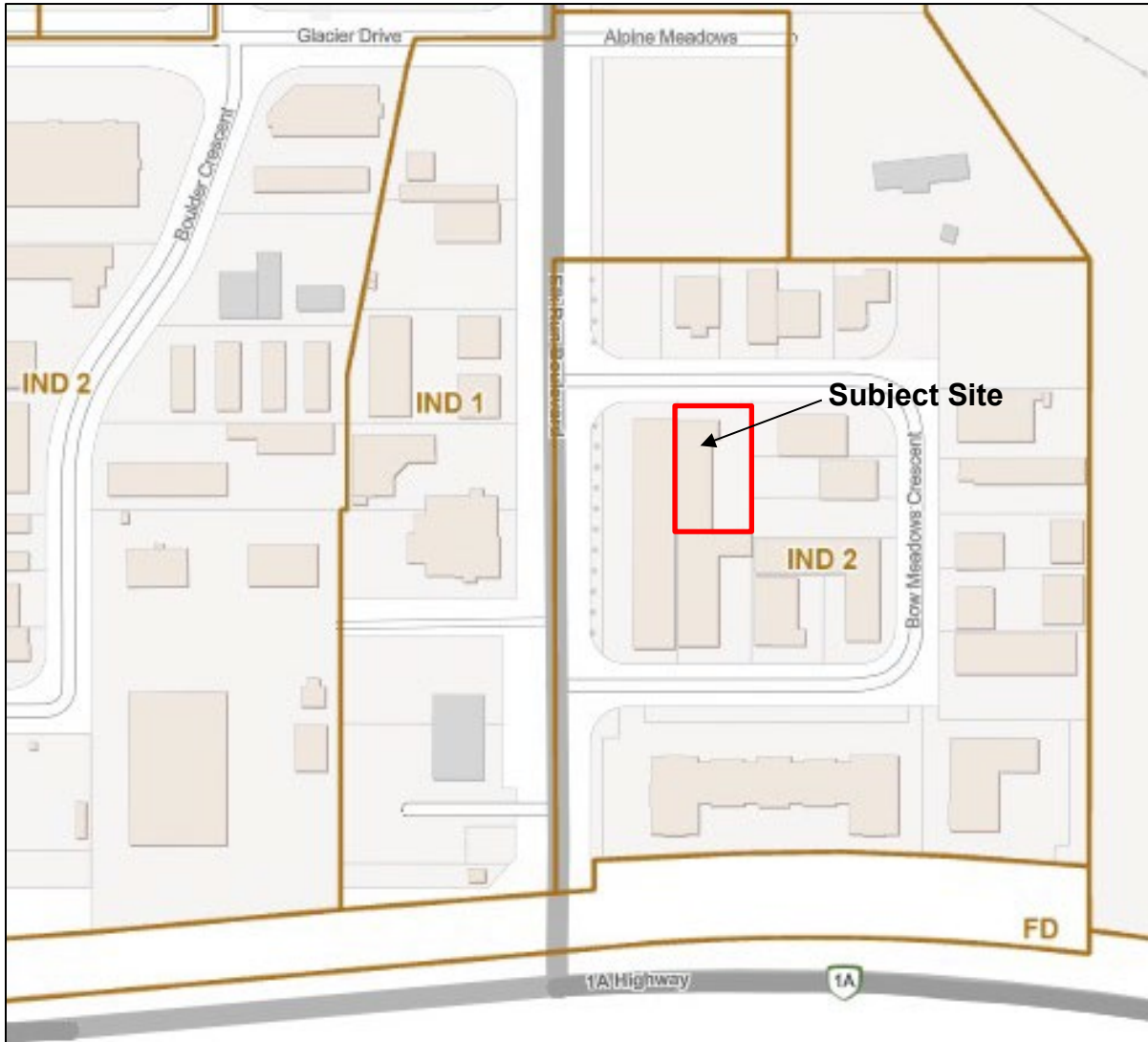


View from Subject Site west to Elk Run Boulevard



View from Subject Site east on Bow Meadows Crescent

ATTACHMENT 2 – ZONING MAP



ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

| REQUIREMENT | BYLAW 2018-22 | PROPOSED | VARIANCE |
|--|----------------------|-----------------|-----------------|
| ONLY USE-RELATED REQUIREMENTS (SEE REPORT) | N/A | N/A | N/A |

ATTACHMENT 4 – SUBMITTED PLANS

Attachment 4.1 – Existing Building Plans, 130 Bow Meadows Crescent

LOT 1
01°05'30"
52.750

LOT 8

- General Notes**
1. Ground Floor 516.49 m²
Parkade 235.41 m²
Footprint = 751.90 m²
 2. Main Floor 219.33 m²
 3. Second Floor - upper 202.53 m²
- lower 189
 4. Total Area = 938.35 m²
 5. Total Possible = 1351.50 m²

- Parking Information**
1. Actual requirements for each bay will be the responsibility of each owner. Separate Development Permits with the Town of Camrose will be required.
 2. Proposed area 3 stalls for each of Bays 2, 3, 4, 5, & 6.
 3. Total stalls on lot are 24.
 4. Stall requirement range per m² (proposed)
938.35m²/46m² = 20 stalls required (max)
938.35m²/93m² = 10 stalls required (min)
 5. Stall requirement range per m² (at total build out)
1351.50m²/93m² = 15 stalls (min)
Unit 7 & 8 = 426.86m²/46m² = 9 stalls (max) 9 actual
Bay 2, 3, 4, 5, 6 = 1035m²/93 = 111 stalls (min) 15 actual
363m²/46m² = 7.8 stalls and
670m²/93m² = 7.2 stalls for a total of 15 stalls

Lot & Legal Information

Lot 2
Block 6
Plan 9512298
130 Bow Meadows Crescent

Town Zoning "M2"
ABC 1997 - Medium Hazard Industrial (F-2)
(Fire safety compliance clause 3.2.2.69)

Site Plan

Scale 1:100

SHARED GARBAGE BIN (Lot 2 & 3)

Car Wash Exit

Existing Road Lake

Existing Road Lake

BACK OF CURB

ELECTRIC

ELECTRIC

ELECTRIC

ELECTRIC

ELECTRIC

- Note:**
1. Building services and connections to meet the Town of Camrose - Engineering Department specifications.
 2. Design of Service Connections and Dry Sumps to be designed by others.
 3. Final drainage plan to be verified prior to construction commencement.
- Landscape Notes**
1. Landscaping required at 10% of lot area equals 1581m² x 10% = 1581m²
 2. Actual landscaping with sidewalks 92m² or 5.8%
 3. Actual landscaping including balconies 129.4m² or 8.2%
- Actual landscaping shown is approximate. Detailed plan by other may be necessary prior to completion of this project.

- Plan Index**
- A1 - Site Plan & Notes
 - A2 - Ground Floor Plan
 - A3 - Window & Door Schedules
 - A4 - Main & Second Floor Plans
 - A5 - Elevations
 - A6 - Section, Specifications, & Details
 - A7 - Roof Plan

130 Bow Meadow Crescent
SITE PLAN

LOUIS DESTROCHES
DATE: JUL 10, 1999
SCALE: 1:100

AL-6

PERMIT TO PRACTICE
ASHTON JAMES BISHING INC.
Signature: [Signature]
Date: July 10, 1999
PERMIT NUMBER: P 6223
The Association of Professional Engineers, Geologists and Geomorphologists of Alberta

PROFESSIONAL ENGINEER
ALBERTA
[Stamp]

BLUEPRINT DESIGN & DRAFTING
#24 - 241 8TH AVE S1033CE
CANADIAN, ALBERTA
T4N 1J1
405 678-2990

| No. | REVISION / SCALE | Date |
|-----|------------------|---------|
| 1 | Permit Issue | 7/24/99 |

December 14, 2023 Subdivision and Development Appeal Board Hearing

DOOR SCHEDULE

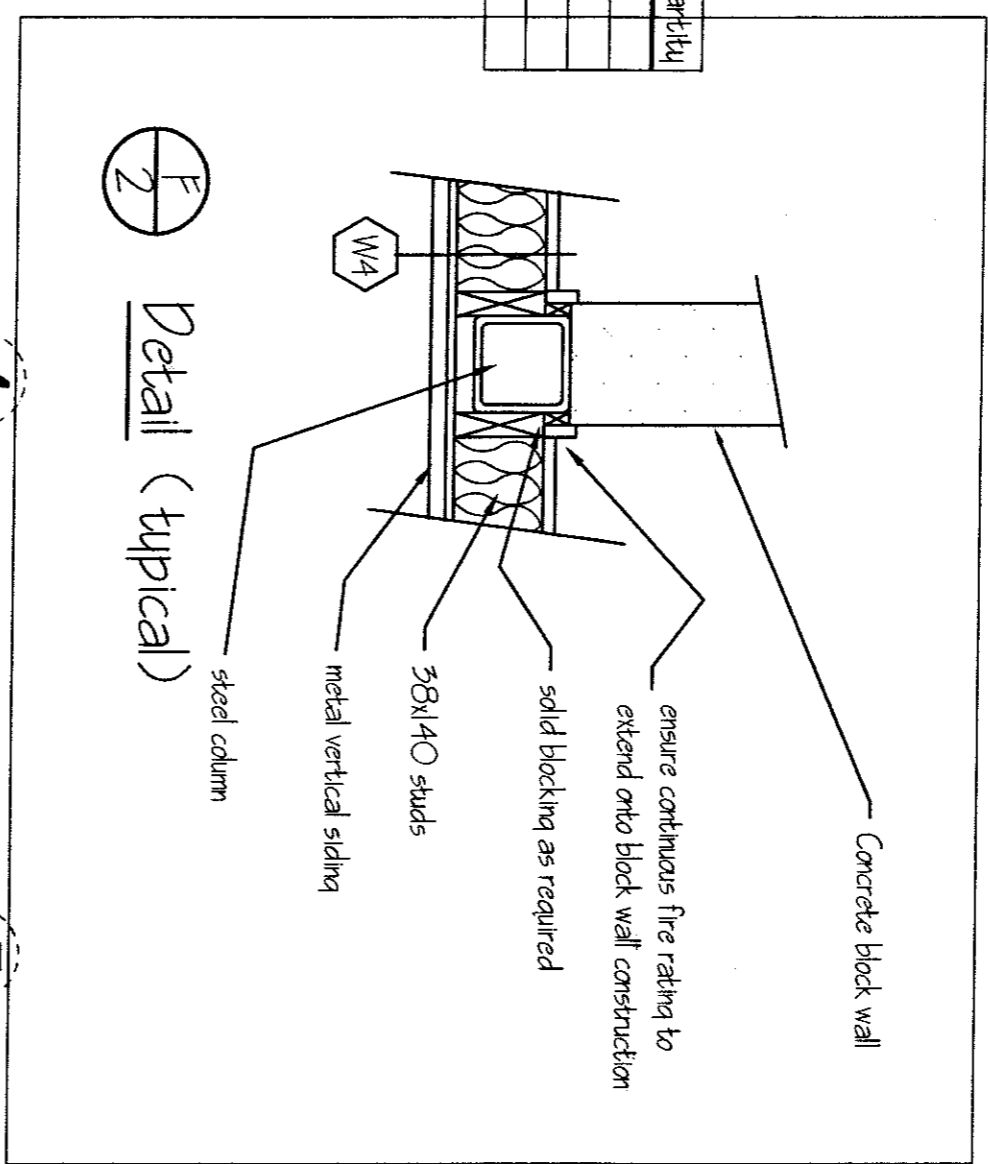
| No. | Size | Type | Frame | Hardware/remarks | Quantity |
|-----|-----------|------------|------------------------------|------------------------------|----------|
| 1 | 1002/0900 | (exterior) | metal insulated / half glass | extruded aluminum | 5 |
| 2 | 1002/0900 | (exterior) | metal insulated | half glass extruded aluminum | 6 |
| 3 | 1002/0900 | (exterior) | metal insulated | extruded aluminum | 1 |
| 4 | 1896/2090 | (exterior) | metal 1.5ft fire rated | slim, or slim, clad | 1 |
| 5 | 1002/0900 | (exterior) | metal 1.5ft fire rated | extruded aluminum | 2 |
| 6 | 1002/0900 | (exterior) | metal hollow core | extruded aluminum | 1 |
| 7 | 1002/0900 | (exterior) | metal hollow core | extruded aluminum | 1 |
| 8 | 1002/0900 | (exterior) | metal hollow core | extruded aluminum | 1 |
| 9 | 1002/0900 | (exterior) | metal hollow core | extruded aluminum | 1 |
| 10 | 2660/2660 | (overhead) | metal insulated | wood or aluminum | 3 |
| 11 | 4980/2745 | (overhead) | metal insulated | wood or aluminum | 3 |
| 12 | 3660/2745 | (overhead) | metal insulated | wood or aluminum | 1 |
| 13 | 2745/2745 | (overhead) | metal insulated | wood or aluminum | 1 |

- Note:
1. Owner may adjust sizes, style, or locations if required and to coordinate with supplier.
 2. Adjust openings for wood or metal studs, block construction, and masonry openings.
 3. These doors are those required for structure as indicated and does not include tenant improvements.

WINDOW SCHEDULE

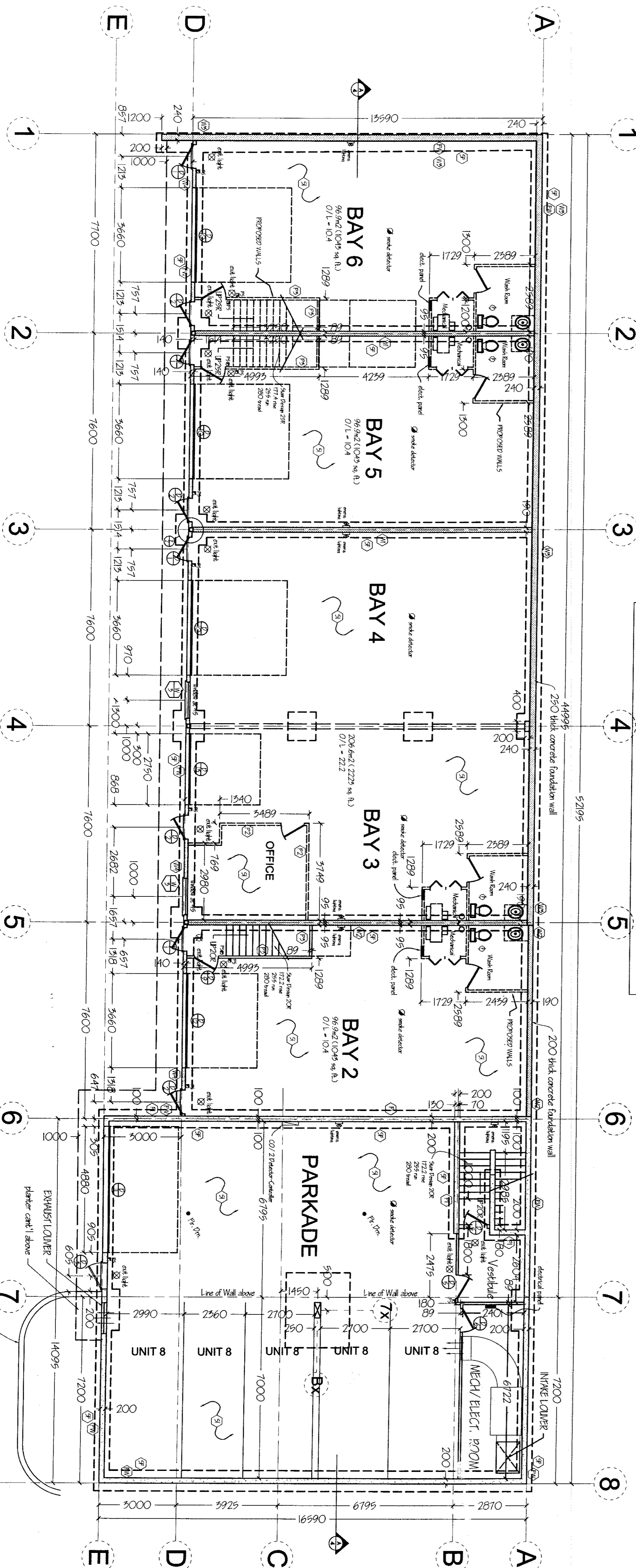
| No. | Size | Type | Frame | Hardware/remarks | Quantity |
|-----|-----------|---------------------------|---------------------------------|-------------------------|----------|
| 1 | 1200/1200 | fixed over casement | slim, or slim, clad wood | standard double drizing | 27 |
| 2 | 1200/1200 | glass block at 45 degrees | pre-fab or site built, as req'd | 1900/00 standard clear | 5 |
| 3 | 1200/1200 | fixed over casement | slim, or slim, clad wood | standard double drizing | 2 |
| 4 | 1800/1800 | fixed over casement | slim, or slim, clad wood | standard double drizing | 1 |

- Note:
1. Owner may adjust sizes, style, or locations if required.
 2. Window rough openings and sizes to be coordinated with supplier prior to construction.



GENERAL NOTES

1. All dimensions, details, and levels must be verified on site. Report any discrepancies to Blueprint Design prior to construction.
2. Construction to conform to the 1997 Alberta Building Code, local resolutions, and bylaws in the Town of Camrose.
3. Refer to the Building Specifications for additional information on the construction of this structure.
4. This drawing is in Metric unless otherwise noted.
5. Refer to the Engineer's drawings for additional information on the building structure.
6. Refer to 'Smogger's' Plan for additional site information.
7. Coordinate all interior and exterior finished with the building owner. Finishes shown may not be exactly as built.
8. Install fire dampers on parkade ventilation system intake and exhaust.
9. Fire rate all chimney stacks, CA & FA intakes from Main Floor through the Second Floor Assembly and Roof Assembly.
10. The Occupant Load for this structure has been calculated using a factor of 9.2/m² per person.
11. All roof drains to be discharged into the parking lot surface. The locations shown on the roof plan may be adjusted if as required or as approved by the contractor / owner.
12. Parking Lots to have any sumps as shown, and to be sized to allow for ice and roof drainage. (TBP by others)
13. Fire Rating: (All gypsum board to be type X for this construction)
14. Interior Walls: (All gypsum board to be type X for this construction)
15. Interior Walls: (All gypsum board to be type X for this construction)
16. Elevation Walls at property line - 2 hours
17. Slab between Main floor and Parkade - 2 hours
18. Second Floor Framing - 45 min.
19. Roof Assembly - 45 min.
20. Columns - clad with 2 layers of 12.7mm type X gypsum board all exposed sides
21. Beams - clad with 1 layer 15.9mm type X gypsum board all exposed sides
22. Mechanical rooms & chases 1 hour
23. Refer to the structural drawings by Ashton Engineering Inc. for additional information on columns, beams, and framing details.
24. All workrooms on the Main Floor to be constructed to Physically Challenged Standards.
25. Refer to Site Servicing Plans by others for additional information on catch basins, grades, and services tie-ins.
26. Building to have Emergency Lighting as per ABC 1997 (5.2.7)
27. Building to have Emergency Lighting as per ABC 1997 (5.2.7)
28. Install all handrails as per ABC 1997 (5.4.6.4)
29. Unit partition walls shown are approximate. Owner / tenant may adjust as required to satisfy, occupant and use for individual units. Any adjustments will require a Development Permit, Building Permit, and the review by the Building Services Officer and / or a P. Eng.
30. Provide an approved Fire Alarm System for this building in accordance with ABC 1997 (5.2.4).



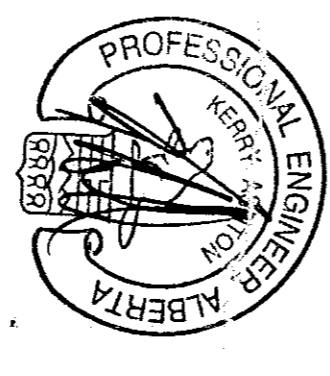
Ground Floor Plan 516.49m² (+235.41m²)
Scale 1:100

- Note:
1. Parkade ventilation design by others.
 2. Parkade area to be finished with ceiling mounted gas radiant units.
 3. The stair into the parkade area to be cast in place concrete, details as specified by P. Eng.
 4. Install emergency lighting as per ABC 1997 (5.2.7)
 5. Refer to mechanical plans by others for information on service tie-ins, drains, and dry sump details.
 6. Builder to allow for positive drainage to all floor drain locations.
 7. CA & FA intakes to be determined by Mechanical contractor.
 8. Electrical panel and rough-in to each unit as specified by Electrical contractor.
 9. Allow for Fire Alarm pull stations at all exit locations as shown on plan. (TBP by others)
 10. Builder to rough-in services, wash room, mechanical, and electrical into Bays 2, 3, 4, 5, 6, 7. Tenant will be responsible for all interior improvements, including development and building permits.

LEGEND

- Exit Light
- Emergency Lighting
- Pull Station
- Smoke Detector
- Exhaust Fan
- Electrical Panel

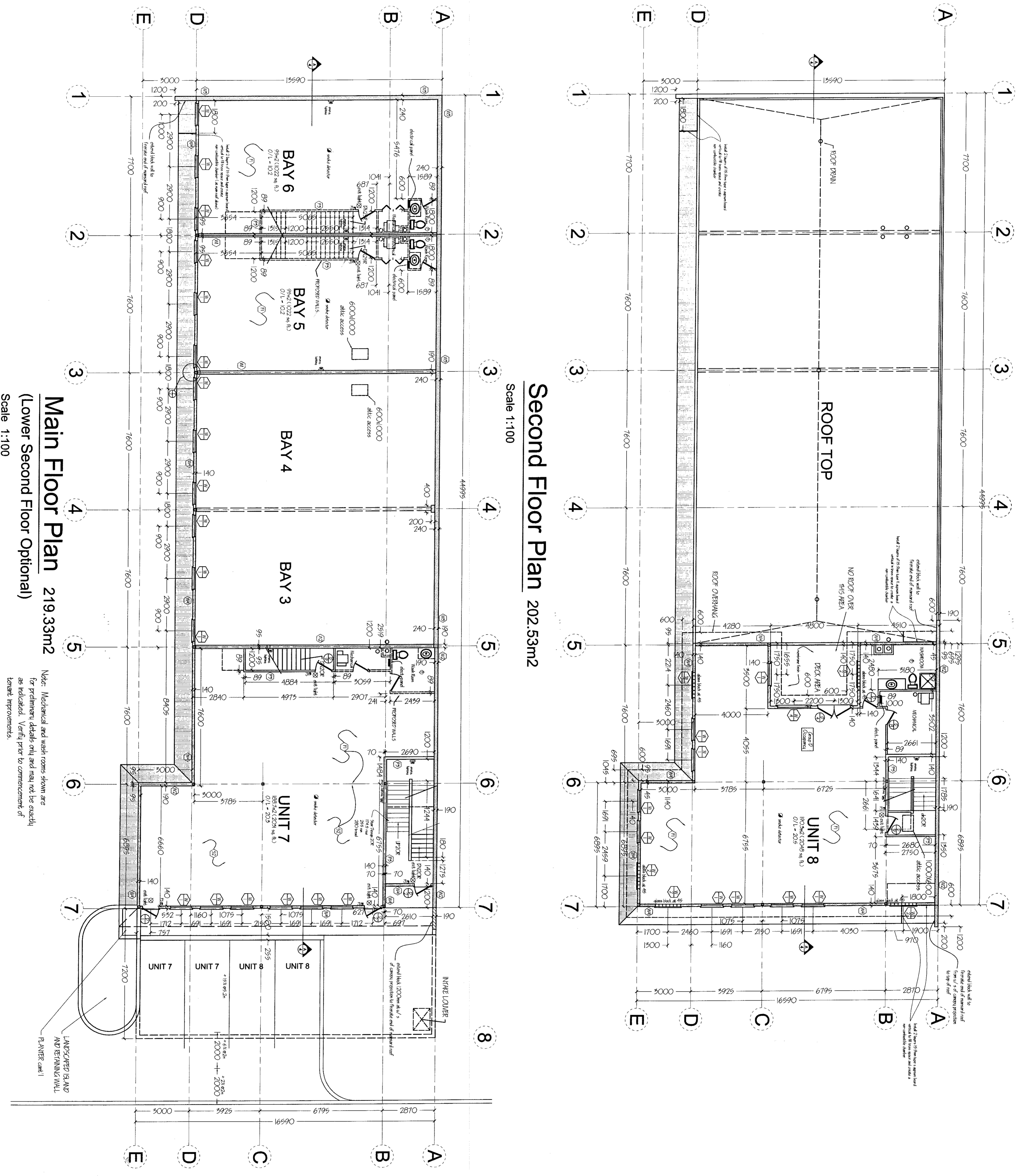
PERMIT TO PRACTICE
ASHTON ENGINEERING INC.
Signature: [Signature]
Date: May 30, 2014
PERMIT NUMBER: P-6223
The Association of Professional Engineers, Geoscientists and Geophysicists of Alberta



BLUEPRINT DESIGN & DRAWING
#24 - 24th BENDLANDS TERRACE
CANADIAN, ALBERTA
T1W 1G1
403-678-2990

130 Bow Meadow Crescent
GROUND FLOOR Schedules & Notes

DESIGNED BY: Louis Desroches
DATE: July 10, 1999
SCALE: 1:100
A2-6



Second Floor Plan 202.53m2
Scale 1:100

Main Floor Plan 219.33m2
(Lower Second Floor Optional)
Scale 1:100

Note: Mechanical and wash rooms shown are for preliminary details only and may not be exactly as indicated. Verify prior to commencement of tenant improvements.

| LEGEND | |
|--------|--------------------|
| | Exit Light |
| | Emergency Lighting |
| | Pull Station |
| | Smoke Detector |
| | Exhaust Fan |
| | Electrical Panel |

PERMIT TO PRACTICE
ASHTON ENGINEERING INC.
Signature: *Michael J. Lynch*
Date: 30/07/99
PERMIT NUMBER: P 8223
Professional Engineer
Geotechnical and Foundations & Retention

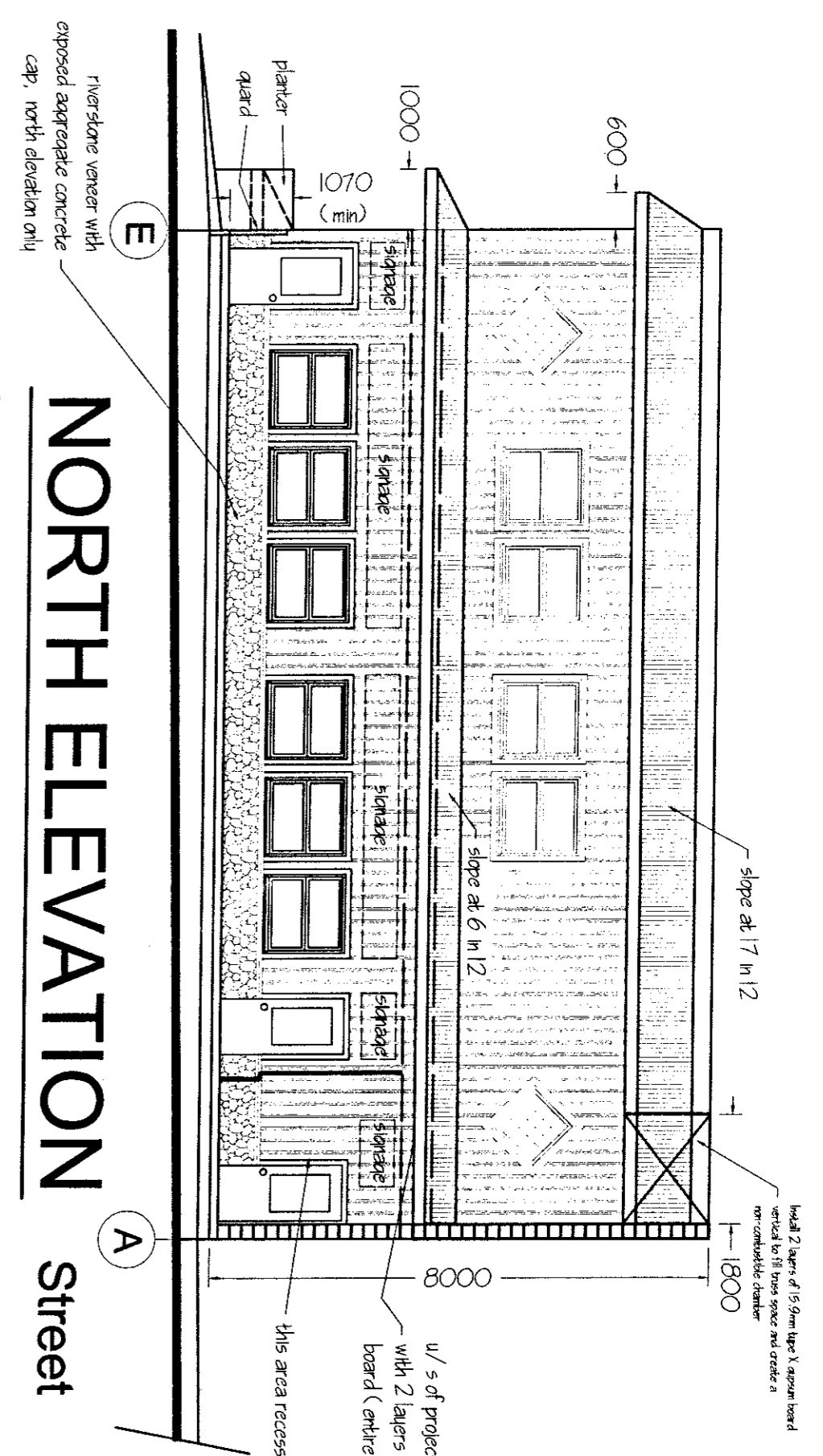


| No | REVISION / ISSUE | DATE |
|----|------------------|---------|
| 1 | Permit Issue | 7/24/99 |
| | REVISION / ISSUE | 7/24/99 |

BALUPRINT DESIGN & DRAFTING
#24 - 241 BENCHLANDS TERRACE
CANMORE, ALBERTA
T1W 1J1
403 678-2930

130 Bow Meadow Crescent
MAIN FLOOR & SECOND FLOOR

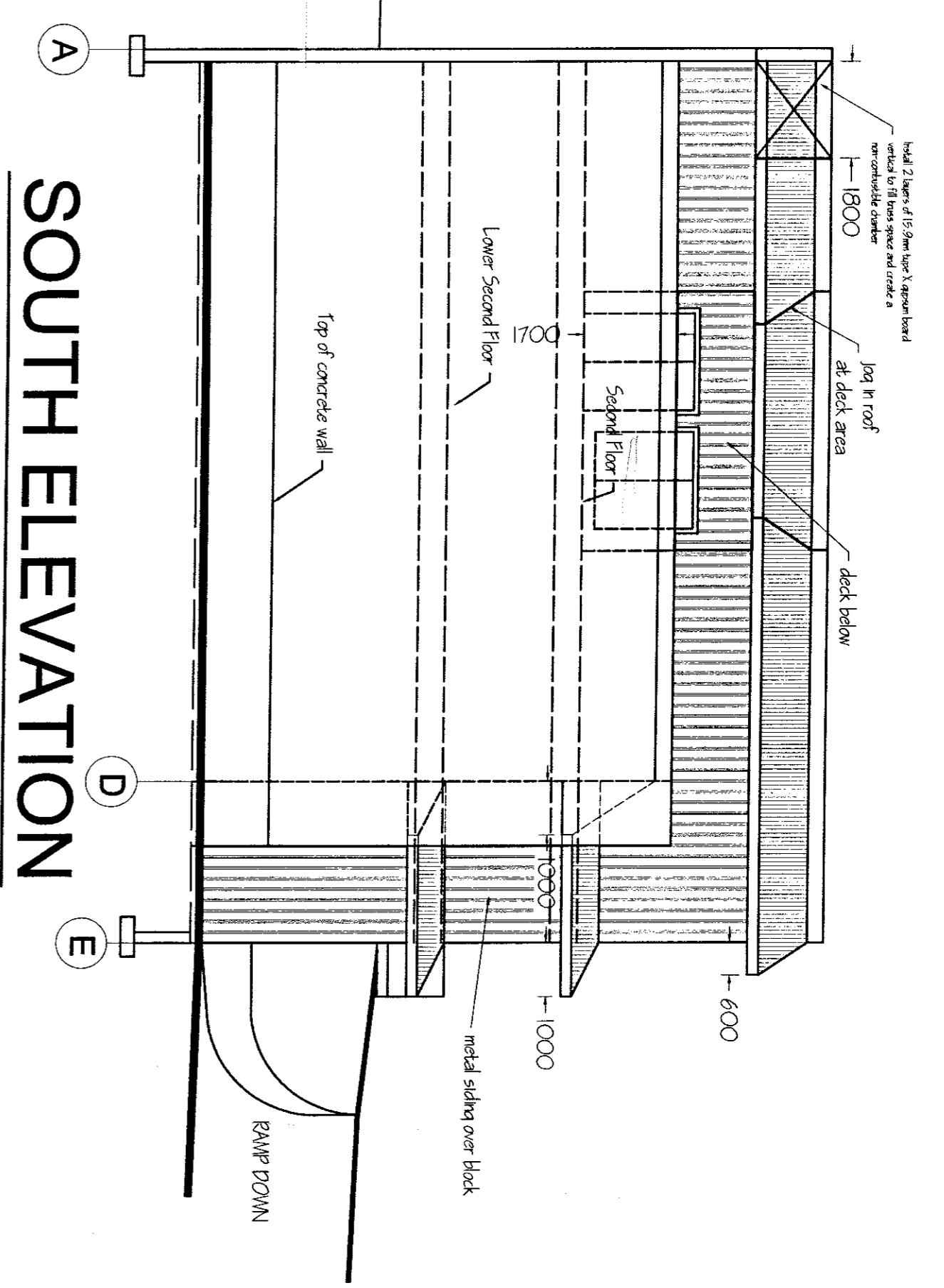
Drawn by: Loris Desroches
Date: July 10, 1999
Scale: 1:100
Sheet: A3-6



NORTH ELEVATION
Street

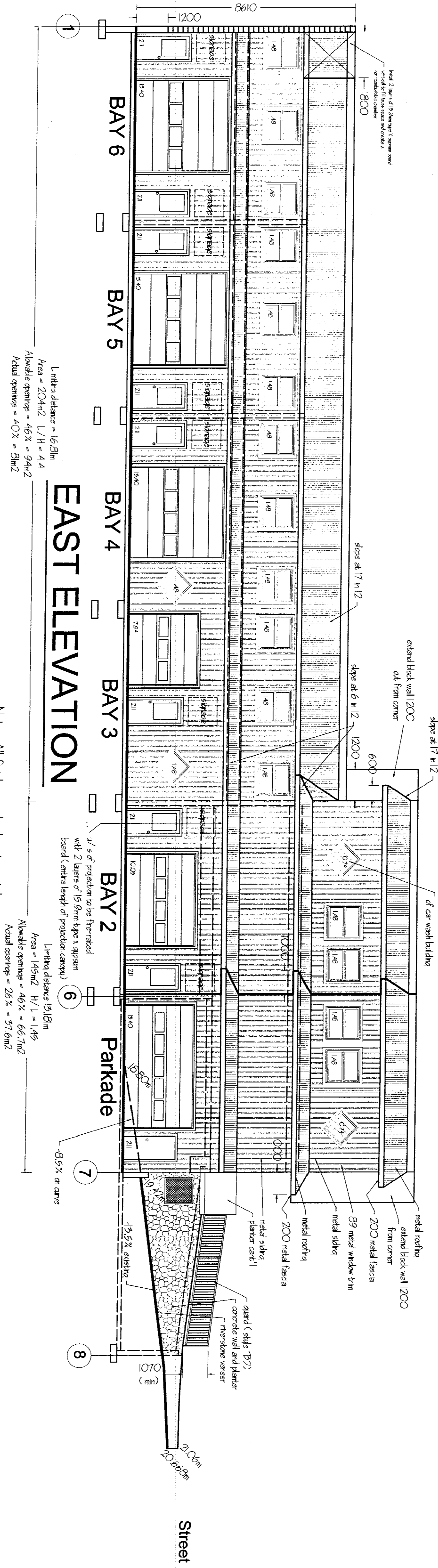
Scale 1:100

Notes: All finishes and colors to match that of the existing car wash building



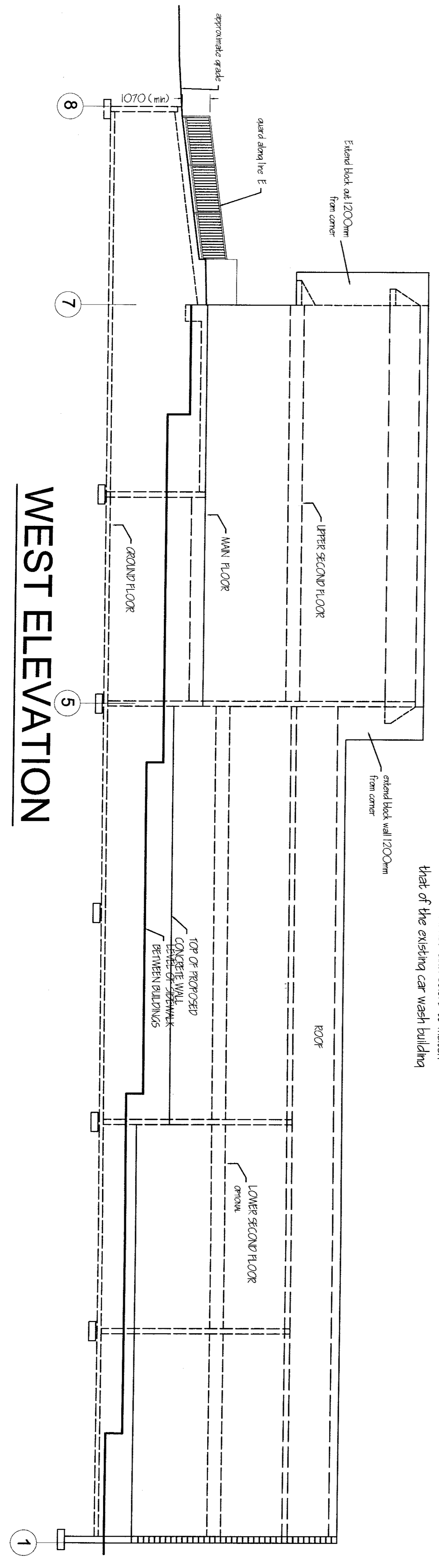
SOUTH ELEVATION

Scale 1:100



EAST ELEVATION

Notes: All finishes and colors to match that of the existing car wash building



WEST ELEVATION
ALONG PROPERTY LINE

PERMIT PRACTICE
ASTON ENGINEERING INC.
Signature: [Signature]
Date: 2019-07-30/19
PERMIT NUMBERS: P 6223
The Association of Professional Engineers, Geologists and Geophysicists of Alberta



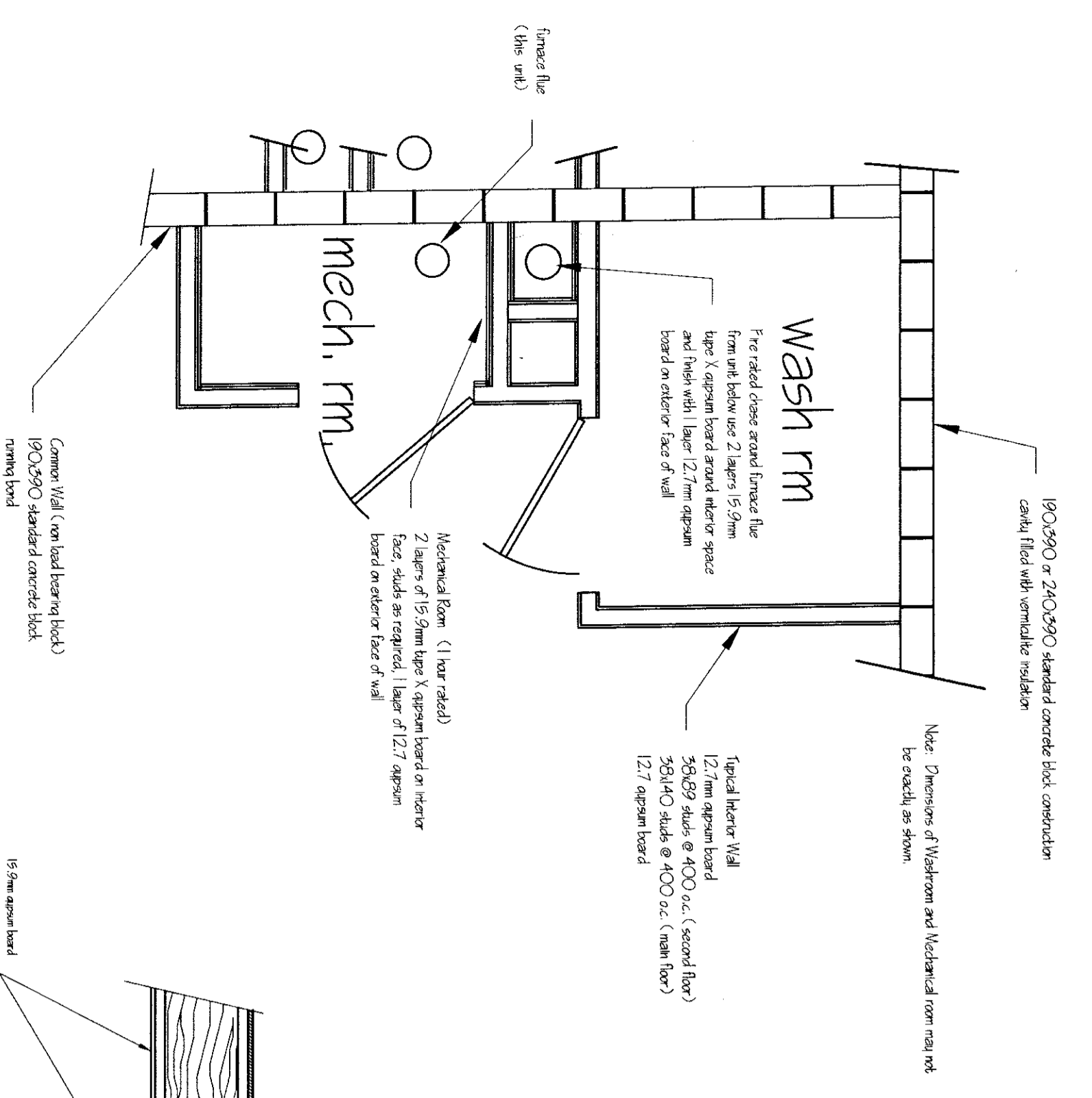
| No. | REVISION / DATE | DATE |
|-----|-----------------|-----------|
| 1 | Permit Issue | 7/24/1999 |
| | REVISION / DATE | |

BLUEPRINT DESIGN & DRAWING
#24 - 241 BENDLANDS TERRACE
CANMORE, ALBERTA
T1W 1G1
403-678-2990

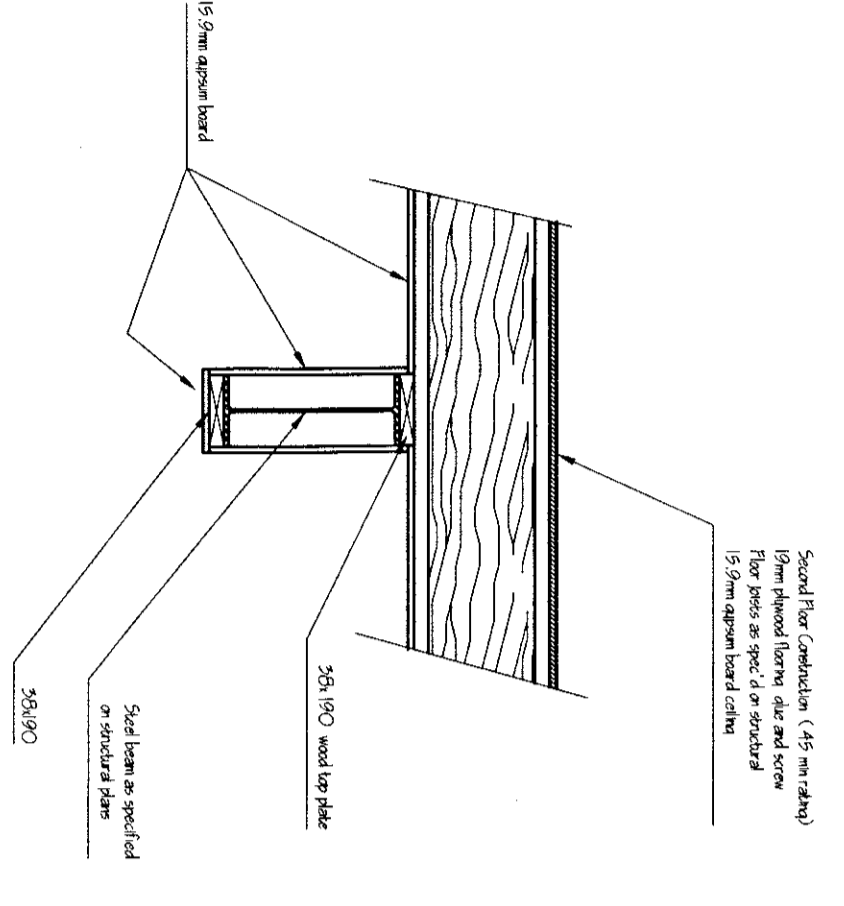
130 Bow Meadow Crescent
ELEVATIONS

DESIGNED BY: Louis Desroches
DATE: July 10, 1999
SCALE: 1:100
A4-6

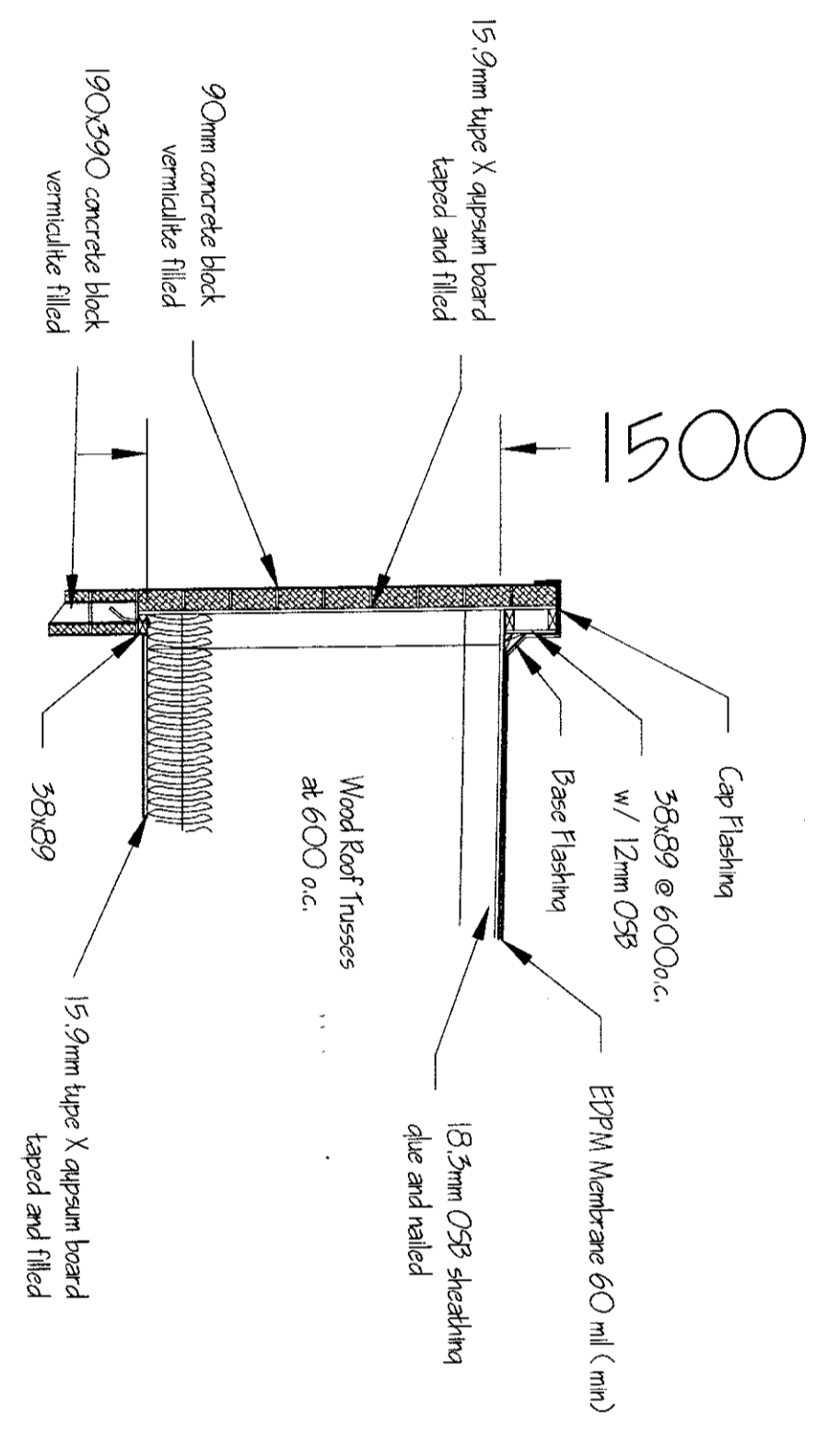
D Wall Detail
Scale 1:25



C Beam Section
Scale 1:20



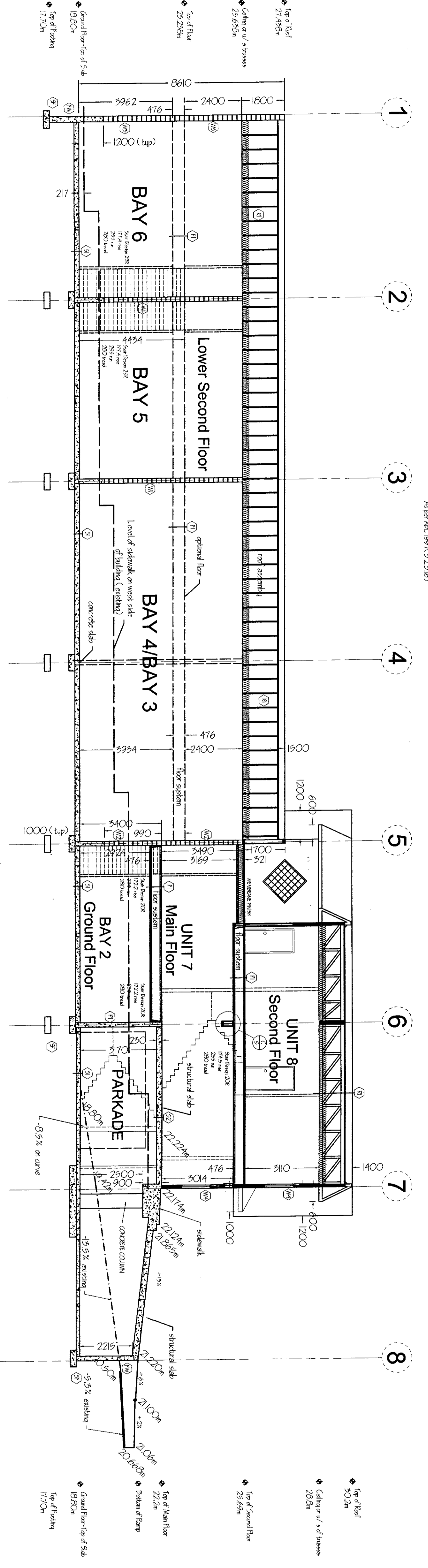
E Wall Detail
Scale 1:30



Building Specifications

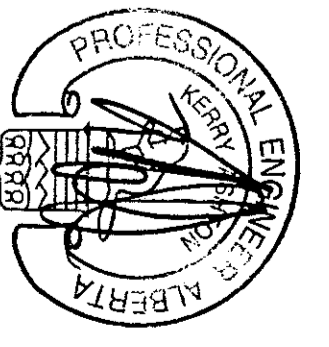
- (S1) 57# Fiches - as per engineering plans
- (F1) Foundation Wall - Perimeter on exposed surfaces. Rigid insulation. Flashing as req'd. concrete thickness & reinforcement as per structural plans.
- (C1) Interior Concrete Wall - 200mm thick concrete, reinforcement as per structural plans.
- (G1) Ground Floor Slab - 150mm thick concrete slab, reinforcement as per structural plans.
- (M1) Main Floor Slab - 200mm concrete slab, reinforcement as per structural plans. 2-hour fire rating.
- (W1) Interior Wall (vertical bearing) - 190mm type X agsprim board concrete block, 15.9mm type X agsprim board.
- (W2) Exterior Wall (or load bearing) - 190mm type X agsprim board concrete block, 15.9mm type X agsprim board, rigid insulation, 2-hour fire rating.
- (W3) Exterior Wall - 240mm type X agsprim board concrete block, 15.9mm type X agsprim board, rigid insulation, 2-hour fire rating.
- (W4) Fire Wall - pre-fabricated vertical beam metal siding (to match building on lot 5), building paper, 127mm OSB sheathing, 354H0 studs at 400 o.c., lead insulation, vapor barrier, 15.9mm type X agsprim board (1-hour fire rated).
- (W5) Interior Wall (standard) - 127mm type X agsprim board, 354H0 studs at 400 o.c. (second floor), 354H0 studs at 400 o.c. (main floor), 127mm type X agsprim board.
- (W6) Exterior Wall (corner walls, corners & abutments) - 15.9mm type X agsprim board, 45 mm fire rating.
- (W7) Exterior Wall - 15.9mm type X agsprim board, 45 mm fire rating.
- (F2) Floor Framing - 19mm OSB floor sheathing, 45 mm fire rating.
- (R1) Roof Construction - EPDM membrane roofing 60 mil (min), flashing as per code, 18.5mm OSB sheathing, roof trusses at 610 o.c., R-40 total insulation, vapor barrier, 15.9mm type X agsprim board, 45 mm fire rating.
- (C2) Corners - Fire rated with 2 layers of 127mm type X agsprim board around all exposed faces.
- (S2) Scares - Fire rated with 15.9mm type X agsprim board, 45 mm fire rating.
- (M2) Mechanical Rooms - 1-hour fire rated with 2 layers of 15.9mm type X agsprim board (interior face).
- (W8) Wood Floor Assembly - 45 mm fire rated with 1 layer of 15.9mm type X agsprim board on ceiling face.
- (S3) Stair Walls - 45 mm fire rated with 1 layer of 15.9mm type X agsprim board on outside of stair framing.
- (F3) Frost Leader - see detail E for additional information. (the A only)

Section South - North
Scale 1:100



Note: Total 1000mm wide concrete projection dimensions applied for / main floor and main floor / second floor / lower ground floor / 15.9mm type X agsprim board / 45 mm fire rating.

PERMIT TO PRACTICE
ASTRON ENGINEERING INC.
Signature: *[Signature]*
Date: **June 30, 2017**
PERMIT NO: **1-21-P-6223**
The Association of Professional Engineers, Geologists and Geophysicists of Alberta



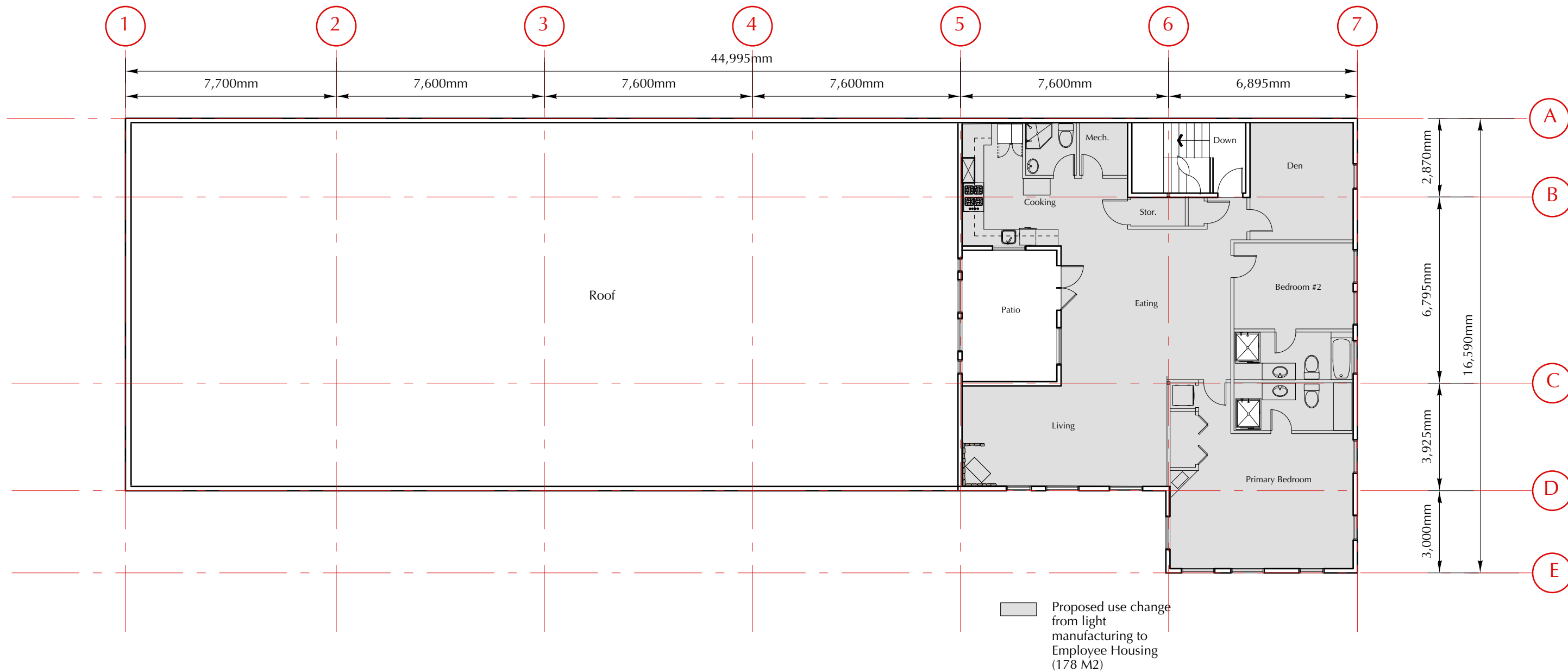
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| No. | Permit Issue | 7/24/1999 |
| No. | REVISION / ISSUE | Date |

BLUEPRINT DESIGN & DRAWING
#24 - 241 BURNHAMLANDS TERRACE
CANMORE, ALBERTA
T1W 1G1
403-678-2990

150 Bow Meadow Crescent
SECTION, DETAILS, & SPECIFICATIONS

DATE: **July 10, 1999**
SCALE: **1:100**
A5-6

Attachment 4.2 – Proposed Floor Plan – Unit 200, 130 Bow Meadows Crescent



1 Second Floor Plan
A2 Scale: 1:150

| | | | | |
|----------------------|---|---|---|---------------|
| REVISIONS | PROJECT TITLE 130 Bow Meadows Cresnet, Canmore, Alta. Lot 2 Block 6 Plan 9512298 | This drawing is not to be scaled. The contractor shall verify all levels, datums and dimensions prior to commencement of work. All errors and omissions must be reported to the designer. This drawing must not be reproduced without written consent by the designer. | DATE May 14, 2023 SCALE AS NOTED PROJECT NO. DRAWN RF CHECK RF | A2 |
| | FINDLAY GROUP 202 - 729 10th Street Canmore, Alberta • | | | Page 59 of 87 |

ATTACHMENT 5 – SCHEDULE A – CONDITIONS OF APPROVAL

| | |
|--------------------------------|--|
| DEVELOPMENT PERMIT No.: | PL20230189 |
| LAND USE DISTRICT: | IND 2 |
| APPROVED USE(S): | CHANGE OF USE: OFFICE (ABOVE THE GROUND FLOOR) TO EMPLOYEE HOUSING |
| APPROVED VARIANCE(S): | NONE |
| MUNICIPAL ADDRESS: | UNIT 200, 130 BOW MEADOWS CRESCENT |
| LEGAL ADDRESS: | UNIT 200, BLOCK 1, PLAN 0010470 |

APPROVED VARIANCES

1. To Section 5.2.5.1b of Land Use Bylaw 2018-22, to allow for Employee Housing when the space could reasonably be used for industrial purposes.
2. To Section 5.2.5.1d of Land Use Bylaw 2018-22, to allow for Employee Housing which would constrain any future permitted or discretionary, commercial or industrial uses from developing on the site or on surrounding areas.
3. To Section 5.2.5.1e of Land Use Bylaw 2018-22, to allow for Employee Housing which could unduly interfere with existing and any potential industrial development in the area.

STANDARD CONDITIONS

4. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
5. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
6. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore Parks Department.
7. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
8. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.

SPECIFIC CONDITIONS

9. The developer shall ensure the approved Employee Housing units comply with the definition for Employee Housing in Land Use Bylaw 2018-22:

“Employee Housing means one or more Dwelling Units used exclusively for the residence of employees and members of their family.”

“Employee means a person who is primarily employed by an employer within the municipal boundaries of the Town of Canmore. For the purpose of this definition, a person is primarily employed if that person is performing, or is reasonably expected to perform, the services of an employee for an employer, for a minimum of an average of twenty (20) hours per week. The employee shall not be the same person as the employer. This provision may be varied at the discretion of the Development Authority where a proposed development meets the purpose of the applicable land use district and/or meets the intent of the Town’s employee housing policies (e.g. in a building designed for a Live/Work Studio where a person is self-employed and living adjacent to their place of employment). In addition to the above, those individuals who can provide written proof (through such means as lease or rental agreements) of continuous residency within the Town of Canmore for a minimum of twenty-four (24) continuous months and who are primarily employed by an employer within the boundaries of the M.D. of Bighorn west of and including the hamlet of Seebe, or within the Town of Banff or Banff National Park, shall be considered an “employee” for the purposes of this Bylaw and shall be eligible to occupy a unit in an approved employee housing project.”

ADVISORY COMMENTS

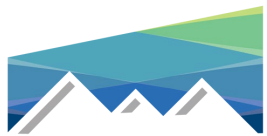
- I. None.

PL20230189

200-130 Bow Meadows Crescent

Subdivision and Development Appeal Board Hearing

December 14, 2023



Application Summary

▶ PL20230189

- ▶ Application is to approve one employee housing unit in multi-unit industrial building
- ▶ Proposed unit is a two bedroom plus den suite on second floor
- ▶ Change of use from 'general industrial'
- ▶ Application was refused on October 30, 2023

130 Bow Meadows Crescent



Aerial Photo of subject site and surrounding area

130 Bow Meadows Crescent



Photo of lower level units of Subject Site

Background

▶ Municipal Development Plan (MDP) – Industrial

- Limited supply and shall be protected for industrial activity

Industrial Goal #3 – “To conserve and protect the limited industrial land base and identify opportunities for new industrial lands.”

- Protect from adjacent uses, such as residential

Policy 12.1.3 - “Industrial lands shall be protected from adjacent uses that could impact the continued operation of industrial uses. This may include strategies such as buffering with open spaces or a gradual transition from industrial to commercial to residential uses”.

Background

MDP Policy 12.1.8 - “Where residential development is proposed in industrial areas, the Town should consider the following issues:

a. Residential uses are limited to housing for employees,

Response:

- Lack of tools to enforce (use vs user)*
- Could be used by individuals, regardless of employment status*

Background

b. Impacts from industrial uses are sufficiently small to make residential uses appropriate &

c. Residential uses will not displace or inhibit the operation of existing or future industrial uses, and

Response:

- Location is in the middle of the Industrial Park, near the north intersection of Bow Meadows Crescent and Elk Run Boulevard:
 - Difficult to shield housing from industrial activity
 - Risk that additional housing in the Elk Run Industrial Park may further inhibit or influence the industrial activity and development potential of adjacent sites

Background

d. Residential units are subordinate to the industrial uses

Response:

- *One employee housing unit in a multi-tenant building is considered subordinate to the rest of the building.*

Summary: the application only meets one of the four tests in Policy 12.1.8 and therefore does not comply with the Municipal Development Plan.

Background

▶ Municipal Development Plan - Housing

- Affordable Housing Goal #4 - *“To cooperate with local businesses and the construction and development industry in finding innovative solutions to provide affordable housing for employees.”*
- Policy 5.3.4 - *“Private initiatives to create additional seasonal and permanent employee housing opportunities should be supported by the Town.”*

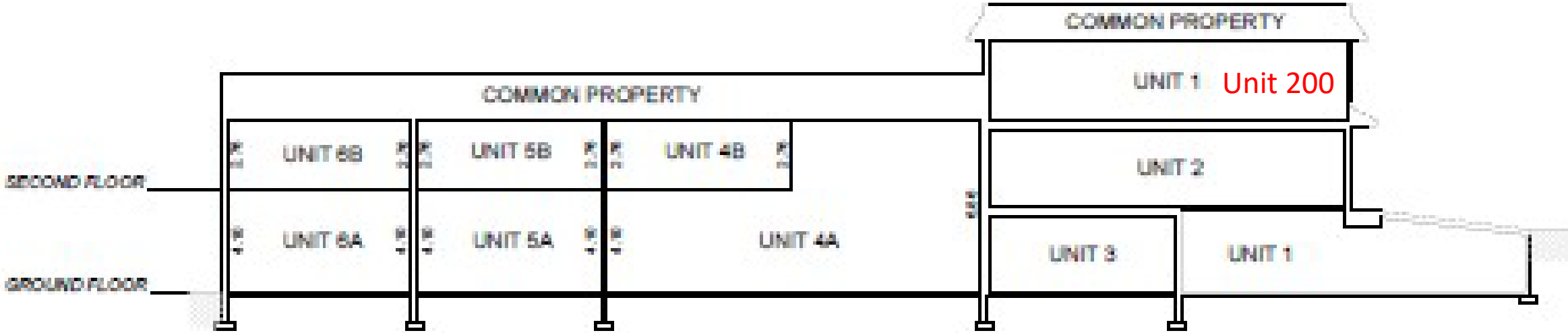
Background

- ▶ Indian Flats Area Structure Plan (ASP)
 - Goal 3.1.1.1 – *“To provide for an area which allows a range of industrial activities that will be compatible with adjacent land uses.”*
- ▶ ASP does not contemplate housing in this area
- ▶ No policy direction in the ASP on whether housing is permitted and how it should be incorporated

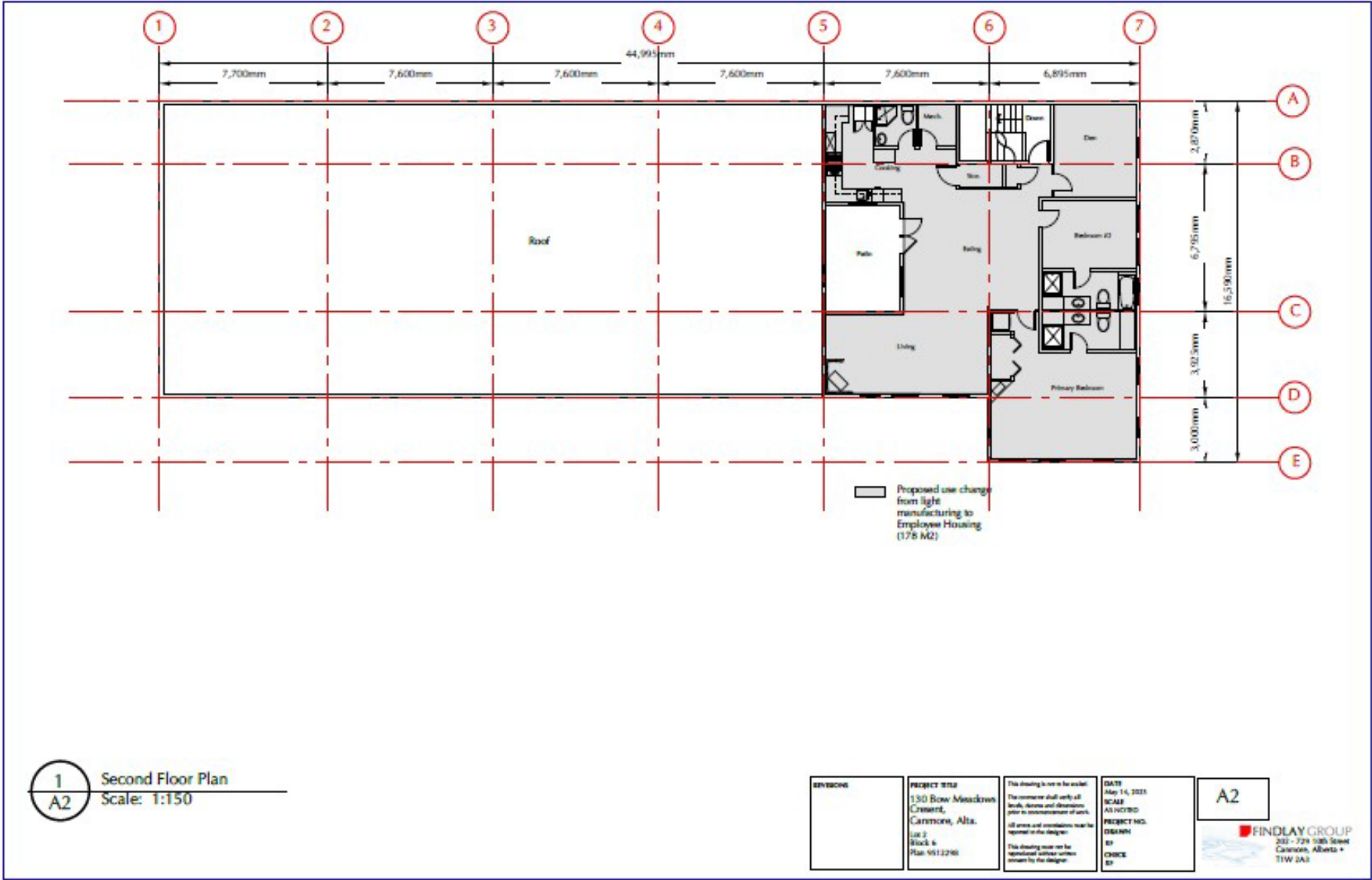
Land Use District Map



Existing Building



Proposed Floor Plan



Land Use Bylaw

Section 1.10.0.3

When making a decision on a Development Permit for a Discretionary Use, the Development Authority shall consider:

- a. Any plans or policies affecting the parcel*
- b. The location of the parcel and the appropriateness of the proposed development*
- c. The merits of the proposed development and its compatibility with the intent of its Land Use District*
- d. The potential impact of the development with respect to adjacent parcels*
- e. Servicing and access requirements; and*
- f. General planning principles.*

Discretionary Use

The Location / Appropriateness

Response:

- ▶ *Location offers lower standard of living:*
 - Bylaws allows for a greater level of sound decibels,
 - Bylaws allows for a greater tolerance for outdoor storage
 - Location allows full exposure to noise and industrial materials

Strategic Plan Implications

Results:

- Municipal initiatives and services are designed to increase affordability
- Emergency management communication is effective and adopted across our community
- Municipal programs, facilities, and services help to attract and retain families and support community diversity
- Employment opportunities that provide residents with a dignified and reasonable standard of living are widely available

Section 5.3.6 (Employee Housing in IND 2 District)

5.3.6.1 Employee Housing may be considered and approved in this District, only when located above the ground floor of a building and when the following issues can be addressed to the satisfaction of the Development Authority:

- a. Adequate long-term and legally-binding provisions are in place to ensure the units remain as bona fide Employee Housing and are demonstrably subordinate in terms of area and intensity to other uses in the building.*
- b. The space proposed for Employee Housing would not be reasonably used for commercial or industrial purposes.*
- c. The Employee Housing units are appropriate in design for Employee Housing particularly with respect to unit size.*
- d. Employee Housing units would not constrain any future permitted or discretionary, commercial or industrial uses from developing on the site or on surrounding areas.*
- e. Employee Housing would not unduly interfere with existing and any potential industrial development in the area.*
- f. Outdoor Amenity Space such as balconies may be provided as part of the Employee Housing while meeting all of the above-described requirements in regard to impacts to or from adjacent industrial uses.*

Reasons for Refusal

- ▶ Contravenes the MDP and LUB
 - MDP Policy 12.1.8
 - LUB Sections 1.10.0.3 & Section 5.3.6.1

New Information Received Subsequent to Refusal/Appeal

- ▶ An Employee Housing unit already exists in the space.
- ▶ Applicant's client purchased unit in 2022 as an already renovated unit.
- ▶ Previous owner of the unit had lived in the suite since the building was built in 2000, but Town has no record of approving this use.
- ▶ Client believed there was a Development Permit for the suite when unit was purchased.
- ▶ Three individuals currently occupy the unit, but do not work on the premises. They would fit the definition of an 'employee' in the Land Use Bylaw.
- ▶ Each tenant has a tenancy agreement that would expire when they cease employment with a Bow Valley employer.

From: [Steve Ashton](#)
To: [Shared.MunicipalClerk](#)
Subject: SDAB Hearing PL20230189
Date: December 4, 2023 7:23:12 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern, I am writing in support of the above referenced appeal.

I am a business and property owner in Bow Meadows located at 113 bow meadows crescent.

I am in support of employee housing in light industrial areas above main floor. When light industrial on 2nd floor cannot be filled with office, storage or other approved uses to support businesses below, using it for employee housing is an appropriate use in my opinion, especially when it can support small businesses in Canmore. Small businesses are having a hard time attracting employees and staff are having a hard time finding affordable housing in Canmore.

There is an affordable housing crisis and I believe we should be looking at all options. Once the Palliser housing complexes are built in a few years and more inventory comes online, hopefully there will be enough housing for everyone but until then, we need to look at all solutions to support our economy. This is much better than having the 2nd floor of this development sit empty which it might if it all remains light industrial. No one uses industrial on 2nd floor. Unless there is an elevator, it's hard to use 2nd floor for industrial. It's only useful for office, gyms, food and beverage, storage and employee housing. Moose meadows is a good example of this as well. There is no industrial being done above main floor. There is not one example of industrial above main floor in bow meadows either. If anyone is concerned about separations between industrial and residential, the building code and required STC and fire ratings addresses this so you can have a brewery below housing for instance or housing above a glass shop like the example at 127 bow meadows.

This is also in line with previous approvals from CPC and SDAB for projects located at 121 and 127 bow meadows which were approved for employee housing.

My company is involved in both these projects and I personally went door to door to many businesses and the majority of the neighborhood had no concerns with employee housing above 2nd floor. The majority were in favour to allow businesses to survive, to use unused space on 2nd floor and to also add to the vibrancy and safety of the neighborhood by having full time residents as neighbours. There are lots of amenities, restaurants, coffee shops, pubs, green space, playgrounds, public transport, jobs and dog parks very close.

Thank you,

Sincerely,

Steve Ashton C.E.T.
President & CEO
Ashton Construction Services Inc.



Letter of Support for Application PL20230189 - Employee Housing Application

To the Town of Canmore,

I'm reaching out on behalf of my business, Take A Hike Market, our staff, and our local partners. A staff housing permit was submitted for the 2nd floor, unit 100 – 130 Bow Crescent Meadows Cr, which was unfortunately declined. I am personally connected to this location and want to take the time to express how important this permit approval is to many Bow Valley residents who are directly contributing to the local community and economy.

Take A Hike Market (TAHM) is a new business in Canmore, which opened October 11, 2022. This medium-sized business employs thirteen individuals. Our people are incredibly important to us, not just as employees, but as individuals. Some of us are privileged enough to own our homes, so very secure in the foundational need of housing. The majority of our team have found places to rent, which is secure enough until rental prices go up, and then they have to choose between getting a second job, or leaving the Bow Valley. Then there are those who need help finding a place to live.

TAHM currently has two employees living in staff accommodation at 130 Bow Crescent Meadows Cr. Without this secure and stable option for them, they would not be able to live in the Bow Valley. One team member has lived in The Valley for more than twenty years. During his employment with us he was priced out of his rental and moved into his car. We saw the decline in his mental health and were grateful to find this opportunity through. Without the option of this staff accommodation, he would either be sleeping in his car throughout the winter, or he would have had to leave his home. As one of TAHM's original employees, his dedication to the business and his team members is unmatched. He's got the biggest heart and goes above and beyond. He doesn't need access to a school, or million-dollar views. He needs a home, and access to work, which he gets from the Roam bus.

The second TAHM employee brings a skillset that no one other in our kitchen has, other than our Executive Chef. He needed to move back to Canmore, having previously lived in the Valley for almost five years. His biggest concern about coming back was affordable housing. He's an important member of our leadership team, and the only way we could bring him to Canmore was through staff accommodation.

There are many of us who are lucky to have the opportunity to live in beautiful homes with views of the Three Sisters, and there are many just as important individuals who need a home right now. I am grateful that the town of Canmore has plans in the works to address staff housing, but we need to help these people now. This space has been used "unofficially" as staff accommodation. The people here right now are settled and contribute to the economy and lives of others in the Bow Valley.

Let's make this a Christmas miracle and enable these important individuals stay in their home.

Sincerely,

Amanda Winston
Owner – Take A Hike Market

Letter of Support for Application PL20230189 - Employee Housing Application



Inbox x

Kris Charchun

11:25 AM (1 hour ago) ☆ 😊 ↶ ⋮

to me ▾

Please accept this letter as confirmation of support for the approval of Application PL20230189. I am a property owner adjacent to this property. Since the appraisal of our employee housing unit, it has solved multiple issues with hiring and retaining our staff that have housing needs. The second floor of this building is already constructed and the second floor space is not easily suitable for industrial use. Employee housing is already a discretionary use for the second floor in this zone. I support the change to employee housing if the housing is built to code, the principal industrial user stays in control of the employee housing above, and the housing unit(s) are not subdivided. Canore is in an employee housing crisis and to keep small businesses staffed the town should be looking at all types of employee housing solutions whether big or small. This application will help to solve the housing crisis immediately as it is ready to move in.

--

*Regards,***KRIS CHARCHUN**

127 Bow Meadows Crescent
Canmore Alberta T1W 2W8
p. 403 678 4588
f. 403 678 5531
w. www.canglass.com

**Janet Morrison**

to me ▾

6:31 PM (2 minutes ago)



To Whom It May Concern,

Please accept this letter as confirmation of my support for the approval of Application PL20230189. I am a neighbour of the applicant and second-floor industrial space in Bow Meadows is often underutilized and of marginal value for industrial purposes. Given Canmore's ongoing housing crisis, permitting employee housing above the main floor is a solution that should be supported to help address the community's need for employee housing.

I would also add that there are currently a number of businesses in the same neighbourhood that are (or will be) providing employee housing in second-floor units. Approvals have already been granted however, it seems like the approval process is inconsistently applied. It is not a heavy industrial area: there are restaurants, coffee shops and a new sidewalk that will be built soon. It is light industrial and employee housing is listed as a discretionary use. I fully support my neighbour in his request.

Janet Morrison, MBA, CPA-CMA

Controller

Phone: (403) 688-0070

Email: allboarddrywall@yahoo.com

All Board Drywall Inc.

From: **Jeff von Rotz** <jeff@valbella.ca>
Date: Wed, Dec 13, 2023 at 9:04 AM
Subject: Letter of Support for Application PL20230189 - Employee Housing Application
To: cdem04@gmail.com <cdem04@gmail.com>

Good day,

Please accept this letter as confirmation of support for the approval of Application PL20230189. I am a neighbour of the applicant and second-floor industrial space in Bow Meadows is often underutilized and of marginal value for industrial purposes. Given Canmore's ongoing housing crisis, permitting employee housing above the main floor is a solution that should be supported to help address the community's need for employee housing. It is quite alarming that allowing the private business sector to come up with solutions to the Town's housing issue's is not being utilized to it's full potential.

Thank you,

Jeff von Rotz

Director of Production and Wholesale Operations

Valbella Gourmet Foods

104 Elk Run Blvd, Canmore

T1W 1L1

t: +1 403 678 4109

www.valbella.ca

Check out our Meat Vending Machine – Open 24 / 7

I am writing with a brief version of my thoughts on the proposed 'staff housing' proposal. I am acutely and painfully aware of the housing crisis that our town faces but I do not support building residences in industrial zoned land as the solution.

- 1- We need to be very careful with approving residences in the industrial park. Businesses that are permitted in industrial zones are not necessarily compatible neighbours to residences and approving residences in an existing industrial park will change the nature of the industrial park and restrict the kinds of businesses and activities that can operate in the industrial park. An existing business neighbour might not be problematic but a future business neighbour might be. We have a test case now in town with the condo on Industrial Place, have any of the residents complained about noise or other activities that conflict with the function of a residence?
- 2- My understanding is there are two kinds of 'employee housing' that have been proposed recently. One where a business wants to own residences to make them available to their staff for the purpose of attracting and retaining staff. The other is a situation where the property owner promises to rent out the residence to someone who works in the bow valley, basically Montane Village and Whiskey Jack without the legal framework to hold them to it. How do we ensure that a residence is only rented to someone with a job in the bow valley? How do we hold future owners of that property to this promise? Is there any mechanism in place to address affordability and price-targeting the rent to the people in this valley who need it? The going rate for a two bedroom apartment in town is about \$3000/month. This requires an income of over \$100,000/ year to be affordable. The housing need in this town is for workers earning ~\$20/hour. So I don't see this helping the affordable housing situation, while I do see it as degrading the functionality of the Industrial zoning for businesses.

Thank you,

[REDACTED]

[REDACTED] Fireweed Glass Studio, Ltd and Nicole Tremblay Blown Glass, Ltd.

8-111 Bow Meadows Crescent

[REDACTED]

[REDACTED]

Name and contact information
removed from the public record on
request of the writer.