

Town of Canmore

902 7th Avenue

Canmore, Alberta T1W 3K1

Phone: 403.678.1500 | Fax: 403.678.1534

[www.canmore.ca](http://www.canmore.ca)



**AGENDA**  
**Canmore Planning Commission**  
**Canmore Civic Centre – Council Chambers**  
**Wednesday, March 20, 2024**  
**2:00 p.m.**

- A. Call to Order
- B. Land Acknowledgement
- C. Adoption of Agenda
- D. Approval of Minutes of the February 21, 2024, meeting
- E. Development Permit Applications:
  - 1. PL20230389  
205 Stewart Creek Rise  
Lot 29, Block 21, Plan 231 690  
Variances: Maximum building height, maximum building projections, maximum density,  
minimum side yard setback, minimum visitor parking, driveway design and building materials.
- F. Other Planning Business  
None
- G. Next Scheduled Meeting – **April 17, 2024**
- H. Adjourn

**TOWN OF CANMORE  
MINUTES  
Canmore Planning Commission  
Council Chambers  
Wednesday, February 21, 2024, at 2:00 p.m.**

**MEMBERS PRESENT**

Whitney Smithers	Chair
Florian Jungen	Public Representative
Brian Talbot	Public Representative
Spencer Thackray	Public Representative
Joanna McCallum	Councillor
Jeff Hilstad	Councillor

**MEMBERS ABSENT**

None.

**ADMINISTRATION PRESENT**

Riley Welden	Acting Manager of Planning and Development
Harry Shnider	Senior Development Planner
Ruby Potgieter	Secretary

**CALL TO ORDER**

Chair W. Smithers called the February 21, 2024, regular meeting to order at 2:01 p.m.

**ADOPTION OF AGENDA**

Chair W. Smithers moved that the Agenda of the Canmore Planning Commission meeting of November 29, 2023, be adopted.

**MOTION CARRIED  
UNANIMOUSLY**

**VOTE FOR VICE CHAIRPERSON**

It was moved by B. Talbot that F. Jungen be elected as Vice Chairperson. Member F. Jungen accepted this nomination. There were no other nominations.

**MOTION CARRIED  
UNANIMOUSLY**

**ADOPTION OF MINUTES**

Chair W. Smithers moved that the Agenda of the Canmore Planning Commission meeting of November 29, 2023, as presented be adopted.

**MOTION CARRIED  
UNANIMOUSLY**

Minutes approved by: \_\_\_\_\_

**DEVELOPMENT PERMIT APPLICATION**

**Development Permit Application:**

**PL20230037**

1 Silvertip Trail

Lot 1, Block 17, Plan 971 1512

Variances: Fence height. Section 2.13.0.1 of the Land Use Bylaw, to allow a maximum fence height of 2.15 m instead of 1.8 m.

**ADMINISTRATION'S PRESENTATION OF THE APPLICATION**

Administration (Harry Shnyder) presented the application.

**APPLICATION QUESTIONS FROM THE BOARD**

Administration answered questions from the Commission.

**QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON**

The Applicant, Chris Sparrow, spoke to the application and answered questions from the Commission.

**QUESTIONS/COMMENTS FROM THE PUBLIC.**

None.

**DECISION**

Chair W. Smithers moved that application **PL20230037** be **APPROVED** subject to conditions outlined in Schedule A.

**MOTION CARRIED  
UNANIMOUSLY**

Minutes approved by: \_\_\_\_\_

**OTHER PLANNING BUSINESS**

None.

**NEXT SCHEDULED MEETING**

March 20, 2024

**ADJOURNMENT**

Chair W. Smithers moved that the meeting be adjourned.

**MOTION CARRIED  
2:21P.M.**

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Whitney Smithers, CPC Chair

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Ruby Potgieter, Secretary

Minutes approved by: \_\_\_\_\_

# CANMORE PLANNING COMMISSION

## STAFF REPORT



<b>DATE:</b>	MARCH 20, 2024
<b>PROPOSED DEVELOPMENT:</b>	COMPREHENSIVELY DESIGNED MULTI-UNIT RESIDENTIAL DEVELOPMENT (18-UNIT STACKED TOWNHOUSE)
<b>APPLICATION NUMBER:</b>	PL20230389
<b>LEGAL DESCRIPTION:</b>	LOT 29, BLOCK 21, PLAN 231 690
<b>CIVIC ADDRESS:</b>	205 STEWART CREEK RISE
<b>CURRENT USE(S):</b>	VACANT LAND
<b>APPLICANT:</b>	CANMORE COMMUNITY HOUSING
<b>REFERENCED DOCUMENTS:</b>	LAND USE BYLAW 2018-22: <ul style="list-style-type: none"><li>• SECTION 3.21 R2A-SC DISTRICT</li><li>• SECTION 11 COMMUNITY ARCHITECTURAL &amp; URBAN DESIGN STANDARDS</li><li>• SECTION 12. DENSITY BONUS REGULATIONS</li></ul>

## EXECUTIVE SUMMARY

This application proposes a comprehensively designed multi-unit residential development (two stacked townhouse buildings totalling 18 units). The development will be part of Canmore Community Housing's inventory of below market units. The subject site is located at 205 Stewart Creek Rise. Seven variances to the Land Use Bylaw (LUB) are required. Administration supports this application and proposed variances given the substantial public benefit the project offers.

## BACKGROUND

### Direction from the Municipal Development Plan:

#### **Alternate Standards and Variances [for affordable housing]**

5.1.3 Alternate or less stringent architectural design standards for affordable housing will be allowed where the development remains complementary to the neighbourhood in which it is located.

#### **Non-Market Affordable Housing Incentives**

5.2.2 Opportunities for density bonusing will be provided where non-market affordable housing units are constructed, pursuant to density bonusing regulations.

5.2.3 Additional variances beyond density bonusing should be considered for developments that include non-market affordable housing units, including but not limited to floor area ratio (FAR), parking, building height, architectural design, and landscaping.

### Direction from the Stewart Creek Area Structure Plan:

#### **Plan Goal 3.1**

Allow for the development of a comprehensively planned residential community that provides a range of housing types and tenures.

## EXISTING SITE

The subject site, 205 Stewart Creek Rise, is currently vacant. The site is located within, and governed by, the R2A-SC Residential Low Density, Stewart Creek District. The proposed use of the subject site, Comprehensively Designed Multi-Unit Residential Development, is a discretionary land use in the district. Adjacent uses include:

- Townhouses to the north;
- Townhouses with detached accessory dwelling units to the south;
- Townhouses to the east; and
- Townhouses and a small park to the west.

Please see Attachment I for an aerial view of these adjacent uses.

## BYLAW CONFORMANCE/VARIANCE DISCUSSION

This application requires seven variances to the Town's Land Use Bylaw, specifically, to minimum yard setback and visitor parking, maximum building height, building projections and density, and requirements for driveway design and building wall materials.

### **I. Issue #1 Building Setbacks**

With regards to setbacks, the LUB requires the following for this type of development in the R2A-SC District:

*Section 3.21.4.2 - 3.0 m setbacks required on front, side, and rear yards shall be used for comprehensively designed developments that include multi-unit residential uses only.*

The proposed north building is 1.6 m from the east property line, resulting in a 1.4 m variance to the above standard. The size of the variance (46.7%) is allowable as per Section 1.14.3, which allows for the variance powers of the development authority, identified under Section 1.14, to be increased where the proposed development provides an extraordinary net benefit to the community. Given the proposed development is for Vital Homes, Administration believes this criterion is met.

With regards to impacts on adjacent development to the east, the development does not appear to unreasonably impact the access to views, privacy, or light. The subject development runs east-west, so it will not shade the adjacent development. The proposed use of this portion of the building is for a one-storey mechanical room, so privacy will not be of concern (see Figure 1). With regards to views, the R2A-SC District allows for non-comprehensively designed multi-unit residential developments, for example, a single row of townhouses to be up to 1.5 m from the side property line. This would have the same, if not more impact on the adjacent development than that proposed. Given the community benefit and minimal impacts on adjacent properties, Administration supports the proposed variance.

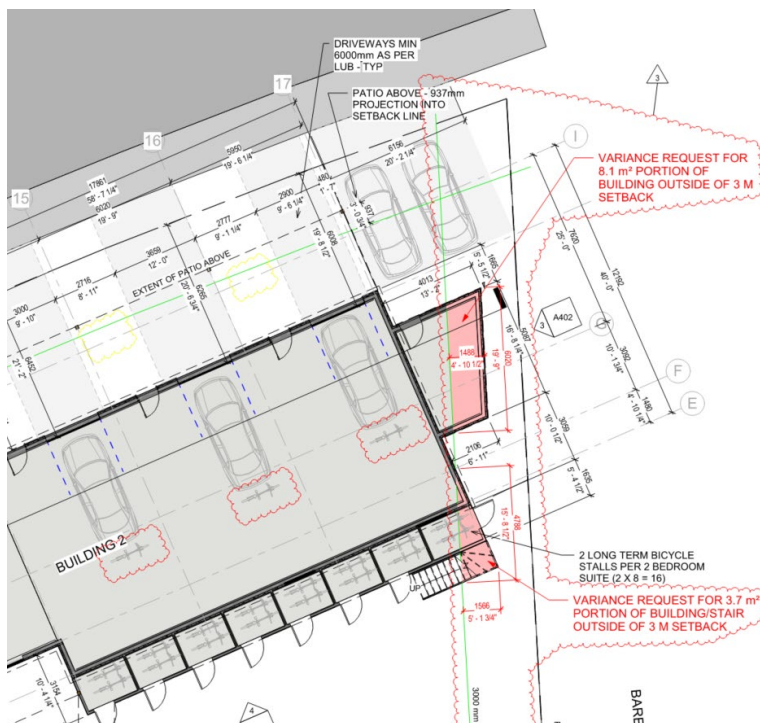


Figure 1 – North Elevation of the North Building and Site Plan

Related to this variance are three projection variances - the eaves above the east side of the north building, the rear common deck behind the north building (above the bicycle storage rooms) and the stairway leading from the

deck to grade. Administration supports these variances for the same reasons as outlined above.

## 2. Issue #2 Building Height

The LUB limits maximum height in the R2A-SC District as follows:

*3.21.3.5 ...the maximum building height shall be 11.0 m for a Townhouse, Stacked development, or 10.5 m for a Duplex Dwelling, Townhouse and Accessory Dwelling Unit, Detached development associated with a Comprehensively Designed Multi-Unit Residential Development as determined in accordance with Section 2: General Regulations.*

The proposed development is 11.67 m in height, requiring a 11.2% variance (see Figure 2 and 3).



Figure 2 - North Building



Figure 3 - South Building

With regards to impacts on adjacent developments, the development does not appear to unreasonably impact the access to views, privacy, or light of the adjacent properties. For example, the buildings step up as they move from their sides to their middle, which makes its impact on the east and west developments the same as, or even less than, a compliant building built to maximum height right to the setback (see Figures 2 and 3). Furthermore, there is 15 m of distance between the property line of this site and the adjacent site to the north. In addition, there is 26 m of separation between the rear property line of this site and the façade of the townhomes (excluding the garages) to the south. Finally, there are roof areas for both buildings that are substantially under height, which is to the advantage of the adjacent properties to the north and south.

Administration supports this variance given the community benefit of the project, and that the impacts of the variance are anticipated to be minor.



### **3. Issue #3 Density**

The LUB limits maximum density in the R2A-SC District as follows:

*3.21.4.4 The maximum density of principal units for comprehensively designed development sites shall be 67 units per hectare.*

The proposed development requires 80.4 units per hectare, a 20% variance. However, Section 12 Density Bonusing of the LUB allows the Canmore Planning Commission to grant up to a 30% variance to density for development that includes some Vital Home units. In this case, the entire development includes Vital Home units. Given the community benefit provided by the development, Administration supports the increase in the number of permitted units.

### **4. Issue #4 Miscellaneous**

The development also requires three general variances not specific to the R2A-SC District, but the general sections of the LUB. These include to Section 2.3.0.1g&h which outlines the number and width of driveways, to Section 2.7.7.1 which outlines minimum visitor parking requirements, and to Section 11.6.7.1 which outlines acceptable building wall materials.

The proposed development provides front and rear driveways, each with direct access to the street and lane rather than through a shared internal access. Furthermore, some of the front driveway and parking widths exceed 5m and do not utilize a decorative surface material. Administration is supportive of these variances, as the site is an irregular shape and is also narrow, which limits space for internal parking. Furthermore, Administration is supportive of the applicant's preference to maximize the use the internal space of the site for amenity space to enhance the experience of those that will occupy the units.

The proposed development provides 18 parking stalls, each assigned to one of the 18 units. Two visitor parking stalls are required but have not been provided. Administration is supportive of the variance, as 10 units will have a garage with driveway parking for guests, lowering the actual demand for common visitor parking. Moreover, there will be space for some parking along the street that is adjacent to the site. Finally, the development is located adjacent to the Town's trail network, allowing for, and encouraging local visitors to take other modes of transportation to visit the site.

The proposed development incorporates the material corten steel on its façade. While this is an expensive material, steel siding in general is not an acceptable wall material under Section 11 (Section 11.6.7.1) of the LUB. However, given its application on the building is small and is meant to enhance the look of the building, Administration supports the variance.

### **SUSTAINABILITY SCREENING REPORT (SSR)**

Given that the proposed development will serve as part of the Town's Vital Homes program, which offers below market dwellings, the applicant's Sustainability Screening Report score (284) is extremely high. (see Attachment 5).

### **OFF-SITE LEVIES**

Offsite levies will be collected for this development at the current rate at the time of signing the Development Agreement.

## LIGHTING

Details on exterior and site lighting have been provided with this application. Additional details for the fixed lighting fixtures will be provided at the building permit stage and will need to conform to the requirements of the Land Use Bylaw. A condition of approval requiring this has been added to the Schedule A.

## SUBMITTED COMMENTS

The following comments were received from the public regarding the proposed development:

### IN OPPOSITION

One comment expressing concern was received. The concern was regarding the appearance of the building relative to other development in Stewart Creek and the private architectural controls registered on Stewart Creek properties. However, Canmore Community Housing has received approval from Three Sister's Mountain Village ensuring compliance with these private architectural standards.

### IN FAVOUR

No comments received.

### NEUTRAL

No comments received.

## OPTIONS FOR CONSIDERATION

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

## RECOMMENDATION

Planning recommends that the Canmore Planning Commission **APPROVE** PL20230389, subject to the conditions of approval set out in Schedule A (Attachment attached to this report).

## ATTACHMENTS:

1. Site Context [Including aerial photo of area with site identified]
2. Zoning [Including zoning map of area with zoning of site & adjacent sites identified]
3. Bylaw Conformance Review
4. Submitted Plans [Including sections, elevations & renderings]
5. Sustainability Screening Report (SSR) Narrative & Matrix [If applicable]
6. Schedule A – Conditions of Approval

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**Nathan Grivell**  
Development Planner

**ATTACHMENT I – SITE CONTEXT**



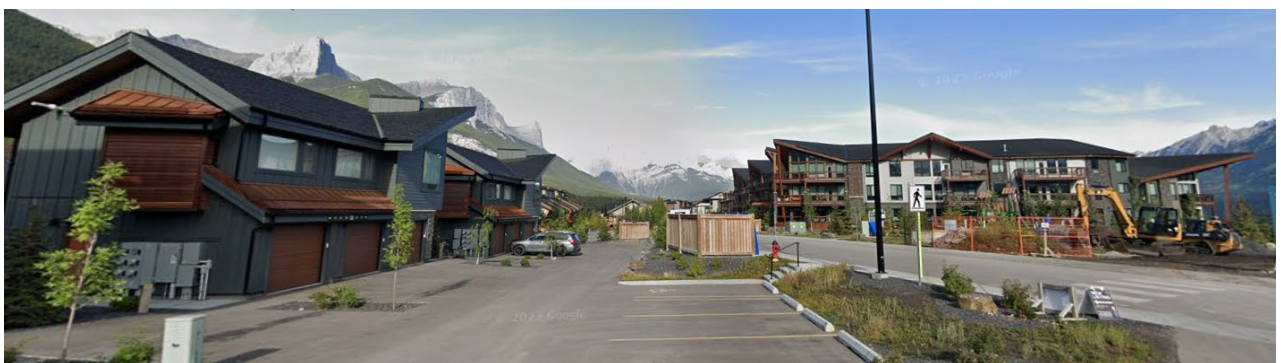
Aerial View of Site



Looking East



Looking South



Looking West



Looking North

**ATTACHMENT 2 – ZONING**



*Zoning Map for Subject Site and Surrounding Area*

**ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW**

<b>REQUIREMENT</b>	<b>BYLAW 2018-22</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
DENSITY	67 UNITS/HA	80.4 UNITS/HA	<b>YES</b>
FRONT YARD SETBACK	MIN 3.0 M	3.27 M	-
SIDE YARD SETBACK (WEST)	3.0 M	3.5 M	-
SIDE YARD SETBACK (EAST)	3.0 M	1.6 M	<b>YES</b>
REAR YARD SETBACK	3.0 M	3.37 M	-
MAX BUILDING HEIGHT	10.50 M	11.67 M	<b>YES</b>
BUILDING ROOF PITCH	6:12 (FOR 65%)	6-9:12	-
SITE COVERAGE	39.8%	45%	-
LANDSCAPING AREA	N/A	N/A	-
TREES	N/A	40	-
SHRUBS	N/A	96	-
PARKING			
VEHICLE PARKING	18 STALLS	18 STALLS	-
VISITOR PARKING	2 STALLS	0 STALLS	<b>YES</b>
BICYCLE PARKING	16 LONG TERM BICYCLE STALLS	16 LONG TERM BICYCLE STALLS	-
	3 SHORT TERM BICYCLE STALLS	14 SHORT TERM BICYCLE STALLS	-

**ATTACHMENT 4 – SUBMITTED PLANS**



205 STEWART CREEK RISE

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# ISSUED FOR: 18/12/2023 DEVELOPMENT PERMIT

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CLIENT: CANMORE COMMUNITY HOUSING

205 Stewart Creek Rise, Canmore

ARCHITECTURAL DESIGN BY:  
MONTANE ARCHITECTURE

LANDSCAPE DESIGN BY:  
MCHELHANNEY

INTERIOR DESIGN BY:  
NEST DESIGN AND DRAFTING STUDIO

CIVIL ENGINEERING BY:  
MCHELHANNEY

STRUCTURAL ENGINEERING BY:  
T1W ENGINEERING

PRECONSTRUCTION SERVICES BY:  
ASHTON CONSTRUCTION







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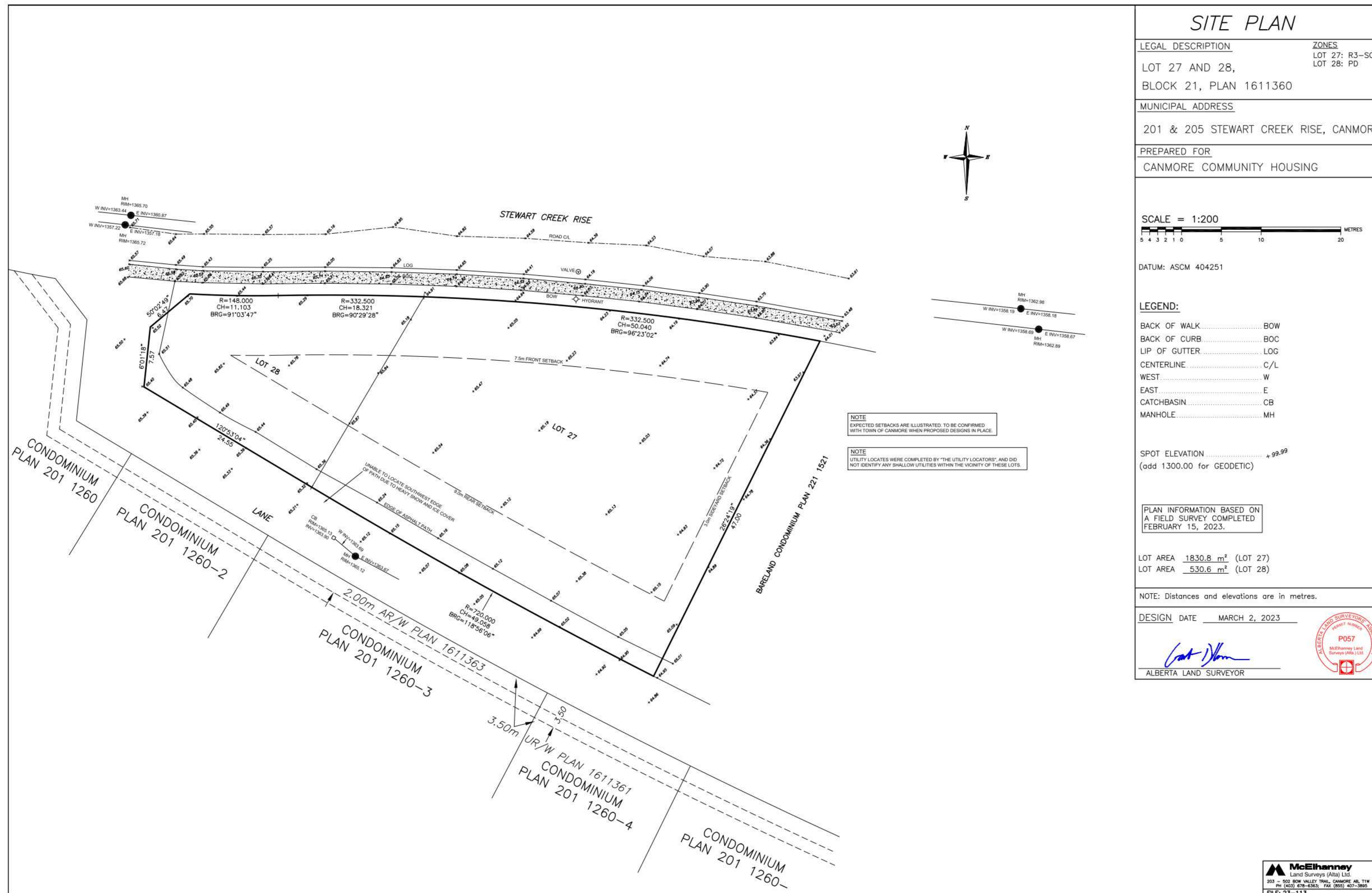
SEAL

205 STEWART CREEK RISE  
CANMORE

SITE PICTURES AND SURVEY

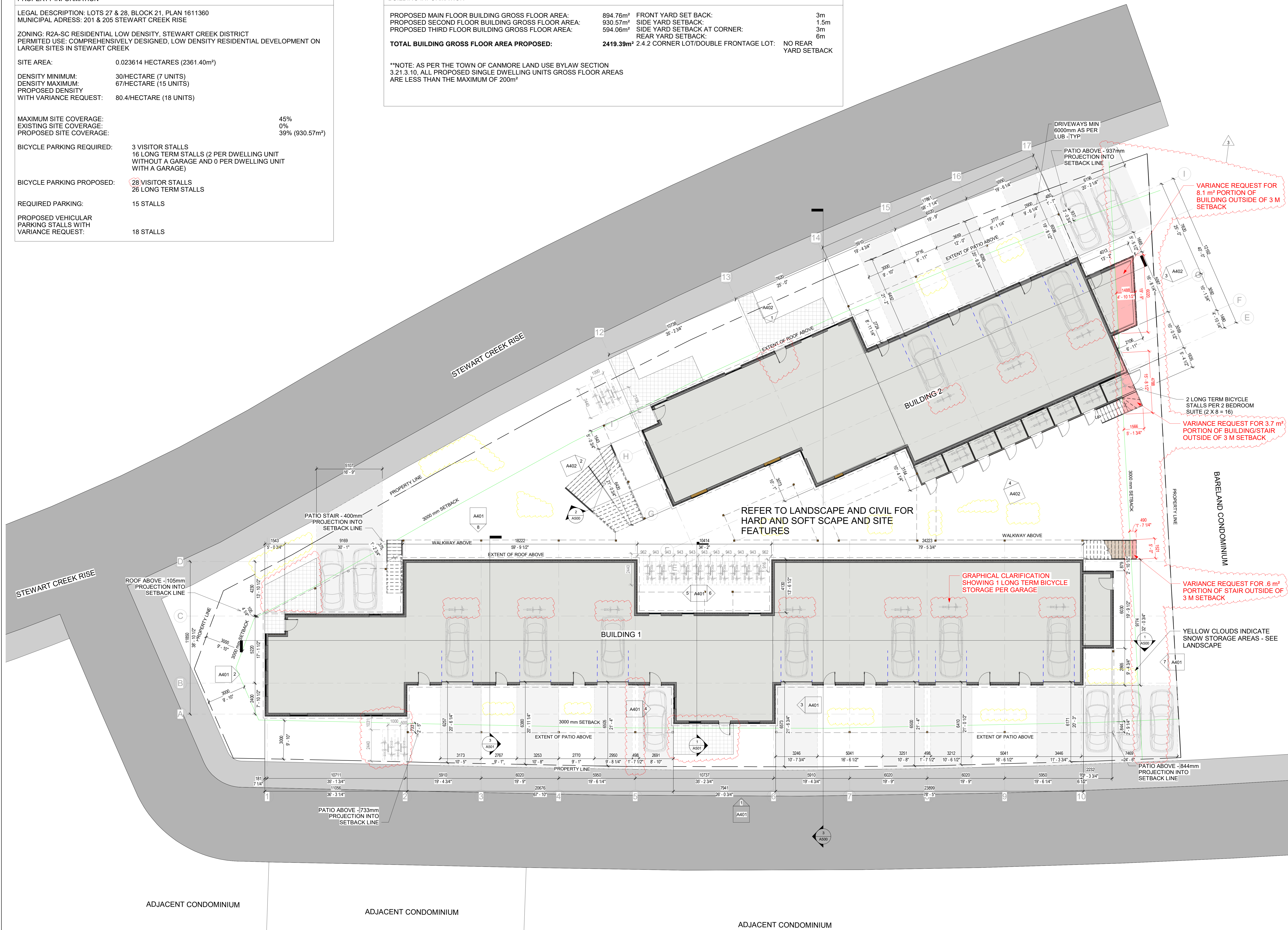
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A002



PROPERTY INFORMATION	
LEGAL DESCRIPTION: LOTS 27 & 28, BLOCK 21, PLAN 1611360	
MUNICIPAL ADDRESS: 201 & 205 STEWART CREEK RISE	
ZONING: R2A-SC RESIDENTIAL LOW DENSITY, STEWART CREEK DISTRICT	
PERMITTED USE: COMPREHENSIVELY DESIGNED, LOW DENSITY RESIDENTIAL DEVELOPMENT ON LARGER SITES IN STEWART CREEK	
SITE AREA:	0.023614 HECTARES (2361.40m <sup>2</sup> )
DENSITY MINIMUM:	30/HECTARE (7 UNITS)
DENSITY MAXIMUM:	67/HECTARE (15 UNITS)
PROPOSED DENSITY WITH VARIANCE REQUEST:	80.4/HECTARE (18 UNITS)
MAXIMUM SITE COVERAGE:	45%
EXISTING SITE COVERAGE:	0%
PROPOSED SITE COVERAGE:	39% (930.57m <sup>2</sup> )
BICYCLE PARKING REQUIRED:	3 VISITOR STALLS 16 LONG TERM STALLS (2 PER DWELLING UNIT WITHOUT A GARAGE AND 0 PER DWELLING UNIT WITH A GARAGE)
BICYCLE PARKING PROPOSED:	28 VISITOR STALLS 26 LONG TERM STALLS
REQUIRED PARKING:	15 STALLS
PROPOSED VEHICULAR PARKING STALLS WITH VARIANCE REQUEST:	18 STALLS

BUILDING INFORMATION			
PROPOSED MAIN FLOOR BUILDING GROSS FLOOR AREA:	894.76m <sup>2</sup>	FRONT YARD SET BACK:	3m
PROPOSED SECOND FLOOR BUILDING GROSS FLOOR AREA:	930.57m <sup>2</sup>	SIDE YARD SETBACK:	1.5m
PROPOSED THIRD FLOOR BUILDING GROSS FLOOR AREA:	594.06m <sup>2</sup>	SIDE YARD SETBACK AT CORNER:	3m
		REAR YARD SETBACK:	6m
<b>TOTAL BUILDING GROSS FLOOR AREA PROPOSED:</b>	<b>2419.39m<sup>2</sup></b>	2.4.2 CORNER LOT/DOUBLE FRONTAGE LOT:	NO REAR YARD SETBACK
**NOTE: AS PER THE TOWN OF CANMORE LAND USE BYLAW SECTION 3.21.3.10, ALL PROPOSED SINGLE DWELLING UNITS GROSS FLOOR AREAS ARE LESS THAN THE MAXIMUM OF 200m <sup>2</sup>			



- ISSUED FOR
- 25/01/2024 ISSUED FOR DP
  - 09/02/2024 ISSUED FOR DP ADDENDUM 1
  - 26/02/2024 ISSUED FOR DP ADDENDUM 2

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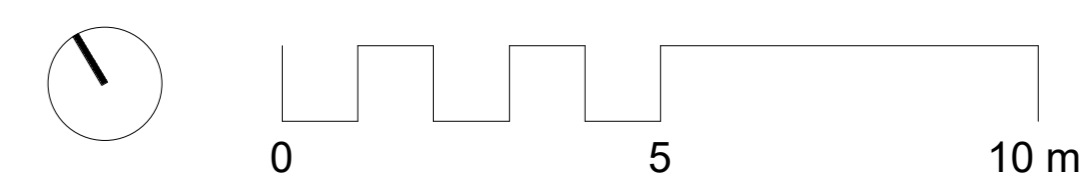
205 STEWART  
CREEK RISE

SITE PLAN - MAIN FLOOR

PLOT DATE: 2024-02-26 12:01:12 PM

A101

1 SITE PLAN - MAIN FLOOR  
1:100



205 Stewart Creek Rise, Canmore

PROPERTY INFORMATION

LEGAL DESCRIPTION: LOTS 27 & 28, BLOCK 21, PLAN 1611360  
 MUNICIPAL ADDRESS: 201 & 205 STEWART CREEK RISE

ZONING: R2A-SC RESIDENTIAL LOW DENSITY, STEWART CREEK DISTRICT  
 PERMITTED USE: COMPREHENSIVELY DESIGNED, LOW DENSITY RESIDENTIAL DEVELOPMENT ON LARGER SITES IN STEWART CREEK

SITE AREA: 0.023614 HECTARES (2361.40m<sup>2</sup>)

DENSITY MINIMUM: 30/HECTARE (7 UNITS)  
 DENSITY MAXIMUM: 67/HECTARE (15 UNITS)  
 PROPOSED DENSITY WITH VARIANCE REQUEST: 80.4/HECTARE (18 UNITS)

MAXIMUM SITE COVERAGE: 45%  
 EXISTING SITE COVERAGE: 0%  
 PROPOSED SITE COVERAGE: 39% (930.57m<sup>2</sup>)

BICYCLE PARKING REQUIRED: 3 VISITOR STALLS  
 16 LONG TERM STALLS (2 PER DWELLING UNIT WITHOUT A GARAGE AND 0 PER DWELLING UNIT WITH A GARAGE)

BICYCLE PARKING PROPOSED: 27 VISITOR STALLS  
 26 LONG TERM STALLS

REQUIRED PARKING: 15 STALLS

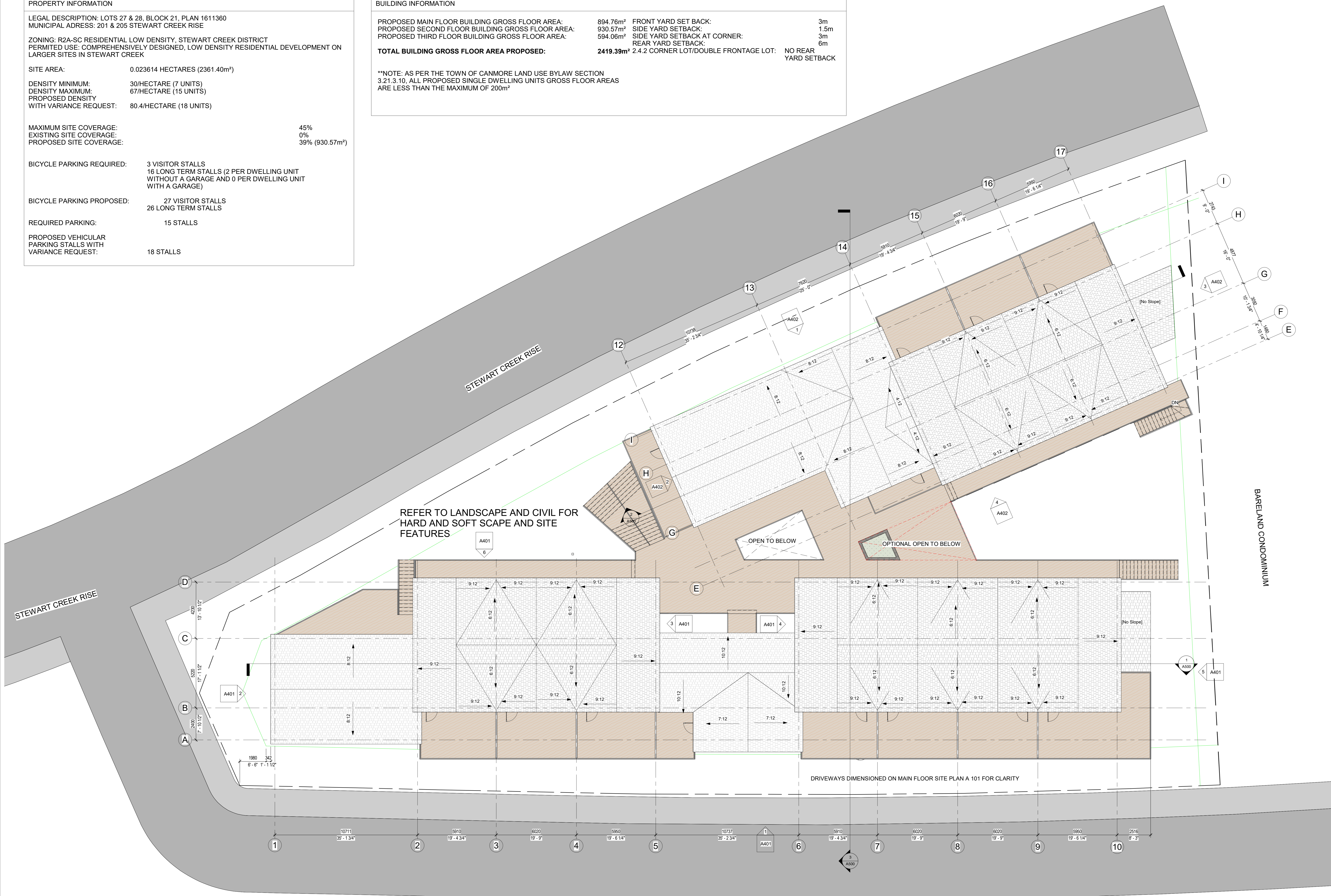
PROPOSED VEHICULAR PARKING STALLS WITH VARIANCE REQUEST: 18 STALLS

BUILDING INFORMATION

PROPOSED MAIN FLOOR BUILDING GROSS FLOOR AREA: 894.76m<sup>2</sup> FRONT YARD SET BACK: 3m  
 PROPOSED SECOND FLOOR BUILDING GROSS FLOOR AREA: 930.57m<sup>2</sup> SIDE YARD SETBACK: 1.5m  
 PROPOSED THIRD FLOOR BUILDING GROSS FLOOR AREA: 594.06m<sup>2</sup> SIDE YARD SETBACK AT CORNER: 3m  
 REAR YARD SETBACK: 6m

**TOTAL BUILDING GROSS FLOOR AREA PROPOSED: 2419.39m<sup>2</sup>** 2.4.2 CORNER LOT/DOUBLE FRONTAGE LOT: NO REAR YARD SETBACK

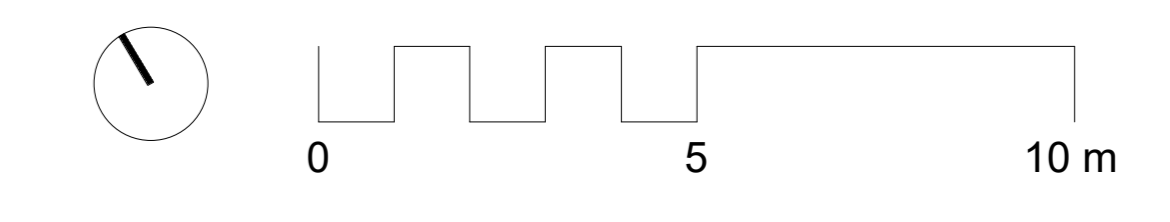
\*\*NOTE: AS PER THE TOWN OF CANMORE LAND USE BYLAW SECTION 3.21.3.10, ALL PROPOSED SINGLE DWELLING UNITS GROSS FLOOR AREAS ARE LESS THAN THE MAXIMUM OF 200m<sup>2</sup>



ADJACENT CONDOMINIUM  
**1** SITE PLAN - ROOF AND UPPER FLOOR  
 1 : 100

ADJACENT CONDOMINIUM

ADJACENT CONDOMINIUM



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 1 18/12/2023 ISSUED FOR DP

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205 STEWART CREEK RISE

SITE PLAN - ROOF AND UPPER FLOOR

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205 Stewart Creek Rise, Canmore

ISSUED FOR

1 18/12/2023 ISSUED FOR DP

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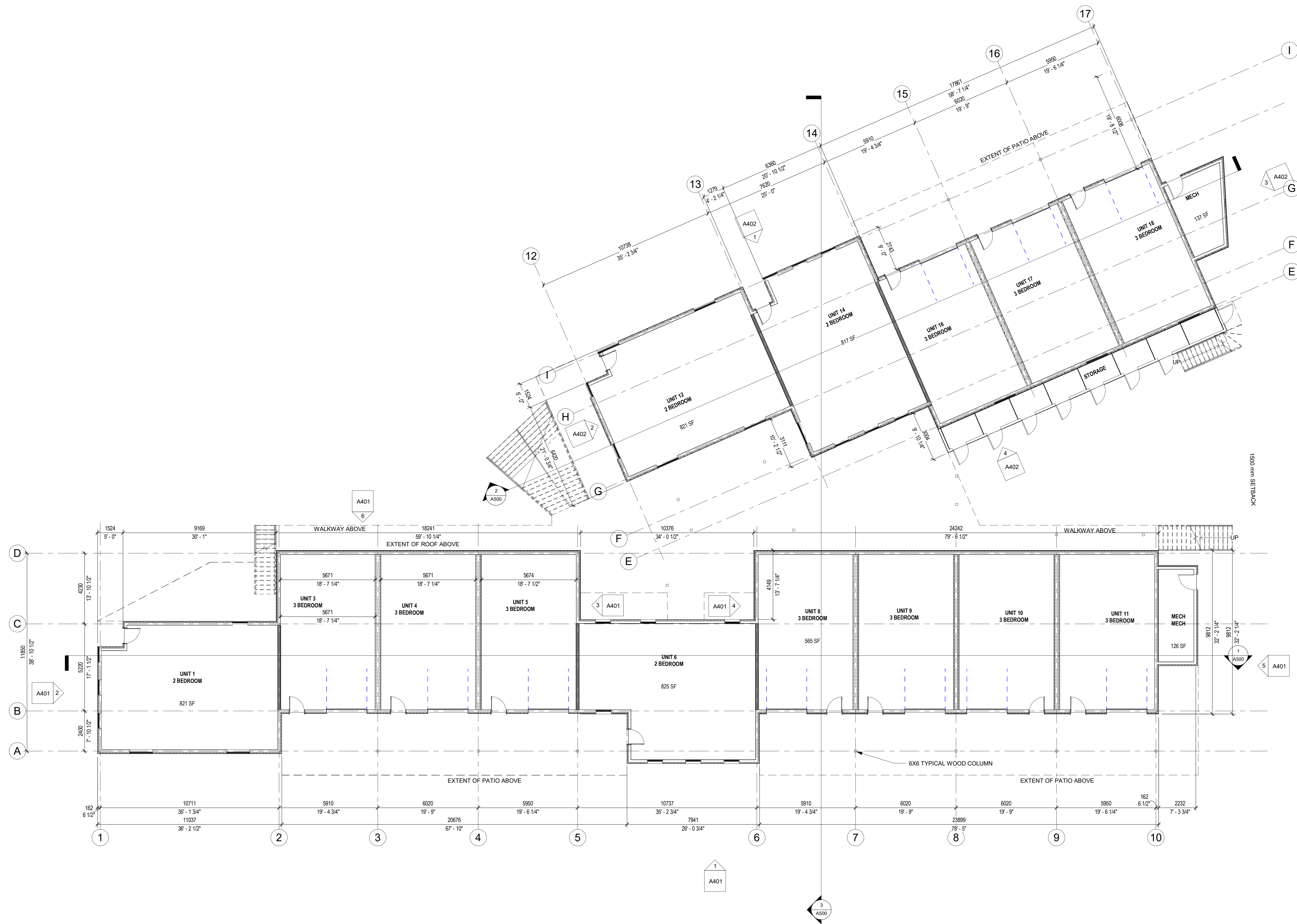
205 STEWART  
CREEK RISE

205 Stewart Creek Rise, Cammere

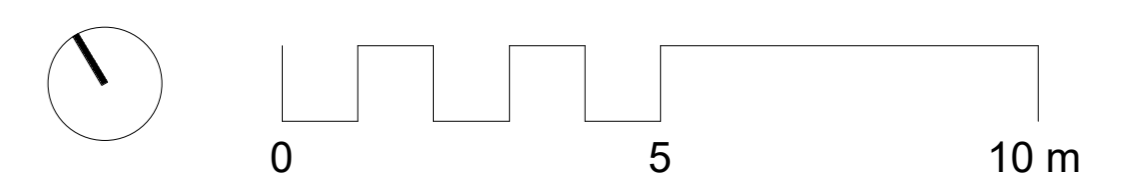
MAIN FLOOR PLAN

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1 MAIN FLOOR PLAN  
1 : 100



ISSUED FOR

1 18/12/2023 ISSUED FOR DP

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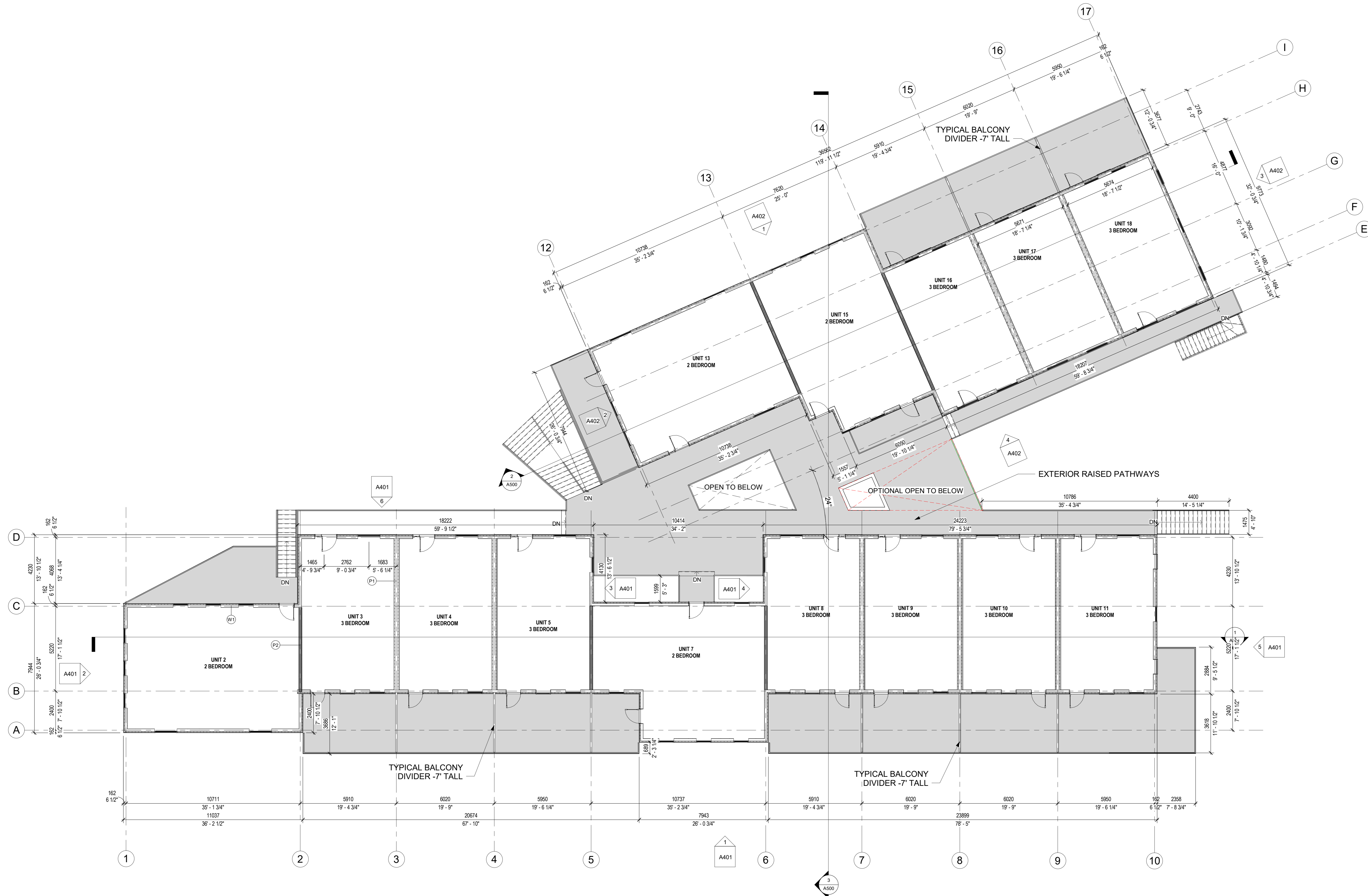
205 STEWART  
CREEK RISE

205 Stewart Creek Rise, Cammere

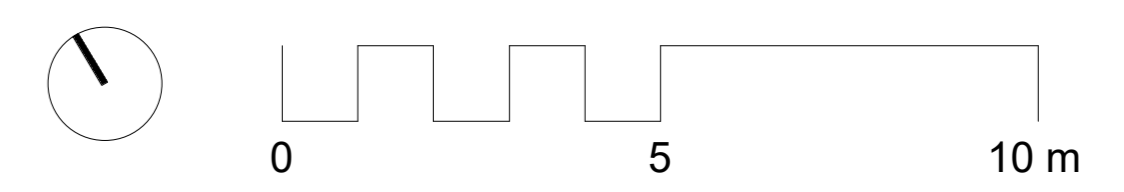
2ND FLOOR PLAN

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1 SECOND FLOOR PLAN  
1 : 100



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1 18/12/2023 ISSUED FOR DP

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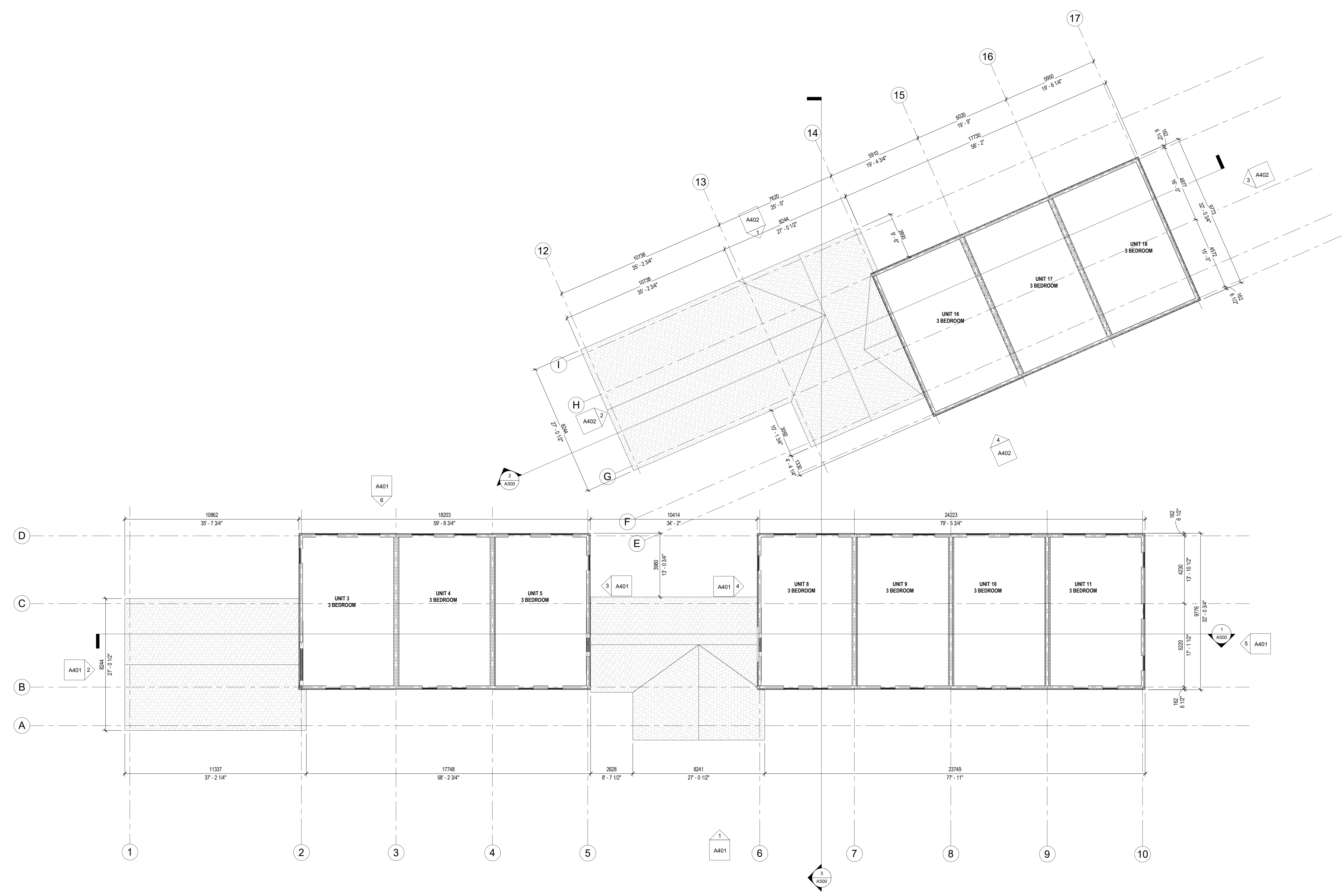
205 STEWART  
CREEK RISE

205 Stewart Creek Rise, Cammere

3RD FLOOR PLAN

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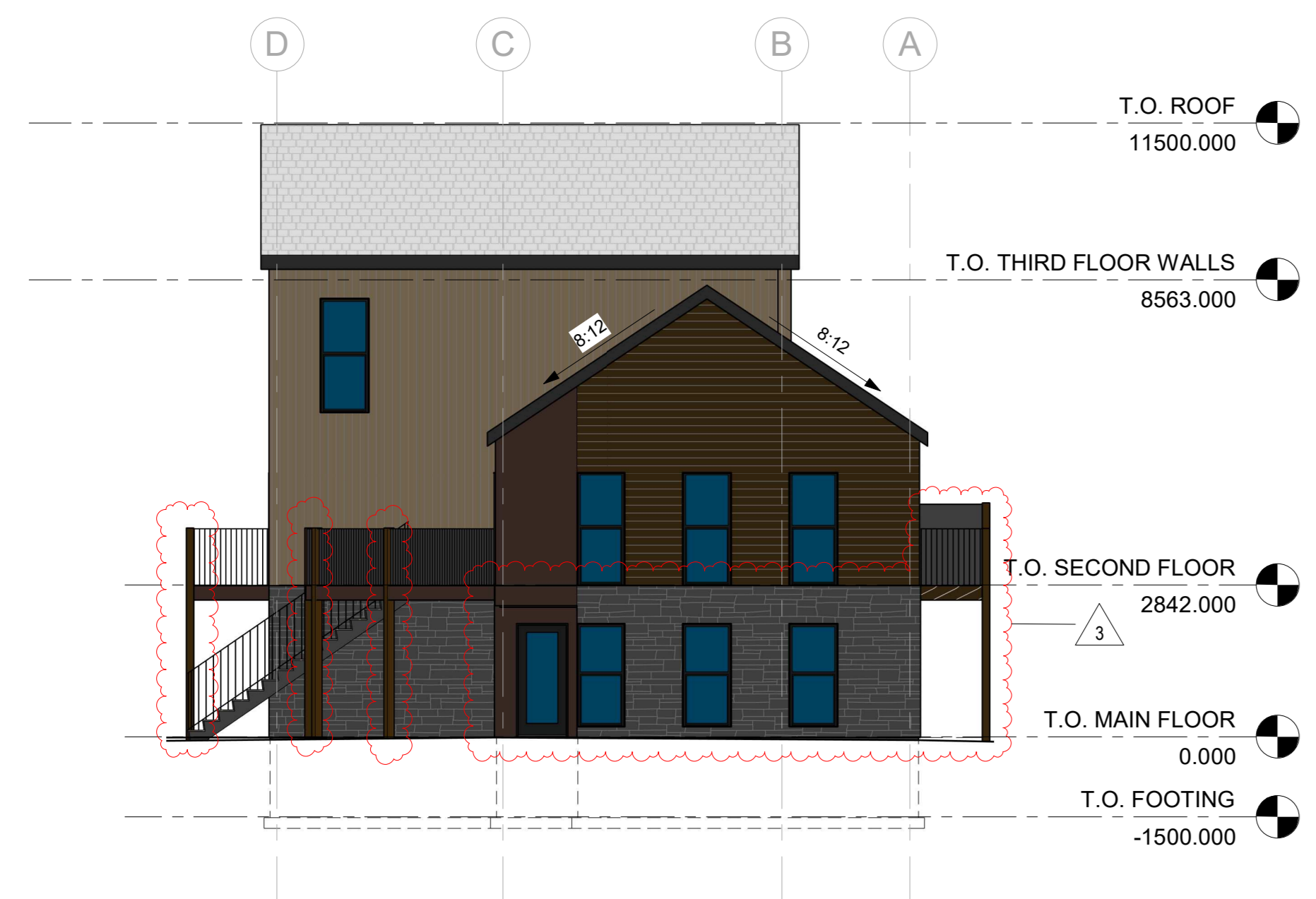
1 THIRD FLOOR PLAN  
1 : 100

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
C1	CORTEN STEEL
D1	MAIN AND GARAGE DOORS PAINTED
MR1	METAL RAILING
RS1	MANUFACTURED STONE VENEER
S1	CEMENTITIOUS SIDING (LIGHT WOOD PATTERN, HORIZONTAL AND/OR VERTICAL)
S2	CEMENTITIOUS SIDING (DARK WOOD PATTERN, HORIZONTAL AND/OR VERTICAL)
SH1	LIGHT ASPHALT SHINGLES
SH2	DARK ASPHALT SHINGLES
ST1	CEMENT STUCCO - GREY
T1	TIMBER ELEMENT - BROWN FINISH TO MATCH S2

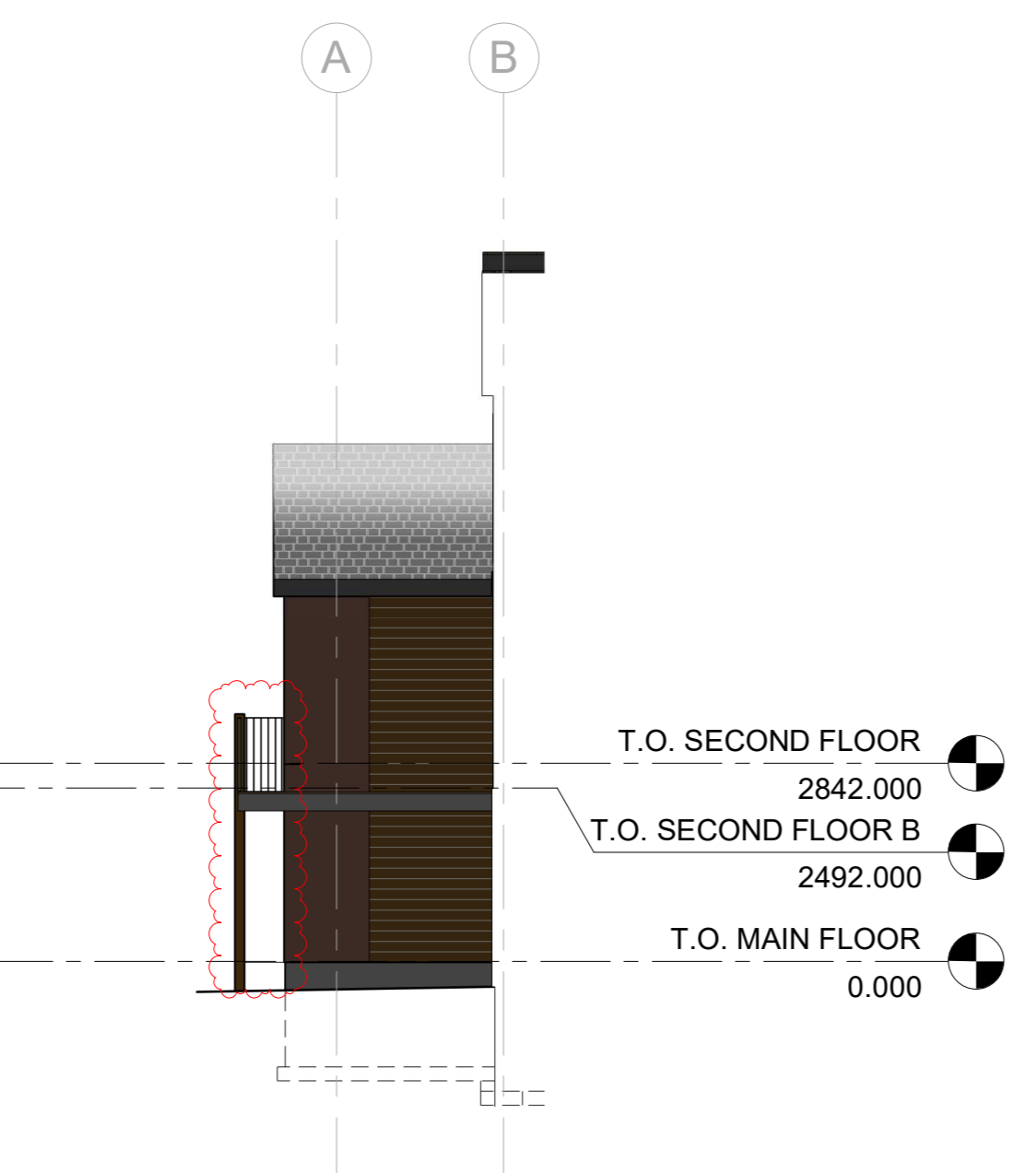
NOTE: PATIO FASCIA TO MATCH CORTEN OR RAILING



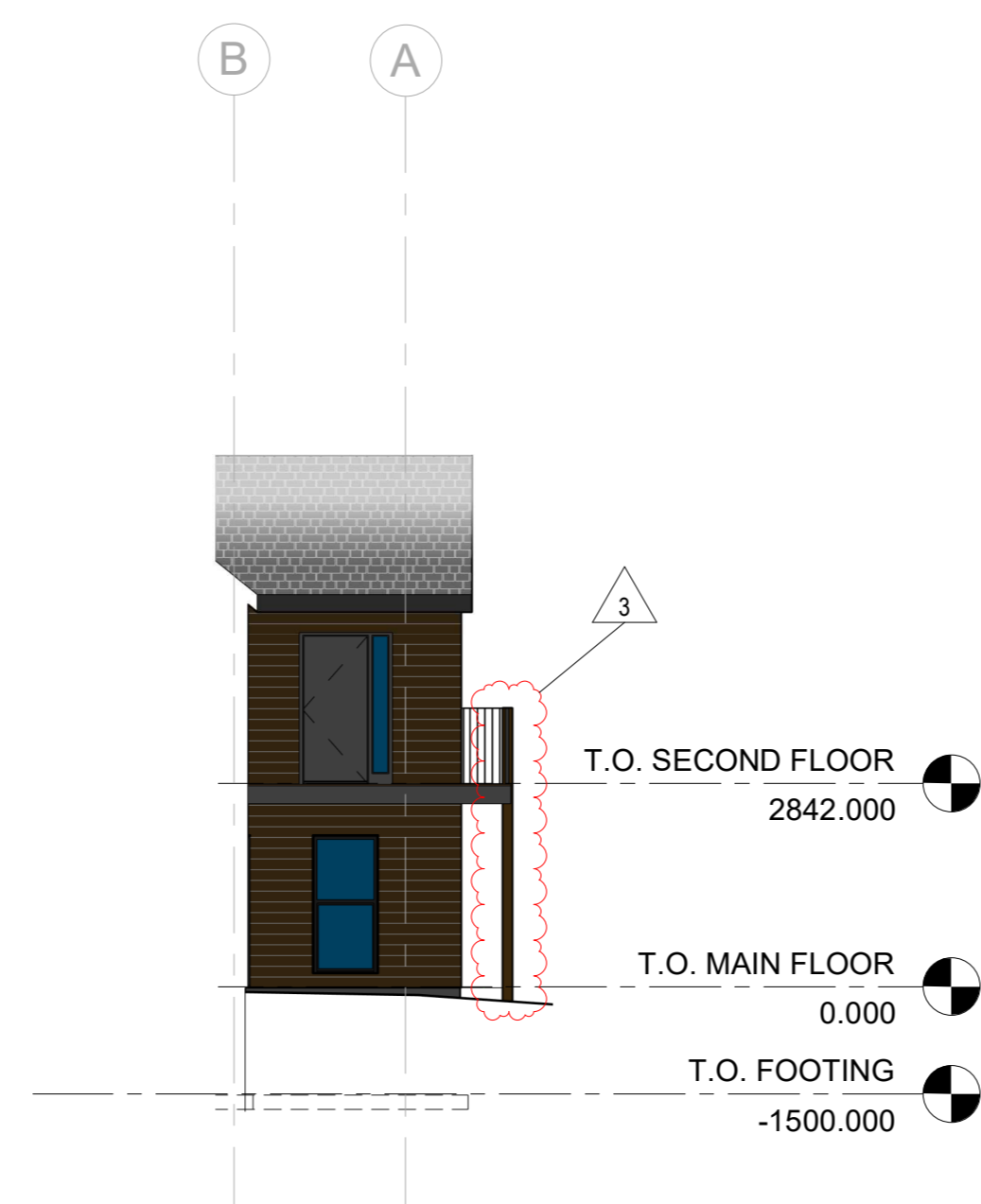
1 BUILDING 1 - SOUTH  
1 : 100



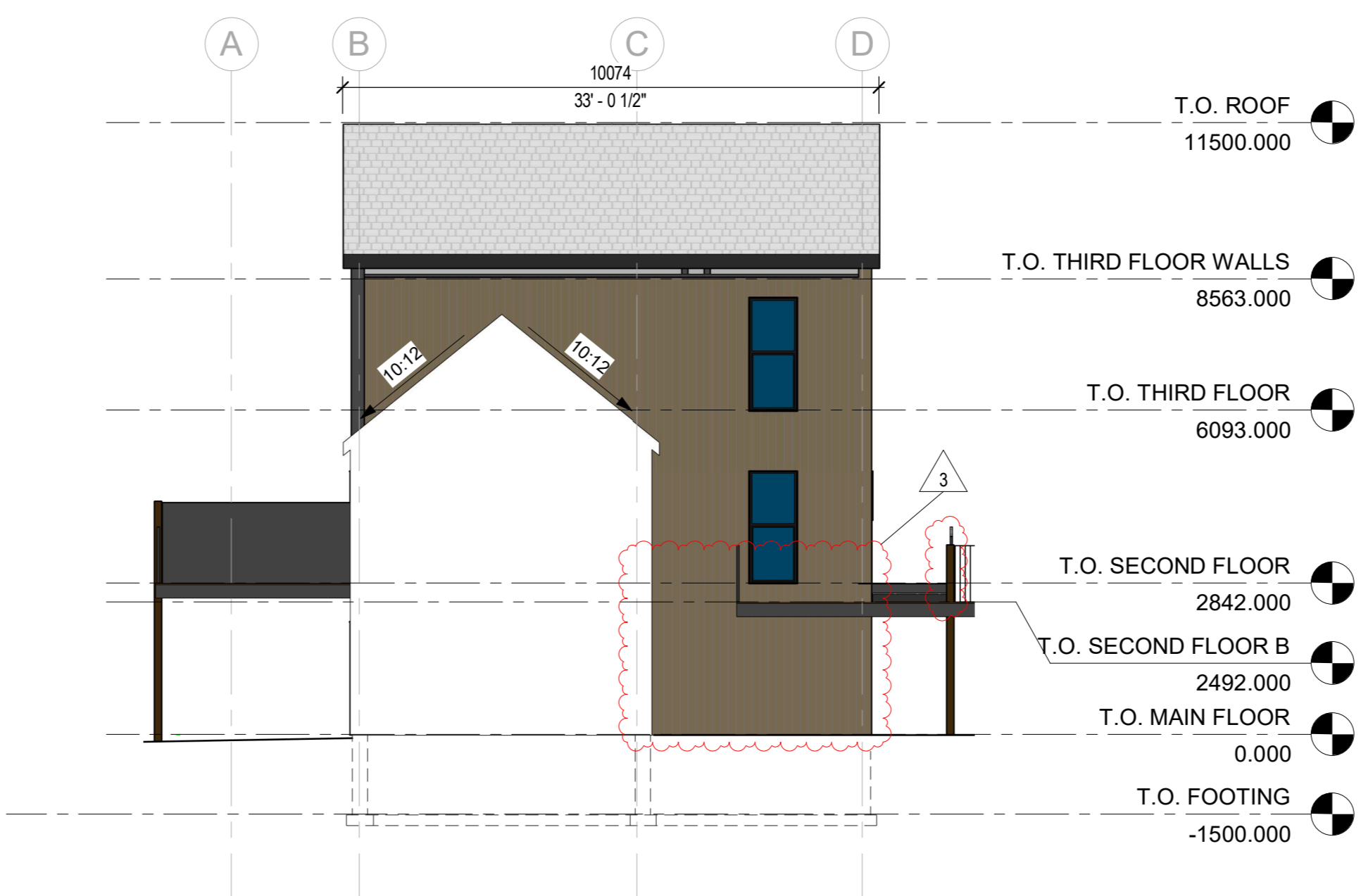
2 BUILDING 1 - WEST  
1 : 100



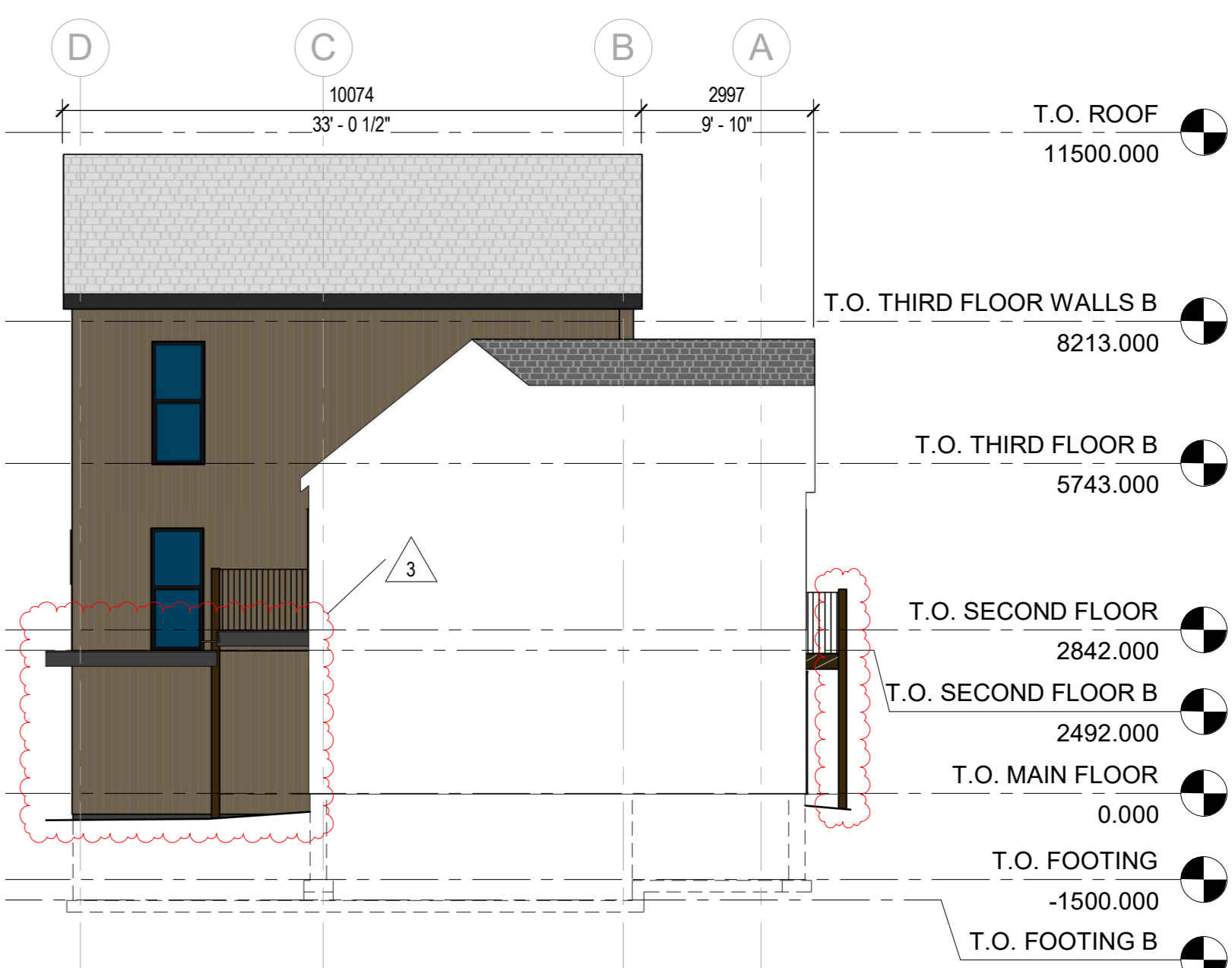
3 BUILDING 1 - EAST C  
1 : 100



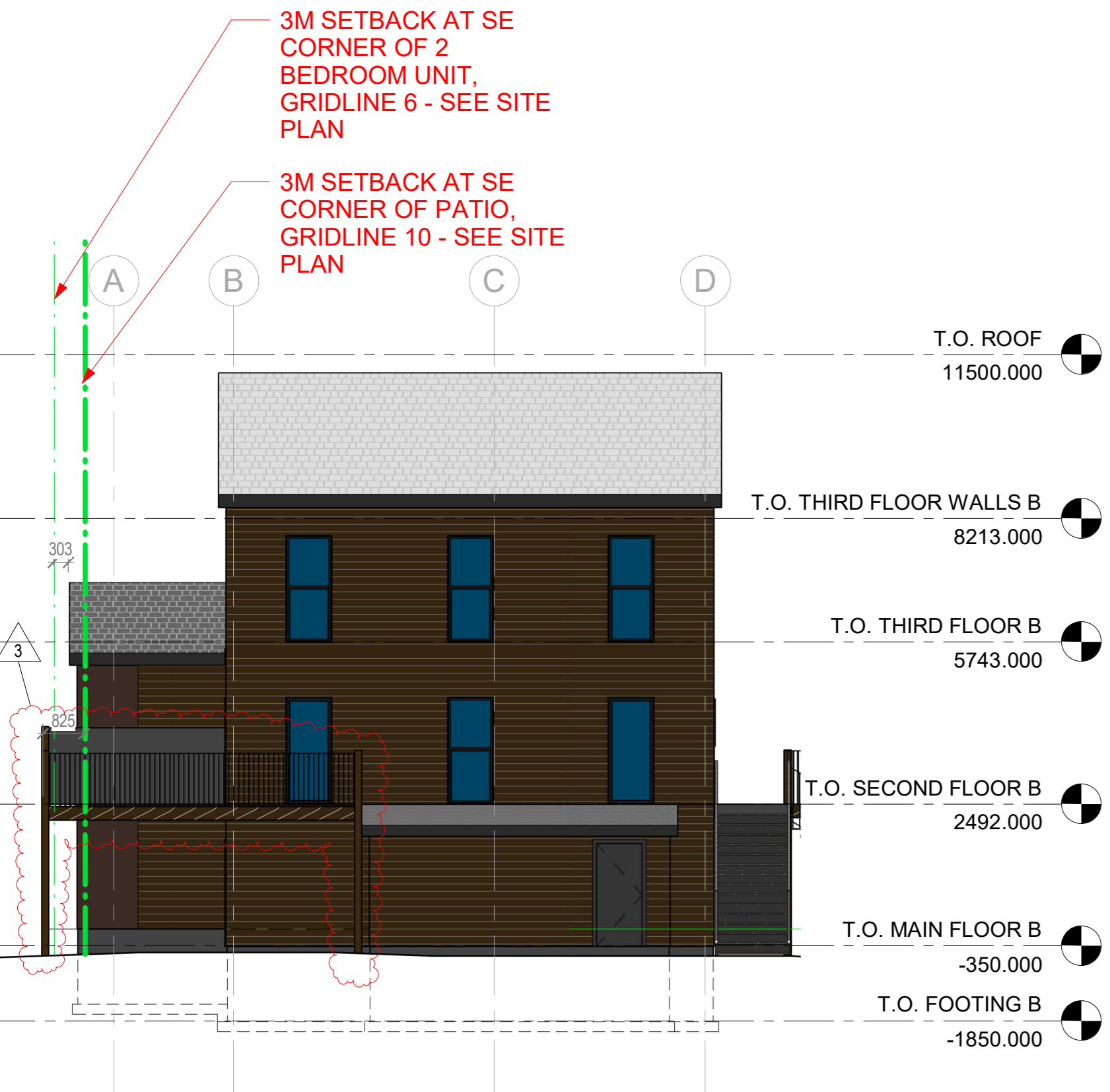
4 BUILDING 1 - WEST C  
1 : 100



5 BUILDING 1 - EAST B  
1 : 100



6 BUILDING 1 - WEST B  
1 : 100



7 BUILDING 1 - EAST  
1 : 100



8 BUILDING 1 - NORTH  
1 : 100

NOTE: REFER TO ELECTRICAL DRAWINGS E000 AND E001 FOR EXTERIOR LIGHTING

MONTAINE ARCHITECTURE

ISSUED FOR  
1 25/01/2024 ISSUED FOR DP  
2 09/02/2024 ISSUED FOR DP ADDENDUM 1  
3 26/02/2024 ISSUED FOR DP ADDENDUM 2

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

SEAL

205 STEWART CREEK RISE

ELEVATIONS

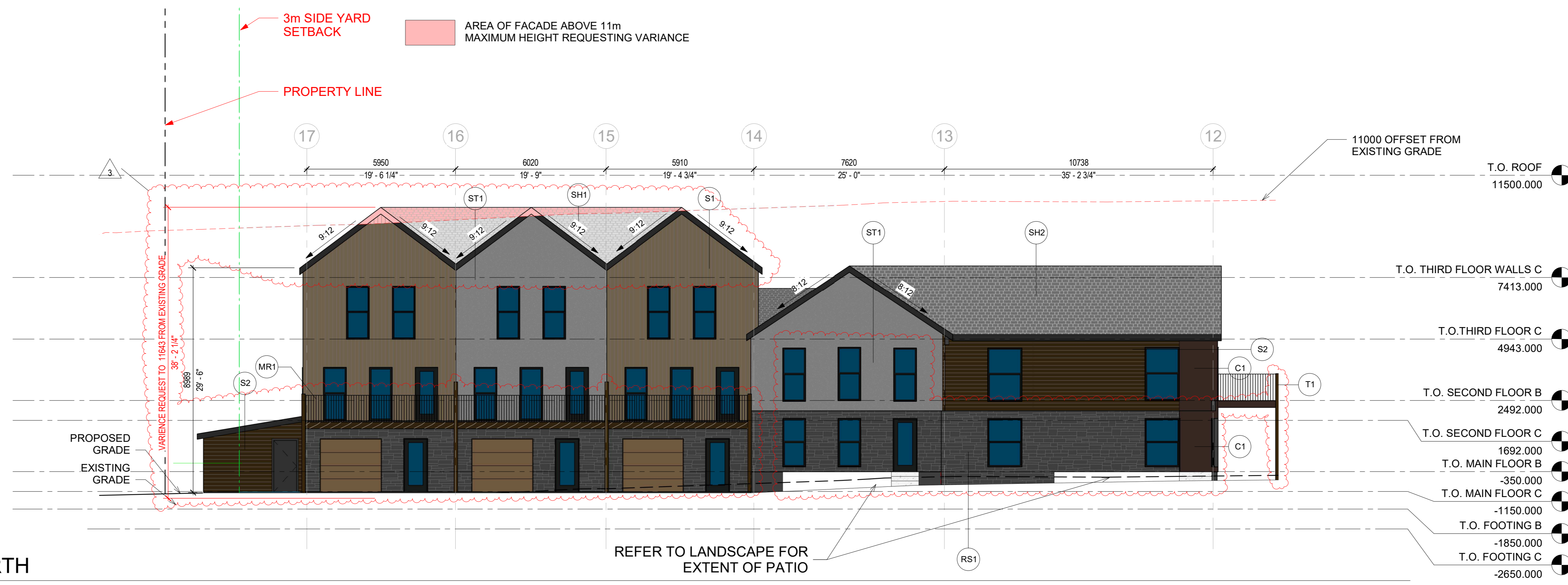
PLOT DATE: 2024-02-26 12:01:18 PM

A401

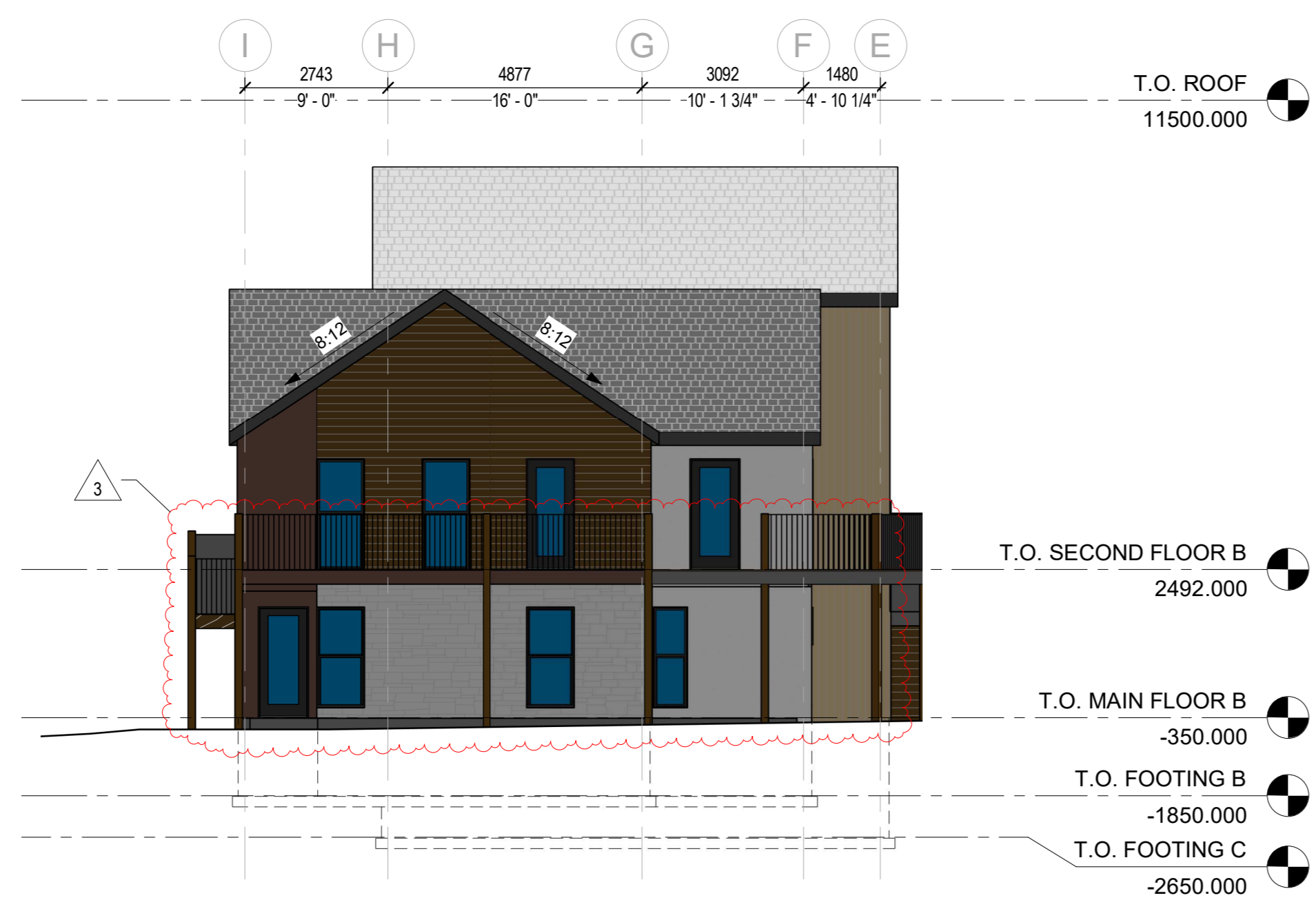


EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
C1	CORTEN STEEL
D1	MAIN AND GARAGE DOORS PAINTED
MR1	METAL RAILING
RS1	MANUFACTURED STONE VENEER
S1	CEMENTITIOUS SIDING (LIGHT WOOD PATTERN, HORIZONTAL AND/OR VERTICAL)
S2	CEMENTITIOUS SIDING (DARK WOOD PATTERN, HORIZONTAL AND/OR VERTICAL)
SH1	LIGHT ASPHALT SHINGLES
SH2	DARK ASPHALT SHINGLES
ST1	CEMENT STUCCO - GREY
T1	TIMBER ELEMENT - BROWN FINISH TO MATCH S2

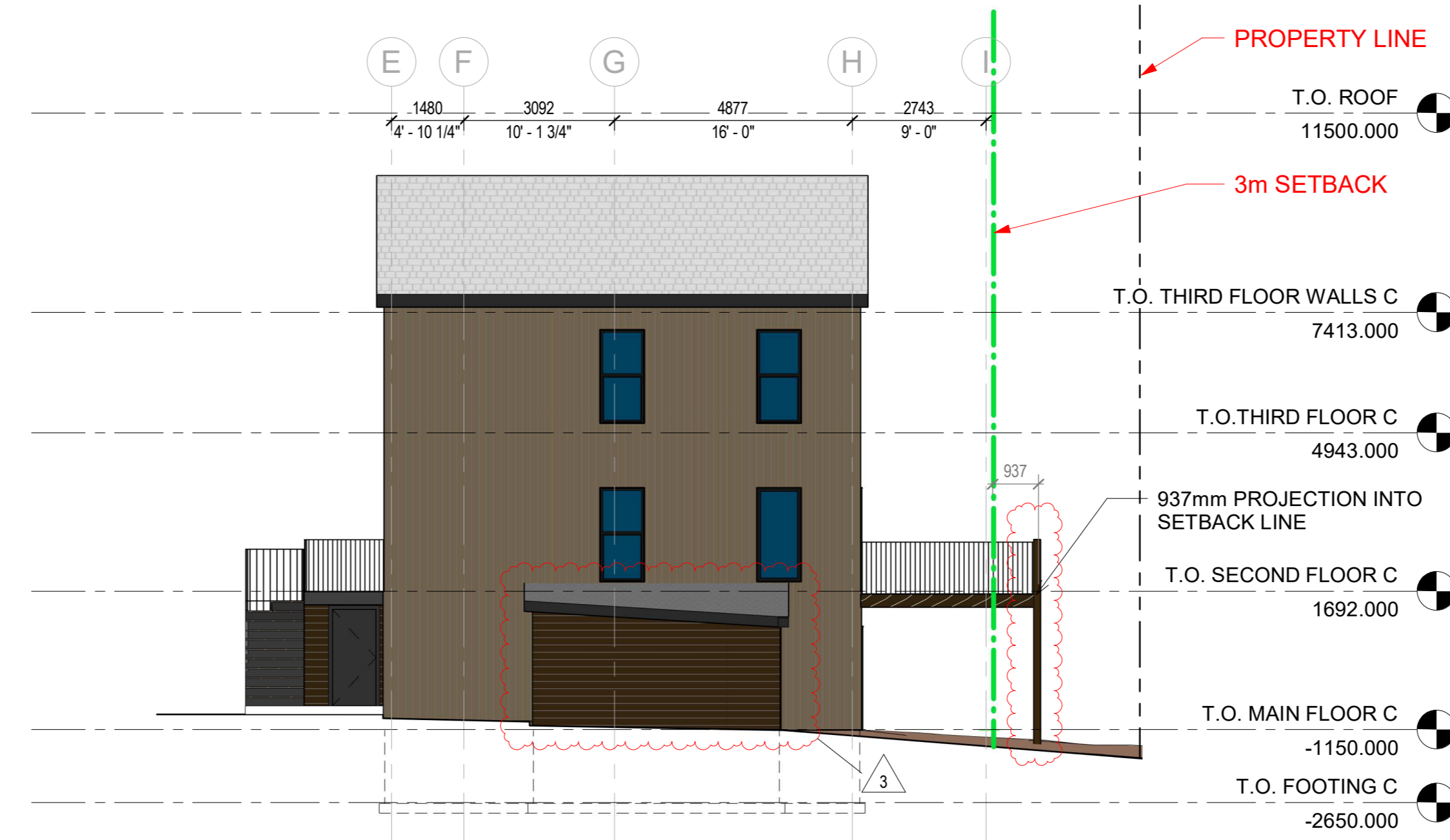
NOTE: PATIO FASCIA TO MATCH CORTEN OR RAILING



1 BUILDING 2 - NORTH  
1 : 100



2 BUILDING 2 - WEST  
1 : 100



3 BUILDING 2 - EAST  
1 : 100



4 BUILDING 2 - SOUTH  
1 : 100

NOTE: REFER TO ELECTRICAL DRAWINGS E000 AND E001 FOR EXTERIOR LIGHTING

ISSUED FOR

- 1 25/01/2024 ISSUED FOR DP
- 2 09/02/2024 ISSUED FOR DP ADDENDUM 1
- 3 26/02/2024 ISSUED FOR DP ADDENDUM 2

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SEAL

205 Stewart Creek Rise, Cammere

ELEVATIONS

PLOT DATE: 2024-02-26 12:01:21 PM

ISSUED FOR

1 18/12/2023 ISSUED FOR DP

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SEAL

205 STEWART CREEK RISE

205 Stewart Creek Rise, Cammere

BUILDING SECTIONS

PLOT DATE: 2023-12-15 4:38:41 PM

A500



1 BUILDING 1 OVERALL SECTION  
1 : 100



2 BUILDING 2 OVERALL SECTION  
1 : 100



3 SITE SECTION  
1 : 100

FOR CONCEPT IMPRESSION ONLY



MONTAINE  
ARCHITECTURE

ISSUED FOR

1 18/12/2023 ISSUED FOR DP

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SEAL

205 STEWART  
CREEK RISE

205 Stewart Creek Rise, Cammere

RENDERINGS

PLOT DATE: 2023-12-15 4:36:41 PM

A800

FOR CONCEPT IMPRESSION ONLY



MONTAINE ARCHITECTURE

ISSUED FOR

1 18/12/2023 ISSUED FOR DP

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

SEAL

205 STEWART CREEK RISE

205 Stewart Creek Rise, Cammore

RENDERINGS

PLOT DATE: 2023-12-15 4:36:42 PM

A801

# CANMORE, ALBERTA

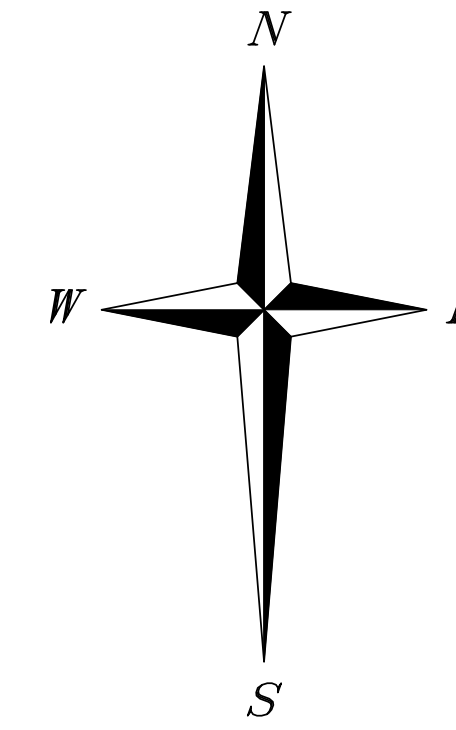
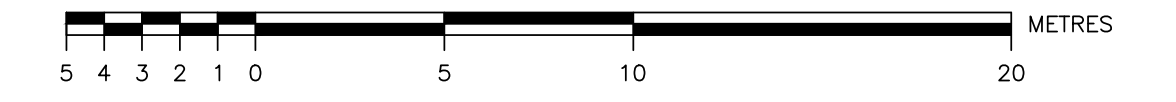
PLOT PLAN FOR DEVELOPMENT PERMIT  
AFFECTING

LOT 29, BLOCK 21, PLAN 2310690  
205 STEWART CREEK RISE, CANMORE

PREPARED FOR:

**MONTANE ARCHITECTURE**

SCALE = 1:200



### NOTES:

- DISTANCES AND ELEVATIONS ARE IN METRES.
- ELEVATIONS ARE REFERENCED TO ASCM 404251. ADD 1300.00m FOR GEODETIC.
- PLAN INFORMATION IS BASED ON A FIELD SURVEY COMPLETED FEBRUARY 15, 2023.
- LAND USE CLASSIFICATION OF PROPERTY IS R3-SC.
- AREA OF PARCEL SHOWN BOUNDED THUS: \_\_\_\_\_ AND CONTAINS 0.236 ha.
- 'P/L' DENOTES PROPERTY LINE.

### LEGEND:

- EXISTING GRADES
- DESIGN GRADES

CERTIFIED CORRECT THIS 8th DAY  
OF DECEMBER, 2024.

*Garret Dillabough*  
GARRET DILLABOUGH, A.L.S.

BUILDING DESCRIPTION (PROPOSED UNITS)	FOOTPRINT (m <sup>2</sup> )	% OF LOT AREA	CANTILEVERS (m <sup>2</sup> )	% OF LOT AREA
BUILDING (UNITS 1 TO 11)	581.0	24.6	2.3	0.1
BUILDING (UNITS 12 TO 18)	350.5	14.8	4.5	0.2
<b>TOTAL =</b>	<b>931.5</b>	<b>39.4</b>	<b>6.8</b>	<b>0.3</b>

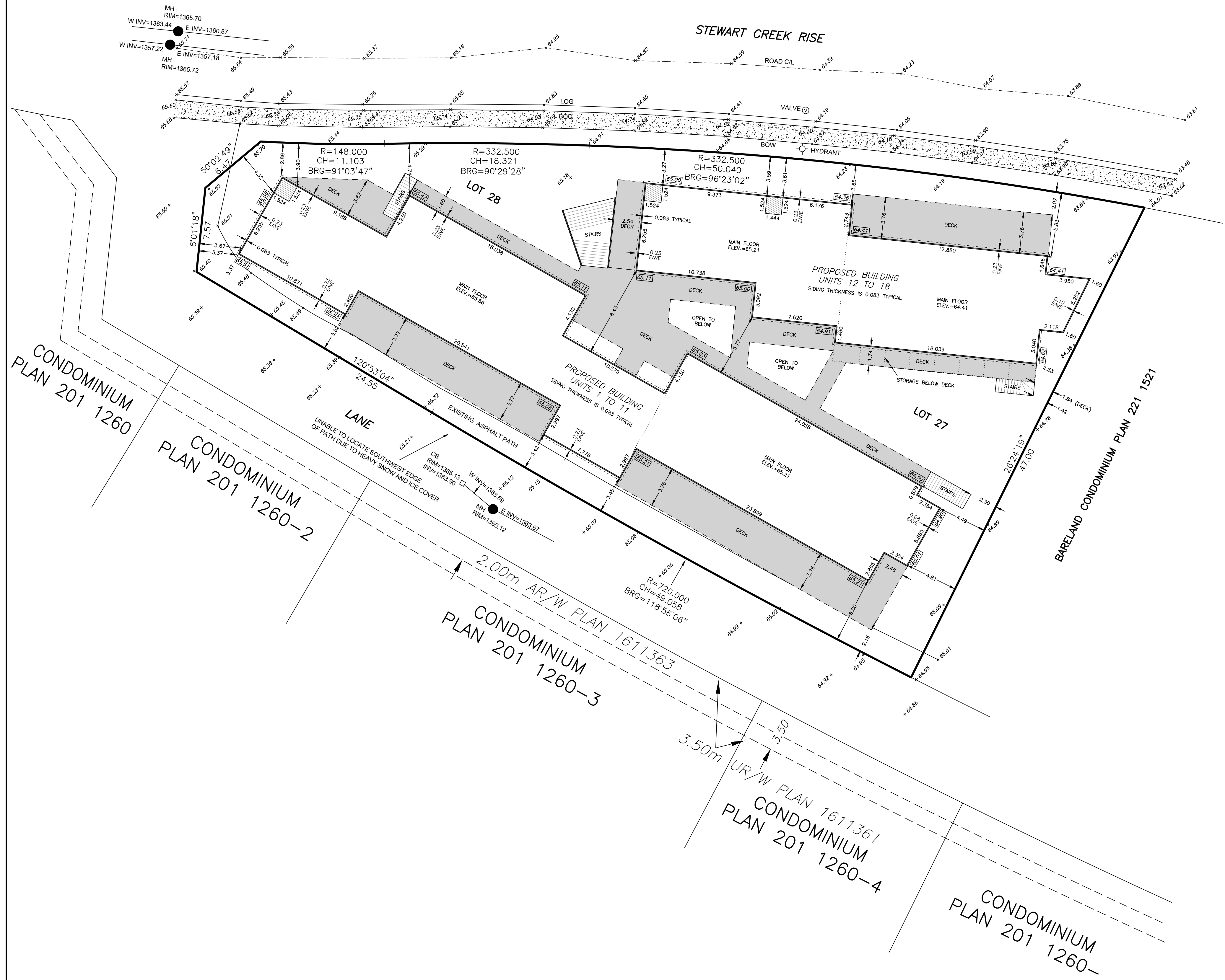
BUILDING ELEVATION TABLE				
BUILDING DESCRIPTION (PROPOSED UNITS)	FIRST FLOOR/GARAGE SLAB (AT ENTRANCE)	SECOND FLOOR	THIRD FLOOR	HIGHEST ROOF PEAK
UNIT 1	65.56	---	---	73.79
UNIT 2	---	65.40	---	---
UNIT 3	65.56	68.40	71.65	71.65
UNIT 4	65.56	68.40	71.65	76.76
UNIT 5	65.56	68.40	71.65	---
UNIT 6	65.56	---	---	73.44
UNIT 7	---	68.40	---	---
UNIT 8	65.21	68.05	71.30	---
UNIT 9	65.21	68.05	71.30	76.39
UNIT 10	65.21	68.05	71.30	---
UNIT 11	65.21	68.05	71.30	---
UNIT 12	65.21	---	---	---
UNIT 13	---	68.05	---	73.45
UNIT 14	65.21	---	---	---
UNIT 15	---	68.05	---	---
UNIT 16	64.41	67.25	70.24	---
UNIT 17	64.41	67.25	70.24	75.48
UNIT 18	64.41	67.25	70.24	---

NOTE: INTERNAL SURFACE FEATURES ARE NOT ILLUSTRATED ON THIS PLAN. SEE "ARCHITECTURAL SITE PLAN" (A100) BY MONTANE ARCHITECTURE FOR DETAILED SITE SURFACE FEATURES.

NOTE: DIMENSIONS FROM PROPERTY LINE ARE TO FOUNDATION.

SEE ENGINEER'S SITE PLAN  
SEE SURFACEWORKS AND GRADING PLAN SHEET C-100 BY MCELHANNY FOR DETAILED SITE GRADES AND DRAINAGE.

**McElhanney**  
Land Surveys (Alta.) Ltd.  
203 - 502 BOW VALLEY TRAIL, CANMORE, ALBERTA T1W 1N9  
PH (403) 678-6363; FAX (855) 407-3895  
FILE: 00384 00384p\_DP.DWG  
DRAWN BY: J.P. PLOTTED: DEC/18/2023





LEGEND

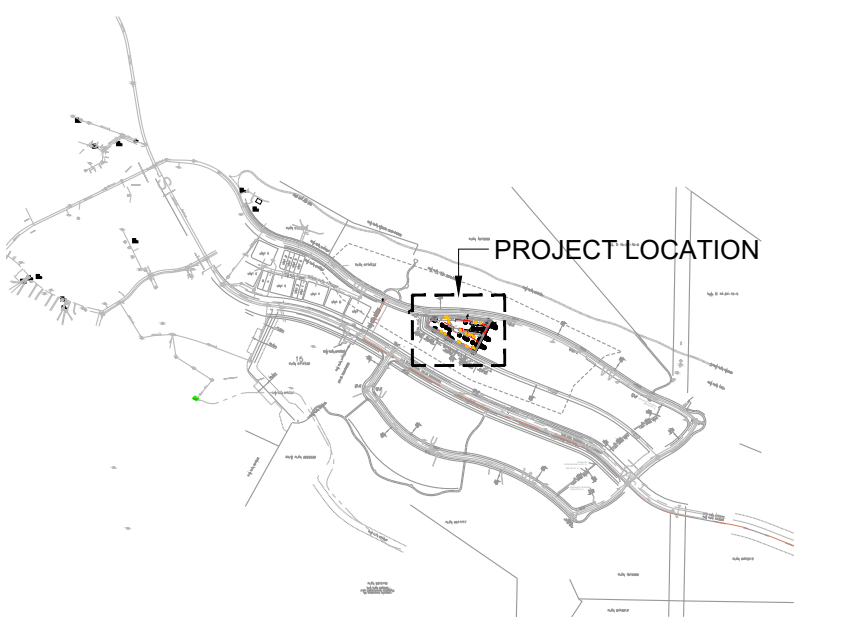
- PROPERTY LINE
SETBACK LINE
ALUMINUM EDGER
FIRESMART BOUNDARY
PROPOSED DROUGHT TOLERANT SOD ON 150mm DEPTH TOPSOIL...
GRAVEL MAINTENANCE PLINTH...
CONCRETE BROOM FINISH (PLAN) - SOLID LIGHTEST GREY HATCH
UNIT PAVER
DRIVEWAY, SEE CIVIL DWGS.
BOULDERS AVERAGE SIZE 1000mm-1500mm
BIKE RACK
BENCH

PLANT MATERIAL

- TREES
GREEN ASH Fraxinus pennsylvanica
TREMBLING ASPEN Populus tremuloides
SWEDISH COLUMNAR ASPEN Populus tremula 'Erecta'
WHITE SPRUCE Picea glauca
SHRUBS
GREEN ALDER Alnus viridis
CREEPING JUNIPER Juniperus horizontalis
PERENNIALS
VEINY MEADOW RUE Thalictrum venulosum
WHITE MEADOWSWEET Spiraea alba

UTILITY LOCATES

NO RESPONSIBILITY IS IMPLIED OR ASSUMED BY THE ENGINEER/LANDSCAPE ARCHITECT AS TO THE LOCATION AND ELEVATION OF ANY UTILITY...



GENERAL NOTES

- 1. THIS DRAWING HAS BEEN PREPARED FOR REVIEW PURPOSES ONLY...
2. LANDSCAPE AND CIVIL DRAWINGS SHALL BE COORDINATED...
3. LOCATION OF UNDERGROUND UTILITIES TO BE CONFIRMED...
4. ALL LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED...
5. VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM...
6. DO NOT SCALE DRAWINGS.
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

PLANTING NOTES

- 1. ALL LANDSCAPING WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD...
2. ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY...
3. ALL PLANTING BED TO HAVE A MINIMUM OF 75mm DEPTH BARK MULCH...
4. SOD TO BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS...
5. STAKE TREE LOCATIONS AND BED EDGES FOR APPROVAL...
6. PROVIDE GROWING MEDIUM DEPTHS/VOLUMES AS FOLLOWS:
TREES - 1000mm DEPTH GROWING MEDIUM VOLUMES
PLANTING BEDS (SHRUBS | PERENNIALS) - 450mm CONTINUOUS DEPTH
LAWN - 150mm CONTINUOUS DEPTH

LANDSCAPE PLAN

PLANT IMAGE



SITE FURNITURE IMAGES



PLANT SCHEDULE

Table with columns: Total Qty., Key, Botanical Name, Common Name, Size, Spacing O.C. Includes rows for Trees, Shrubs, Groundcovers & Vines, and Perennials.

LANDSCAPE REQUIREMENTS

TOTAL TREES PROVIDED: 40
TOTAL DECIDUOUS TREES PROVIDED: 33 (82.5% OF TOTAL TREES)
TOTAL CONIFEROUS TREES PROVIDED: 7 (17.5% OF TOTAL TREES)
LARGE TREES PROVIDED 11 (27.5% OF TOTAL TREES)
MEDIUM TREES PROVIDED 22 (55% OF TOTAL TREES)
SMALL TREES PROVIDED 7 (17.5% OF TOTAL TREES)

THIS DRAWING AND DESIGN IS THE PROPERTY OF McELHANNEY AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McELHANNEY...

McElhanney logo and contact information: Suite 203, 502 Bow Valley Trail, Canmore AB, Canada T1W 1N9, Tel 403 609 3992

PRELIMINARY NOT FOR CONSTRUCTION

CANMORE COMMUNITY HOUSING
205 STEWART CREEK RISE
205 STEWART CREEK RISE LANDSCAPE PLAN

Drawing No. L101
Project Number 2531-00384-00
Rev. PC

**ATTACHMENT 5 – SUSTAINABILITY SCREENING REPORT (SSR)**

## Sustainability Screening Report Process Impact - Offset Matrix

### Summary Page

Overall Results	Impact	%	Offset	%
<b>Economic Sustainability</b>	-0.45	4.64	4.33	1.48
<b>Environmental Stewardship</b>	-3.64	37.86	6.30	2.15
<b>Social Fabric</b>	-5.52	57.50	282.61	96.38
<b>Total Impact</b>	<b>-9.60</b>		<b>Total Offset</b> 293.23	<b>Net Score</b> <b>283.63</b>

Economic Sustainability	
Income and Wages	0.00
Non-Residential Tax Assessment	-0.45

Economic Sustainability	
0.00	InfraCycle Assessment
0.00	Increasing commercial assessment
2.03	New employment above median salary
0.00	New employment outside of 4 significant sectors
0.00	Floor space for Economic Development & Tourism
2.29	Percentage of local construction labour value
0.00	Economic leadership or innovation

Environmental Stewardship	
Residential Water Consumption	-0.65
Commercial Water Consumption	0.00
Residential Solid Waste Generation	-0.46
Commercial Solid Waste Generation	0.00
All Building Energy use and GHG emissions	-1.74
Transportation	0.00
Infrastructure (sanitary-gravity)	0.00
Infrastructure (sanitary-pressure)	0.00
Environmentally Sensitive Lands	0.00
Land Consumption	-0.05
Efficient Residential Land Use	-0.42
Efficient Commercial Land Use	0.00
Efficient Industrial Land Use	0.00
Efficient Mixed Use Residential Land Use	0.00
Efficient Mixed Use Commercial Land Use	0.00
Metres of trails / capita	-0.32
Metres of new roads to service development	0.00

Environmental Stewardship	
0.00	Residential / commercial mix of uses
0.00	Higher density than current levels
0.00	Access to community services from <u>residences</u>
0.00	Access to services from the <u>commercial</u> site
0.30	Water saving measures
0.30	Rain water harvesting system or infiltration
0.30	Construction waste diversion rate
0.00	Long-term, operating waste diversion
0.00	Parking stalls are un-assigned
0.30	Bike parking of adequate quality
0.90	Average size of the dwellings
0.00	LEED Certified
1.80	Built Green Certified
0.00	Other green building certification programs
0.00	Commercial energy consumption reduction
1.80	Residential energy consumption reduction
0.60	Environmentally sensitive land protection
0.00	Minimize density adjacent to sensitive lands
0.00	Reuse an existing contaminated site
0.00	Environmental leadership or innovation

Social Fabric	
Affordability of Market housing (in relation to median income)	0.00
PAH Housing	-1.08
Seniors Housing	-0.87
Employee Housing	-0.65
Childcare spaces	-0.86
Library	-0.34
Food Bank Usage	-0.69
Social Assistance Payments	-0.68
Crimes Against Persons and Property	-0.34

Social Fabric	
280.51	Units of perpetually affordable housing
0.00	Cash contribution towards PAH
0.00	Bedrooms of employee housing
0.00	Bedrooms for employees earning < median income
0.00	Cash contribution towards employee housing
0.00	Units of seniors housing
0.00	Percentage of the employees housed
0.00	Employees rental assistance 10% below market levels
0.90	Percentage of site ares for social interaction
0.00	Reuse an existing historic property or building
0.00	Exceed minimum municipal reserve requirements
0.00	Accessible recreation or cultural facilities or programs
0.00	Contribution to recreation facilities
0.00	Support school enrollment
0.00	Support for current childcare facilities
0.00	Support for cultural establishments
0.00	Support for other non-profit community organizations
0.00	Unique supports for community programming
0.00	Support for special events
0.00	Public art component
1.20	Public consultation program
0.00	Social leadership or innovation



**ATTACHMENT 6 – SCHEDULE A – CONDITIONS OF APPROVAL**

# SCHEDULE A

## CONDITIONS OF APPROVAL

**DEVELOPMENT PERMIT No.:** PL20230389

**LAND USE DISTRICT:** R2A-SC DISTRICT

**APPROVED USE(S):** COMPREHENSIVELY DESIGNED MULTI-UNIT  
RESIDENTIAL DEVELOPMENT  
(18-UNIT STACKED TOWNHOUSE)

**APPROVED VARIANCE(S):**

1. MAXIMUM BUILDING HEIGHT
2. MAXIMUM PROJECTIONS
3. MAXIMUM DENSITY
4. MINIMUM SIDE YARD SETBACK
5. MINIMUM VISITOR PARKING
6. DRIVEWAY DESIGN
7. BUILDING MATERIALS

**MUNICIPAL ADDRESS:** 205 STEWART CREEK RISE

**LEGAL ADDRESS:** LOT 29, BLOCK 21, PLAN 231 690

---

### APPROVED VARIANCES

1. To Section 2.3.0.1g&h of Land Use Bylaw 2018-22, to allow for more than one vehicle access to the site, greater driveway widths, and non-decorative driveway surfaces, generally as shown on the approved plans.
2. To Section 2.4.3.1 of Land Use Bylaw 2018-22, to allow for greater eave, deck, and stair projections than that specified in Table 2.4-1, as shown on the approved plans.
3. To Section 2.7.7.1 of Land Use Bylaw 2018-22, to allow for 0 visitor parking stalls instead of the required minimum of 2 stalls.
4. To Section 3.21.3.5 of Land Use Bylaw 2018-22, to allow for a maximum building height of 11.67m instead of the maximum allowed of 10.5m.
5. To Section 3.21.4.2 of Land Use Bylaw 2018-22, to allow for a 1.6 m side yard setback, instead of the minimum 3.0m required, as shown on the approved plans.
6. To Section 3.21.4.4 of Land Use Bylaw 2018-22, to allow for a maximum density of 80.4 Units/Ha instead of the maximum allowed of 67 Units/Ha.
7. To Section 11.6.7.1 of Land Use Bylaw 2018-22, to allow for the use of corten steel as an accent material on the building.

**STANDARD CONDITIONS**

1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
  - a. Construct or pay for the construction of the municipal improvements, infrastructure and services required by the development, which may include but shall not be limited to:
    - Transportation;
    - Water;
    - Sanitary;
    - Storm; and
    - Fire
  - b. Pay the off-site levies imposed by the Off-Site Levy 2020 Bylaw (Bylaw 2020-27), as amended or replaced from time to time; and
  - c. Provide security in accordance with the Engineering Design and Construction Guidelines (EDCG) to ensure the terms of the Development Agreement are carried out; and
  - d. Pay for any other fees as identified in this document.
2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore's Public Works Department.
5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
8. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
9. All signs shall require a separate development permit.
10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

**SPECIFIC CONDITIONS**

1. The applicant shall provide **security** to the Town of Canmore to ensure the completion of the project, in the form of cash or an irrevocable Letter of Credit. The amount should be equal to or no less than 1.25 (125%) of the estimated project costs for the project for landscaping and all hard surfacing, paving; and 2. site servicing; both to the satisfaction of the Town. The Letter of Credit shall be supplied at the time of the signing of the Development Agreement and shall be in a format acceptable to the Town of Canmore.
2. The Developer shall submit and follow their approved **Construction Management Plan**. The construction management plan **submitted prior to construction** shall be followed through all stages of construction. If any problems arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.
3. The Developer is required to provide a minimum of **18** vehicle parking stalls, **0** Short-term vehicle parking stalls, **0** loading bays, **3** short-term bicycle parking stalls and **16** long term bicycle parking stalls, as shown in the approved plans.
4. The Developer shall provide **landscaping** generally in accordance with the approved landscaping plan.
5. The Developer agrees to comply with the requirements for enhanced green construction, and that the development will be **1-10% better than the current NECB** in place at the time of development as outlined in Section 11 Green Building Regulations of the Land Use Bylaw.

**PRIOR TO THE RELEASE OF THE DEVELOPMENT PERMIT**

6. **Prior to the release of the Development Permit**, the Developer shall pay the following variance fees as outlined below.

Seven (7) approved variances:

Discretion limited in Land Use Bylaw 3@ \$340.00 = \$1,020.00

Discretion not limited in Land Use Bylaw 4@ \$210.00 = \$840.00

**TOTAL: \$1,860.00**

7. **Prior to the release of the Development Permit**, the Developer will submit **addressing** in accordance with the Town's Civic Addressing Protocol.
8. **Prior to the release of the Development Permit**, the Developer shall provide **lighting details** as required by, and in conformance with Land Use Bylaw 2018-22
9. **Prior to the release of the Development Permit**, the Developer shall provide a **pre-construction energy report** estimating the energy efficiency of the development using the current NECB.
10. **Prior to the release of the Development Permit**, the applicant shall provide approval from the approving authority for the **private architectural controls** registered on the parcel.



## Planning & Development Department

Town of Canmore  
902 - 7th Avenue  
Canmore, AB, T1W 3K1  
[www.canmore.ca](http://www.canmore.ca)

### ADVISORY COMMENTS

1. None.

\_\_\_\_\_  
Signature  
Chair, Canmore Planning Commission

\_\_\_\_\_  
Date

**IS A NOTICE POSTING REQUIRED:**

**YES**

**NO**