

**TOWN OF CANMORE**

**AGENDA**

Subdivision & Development Appeal Board Hearing  
Council Chambers at the Civic Centre, 902 – 7 Avenue  
**Thursday, May 16, 2024 at 1:30 p.m.**

**A. CALL TO ORDER AND APPROVAL OF AGENDA**

1. **Board and Administration Introductions**
2. **Agenda for the May 16, 2024 Subdivision & Development Appeal Board Hearing**

**B. APPROVAL OF RECORD OF PROCEEDINGS**

None.

**C. APPEAL HEARING**

1. **PL20240043**  
**1255 7 Avenue**  
**Lot 2, Block 45, Plan 9010589**  
**Addition to an existing dwelling unit – variance to the rear yard setback**  
**Appeal against a refusal by the Canmore Development Authority.**

- (1) Introduction of Appellant
- (2) Hearing Process Outline
- (3) Development Authority Presentation
- (4) Appellant Presentation
- (5) Public Verbal Submissions
- (6) Public Written Submissions
- (7) Questions for Clarification
- (8) Closing Comments

**D. CONCLUSION**

## NOTICE OF DECISION

**\*THIS IS NOT A DEVELOPMENT PERMIT\***

**DEVELOPMENT PERMIT No.:** PL20240043

**APPLICANT NAME:** Alasdair Russell

**MUNICIPAL ADDRESS:** 1255 7th Ave

**LEGAL ADDRESS:** Lot: 2      Block: 45      Plan: 9010589

**LAND USE DISTRICT:** R1 Residential Detached District

**USE(S):** Addition to an Existing Dwelling

**DATE OF DECISION:** April 18, 2024

**REFUSED BY:** Development Officer

**DATE ISSUED:** April 18, 2024

It has been decided that the application be **REFUSED** for the reasons noted in the attached **Schedule A**.

**This application was deemed complete on: February 21, 2024.**

Signature



Jerritt Cloney  
Development Officer

Date

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A decision of the Development Authority on a development permit application may be appealed by serving a written Notice of Appeal to the Secretary of the Subdivision and Development Appeal Board within twenty-one (21) days of the date that the applicant is notified of the decision in writing.

Should you have any questions or require information regarding any of the above please contact the Development Officer as noted in this document.

# **SCHEDULE A**

## **REASONS FOR REFUSAL**

**DEVELOPMENT PERMIT No.:** PL20240043

**LAND USE DISTRICT:** R1 Residential Detach District

**MUNICIPAL ADDRESS:** 1255 7<sup>th</sup> Ave

**LEGAL ADDRESS:** Lot: 2      Block: 45      Plan: 9010589

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1. The proposed development includes a rear yard setback of 2.47m, rather than the required 7.5m as described in section 3.1.3.7 of the Land Use Bylaw.



# NOTICE OF APPEAL Application Form

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated.

PROPERTY INFORMATION			
Municipal Address <b>1255 7TH AVENUE</b>		Development Permit/Subdivision Application File Number <b>PL20240043</b>	
APPELLANT INFORMATION			
Name of Appellant <b>Cameron Hall</b>		Agent Name (If applicable) <b>Alasdair Russell</b>	
Mailing Address (for notification purposes) <b>200 817 Main Street</b>			
City <b>Canmore</b>	Province <b>AB</b>	Postal Code <b>T1W 0B9</b>	
Phone Number (Day) <b>403 678 3003</b>		Email <b>ar@russellandrussell.ca</b>	
<input checked="" type="checkbox"/> The appellant/agent, gives authorization for electronic communication by the Clerk, using the email provided on this Notice of Appeal			

**APPEAL AGAINST** (Check one box only. For multiple appeals you must submit separate Notice of Appeal forms)

Development Permit	Subdivision Application	Stop Order
<input type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Stop Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input checked="" type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

**REASONS FOR APPEAL** Section 678 and 686 of the *Municipal Government Act* requires that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (attach a separate page if required)

We would like to appeal the automatic refusal of setback variance by the Development Officer on the grounds of site constraints and the larger setback created by a previous SDAB decision.

The home was built in 1957 by the Stone Nakoda First Nation in recognition of the legal work and first nations advocacy by John Lee Laurie. It was moved to it's current location, just meters from it's original site in 1989, to preserve as much of the historic building as possible and to allow the construction of more homes on the adjacent land.

Currently the building is setback 15m, 3m, 2m and 10.5m from the south, west, east and north property lines respectively. The 15m setback to the south was part of an SDAB decision from 1998 and is being respected. It is the opposite property line setback, north, we would like a variance for.

In order to allow the construction of an additional bedroom and attached ADU we would like to relocate the 6m "front yard" setback to a small portion of the east of the property, towards 7th Ave. This would allow access from 7th Ave to be maintained and create enough parking for the home and ADU.

This would create a home 15m, 3m+6m, 2m and 2.8m from the property line, far in excess of the required minimums of 7.5m, 3m, 1.5m and 6m.

A number of neighbours have provided letters of support for this variance.

**FOIP Notification:** This personal information is being collected under the authority of the Municipal Government Act (MGA) and the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the SDAB Clerk at [municipal.clerk@canmore.ca](mailto:municipal.clerk@canmore.ca).

Signature of appellant/agent <b>alasdair russell</b> <small>Digitally signed by alasdair russell Date: 2024.04.22 12:02:18 -06'00'</small>	Date (MM/DD/YYYY) <b>04/22/2024</b>
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## INSTRUCTIONS FOR FILING AN APPEAL

### THE NOTICE OF APPEAL FORM MUST:

- Be received by the Subdivision and Development Appeal Board (SDAB) within 21 days of the written decision being made and sent out by the Development Authority or the Subdivision Authority as specified in the Municipal Government Act (MGA);
- Be accompanied by the filing fee, made payable to "Town of Canmore";
- State specific reasons for the appeal; and
- Be signed by the appellant, or their acting agent.

**Please note:** Appeals must be accompanied by the fee at the time of filing. Contact the Clerk at **403.678.1550** or at [municipal.clerk@canmore.ca](mailto:municipal.clerk@canmore.ca), to arrange payment if filing by email or fax.

**Filing the Appeal:** **In-person or mail:**  
Town of Canmore  
Subdivision and Development Appeal Board  
902 7<sup>th</sup> Avenue  
Canmore AB T1W 3K1

**Email:**  
[municipal.clerk@canmore.ca](mailto:municipal.clerk@canmore.ca)

**Fax:**  
403.678.1534

**Payment:** Appeal fees may be paid by cheque payable to the Town of Canmore upon submission. Payment can also be made in-person by debit, VISA or MasterCard at the Civic Centre located at 902 7<sup>th</sup> Avenue, Canmore AB.

Business hours are 8:30 a.m. to 4:30 p.m. Monday to Friday.

**Refund:** A refund of the appeal fee will only be granted if the appeal is withdrawn prior to the scheduling of the hearing. No refunds can be made once a hearing is held, regardless of the appeal outcome.

For further information regarding appeal deadlines, fee payment options, or the appeal process, please go to our website at <https://www.canmore.ca/your-government/council/boards-and-committees/subdivision-development-appeal-board>

### WHAT IS THE SUBDIVISION AND DEVELOPMENT APPEAL BOARD (SDAB)?

The SDAB is a quasi-judicial authority (similar to a judge) that is made of public members who are appointed by Council. The board consists of between five and seven members. Only one member shall be a member of Council.

The SDAB makes decisions on appeals related to Stop Orders and decisions made with respect to development permits and subdivision applications. When considering appeals, the SDAB owes a duty of fairness to participants in the hearing process.

### WHO CAN FILE AN APPEAL?

#### Subdivision appeals:

The applicant (or agent) can file an appeal if their application for subdivision has been:

- Refused;
- Approved with conditions unacceptable to them;
- OR
- If a subdivision authority fails or refuses to make a decision within 60 days of application being deemed complete by the file manager.

The decision of a subdivision authority may be appealed by the applicant (or agent), Town Council, provincial government department or a school board.

#### Development permit appeals:

The applicant (or agent) can file an appeal if their application has been:

- Refused;
- Approved with conditions unacceptable to them;
- Issued a stop order;
- OR
- A party will be affected by a new development or new use of a property;
- If the Development Authority fails or refuses to make a decision within 40 days of the application being deemed complete by the file manager.

### WHAT IS THE TIME LIMIT FOR FILING AN APPEAL?

The MGA sets out timelines within which appeals to the SDAB must be filed. If an appeal is filed outside of the time required by the MGA, the SDAB does not have jurisdiction to hear the appeal.

**Subdivision appeals:** Appeals are allowed within 14 days after receipt of the written decision of the Subdivision Authority (SA).

**Development permit appeals:** MGA s. 686 provides that appeals must be made within 21 days of:

- a) the date of the written decision on the application, or
- b) the date of the deemed refusal.

**Stop order appeals:** Appeals are allowed within 21 days of the date on which the Stop Order was made.

### WHAT IS THE FEE TO FILE AN APPEAL?

The fee to file a Notice of Appeal is \$300 for an appeal related to small scale development and \$500 for an appeal related to medium or large scale development and must be submitted as part of your appeal. Payment can be made by cheque made out to "Town of Canmore", or can be made in-person by debit, VISA or MasterCard at the Civic Centre located at 902 7<sup>th</sup> Avenue. Business hours are 8:30 a.m. - 4:30 p.m. Monday to Friday.

### HEARING PROCEDURE

Once the Town of Canmore has received the Notice of Appeal and the applicable fees have been processed, a hearing date is set. The SDAB must hold a hearing within 30 calendar days after receipt of a Notice of Appeal.

### TIME OF THE HEARING

The Town of Canmore SDAB holds their hearings during business hours on weekdays. Please inform the Clerk upon submission of your appeal if this timing does not work for you, in which case an alternative time may be scheduled.

## BEFORE THE HEARING

The Clerk is required to give at least 5 days' notice in writing of the hearing to:

- the appellant;
- the development authority whose order, decision or development permit is subject to appeal;
- those owners required to be notified under the Land Use Bylaw; and
- any other person that the SDAB considers to be affected by the appeal and should be notified.

Prior to the hearing, the SDAB must make available for public review, all relevant documents and materials with respect to the appeal, including the application for the development permit, the decision and the notice of appeal, or the stop order.

## DURING THE HEARING

At the hearing, the SDAB must hear:

- the appellant or any person acting on behalf of the appellant (agent);
- the Subdivision Authority or the Development Authority (as applicable);
- any other person who was given notice of the hearing, and who wishes to be heard, or a person acting on behalf of that person; and
- any person who claims to be affected by the order, decision or permit and that the SDAB agrees to hear.

The person who files the appeal is expected to give a verbal presentation to the SDAB (a written and/or visual presentation is also permitted). Prior to the hearing, the Clerk will advise of the deadline for any submission to the SDAB.

**All documents submitted and presented become public documents.**

Some suggestions for preparing your presentation for the SDAB:

- Determine the relevant planning issues associated with the appeal;
- prepare a clear, concise and logical written presentation;
- review the contents of the SDAB hearing package provided by the Clerk; and
- avoid the inclusion of non-relevant issues that are outside the Boards jurisdiction and cannot be considered, such as business competition, comments regarding someone's character, financial impact on the applicant, financial status of the applicant, and whether the development is occupied by renters or owners.

**Note that the SDAB is not bound by previous decisions and will not hear arguments about precedent.**

## AFTER THE HEARING

The SDAB must give its decision in writing together with reasons for the decision within 15 days after concluding the hearing. Appeals of the SDAB decision are to the Court of Appeal and are limited to matters of law or jurisdiction.

## POSTPONEMENT OR NOT ATTENDING YOUR HEARING

You may submit a written request to postpone your hearing, including the reasons for the request, either to the Board at the time of the hearing or to the Clerk prior to the hearing. Hearings will only be postponed at the discretion of the Board.

If you are not in attendance when your appeal is called, the SDAB may proceed without you.

## WITHDRAWAL OF YOUR APPEAL

Written withdrawal must be submitted to the Clerk as soon as possible to help the Board and municipality use its resources effectively. Note that a refund of the appeal fee shall only be granted if the appeal is withdrawn prior to the scheduling of the hearing.

# SUBDIVISION AND DEVELOPMENT APPEAL BOARD

## STAFF REPORT



<b>DATE OF HEARING:</b>	MAY 16, 2024
<b>PROPOSED DEVELOPMENT:</b>	ADDITION TO EXISTING DWELLING, INCLUDING AN ACCESSORY DWELLING UNIT
<b>APPLICATION NUMBER:</b>	PL20240043
<b>LEGAL DESCRIPTION:</b>	LOT 2, BLOCK 45, PLAN 9010589
<b>CIVIC ADDRESS:</b>	1255 7 <sup>th</sup> AVENUE
<b>CURRENT USE(S):</b>	DETACHED DWELLING
<b>APPLICANT:</b>	ALASDAIR RUSSELL / RUSSELL AND RUSSELL DESIGN STUDIOS

## EXECUTIVE SUMMARY

The proposed development is an addition to an existing detached dwelling. The proposed addition includes adding additional floor space to the primary residence, adding an attached Accessory Dwelling Unit (ADU), and a two-car garage. The site has an unusual orientation which requires unique building setback considerations.

The proposal includes a variance request for the rear yard setback, which is beyond the Development Officer's authority to approve. As a result, the Development Permit was refused.

The Planning Department recommends that the Subdivision and Appeal Board approve PL20240043 along with the attached Proposed Conditions of Approval (Attachment 5).

## BACKGROUND

### Municipal Government Act (MGA):

The authority to regulate the use and development of land and buildings is found within Division 5 of the MGA. With respect to refusing a development permit application:

*642(4) If a development authority refuses an application for a development permit, the development authority must issue to the applicant a notice, in the form and manner provided for in the land use bylaw, that the application has been refused and provide the reasons for the refusal.*

Grounds for appeal of development permit decisions are found within section 685.

### Municipal Development Plan:

With respect to Accessory Dwelling Units:

*5.3.6. Provision of secondary and garden suites in new and existing neighbourhoods should be encouraged.*

With respect to supporting infill and redevelopment within Existing Neighbourhoods:

*6.1.9 In order to allow for the natural evolution of neighbourhoods and to meet the goals of this MDP, infill and redevelopment within existing neighbourhoods should be considered in accordance with Section 2. Priority areas for infill and redevelopment within existing neighbourhoods include areas:*

- a. with adequate infrastructure and services that can accommodate growth and minimize costs,*
- b. in need of infrastructure upgrades,*
- c. within walking distance to the Town Centre or commercial services,*
- d. with access to existing or planned transit services, and*
- e. with aging housing stock.*

With respect to Existing Development Adjacent to a Waterbody:

*4.2.24 Renovation or expansion of existing buildings located on a lot adjacent to a waterbody, or further encroachment into the required waterbody setback, may be allowed provided the development proposal does not negatively impact the waterbody. The submission of an EIS by a qualified professional that provides an evaluation of the impacts of the development proposal and recommends mitigation or enhancements may be required.*

NOTE: while the lot is technically adjacent to a waterbody, the lot is previously developed, respects the required 20m setback, and has a paved developed roadway between the property and the creek. Therefore an EIS is not recommended in this case.

### Land Use Bylaw

The process for reviewing Development Permit applications and applicable design regulations, along with the Development Officer's authority to grant variances, is found within the Land Use Bylaw. Further details are found in the Bylaw Conformance / Variance Discussion section of this report. A full Land Use Bylaw review of the project is found in Attachment 4.



Previous Development Authority Decisions

A previous Development Permit application (DP98-495) for an addition/renovation to a detached dwelling at the subject property was approved by a Development Officer in 1998. The approval was subsequently appealed by a neighbouring property owner. The appeal (Appeal No. 98-015) was denied, and a Development Permit was issued with variances, along with Conditions of Approval. The Board Order, along with a copy of the Plot Plan referenced in the Board Order, can be found in Attachment 6.

**EXISTING SITE**

The subject site is within the *RI – Residential Detached District*. The purpose of the district is:

*“to provide for Detached Dwelling units on standard lots with provisions to allow for Accessory Dwelling Units and other compatible residential neighbourhood uses.”*

The current use of the site is a Detached Dwelling, which is a discretionary use in the district.

The orientation of the lot is unusual in that the only street frontage of the property is the long side of the lot (7<sup>th</sup> Avenue). The long side is typically the side yard, but in this case, it is the front yard. The reason for this unusual orientation is that the 12<sup>th</sup> Street right of way previously extended along the north side of this property. In approximately 1991 this undeveloped street right of way was closed and sold, which left the only remaining street frontage along 7<sup>th</sup> Avenue. An illustration of the previous lot configuration prior to the 12<sup>th</sup> Street closure is shown below (Figure 1), as well as the current configuration (Figure 2).

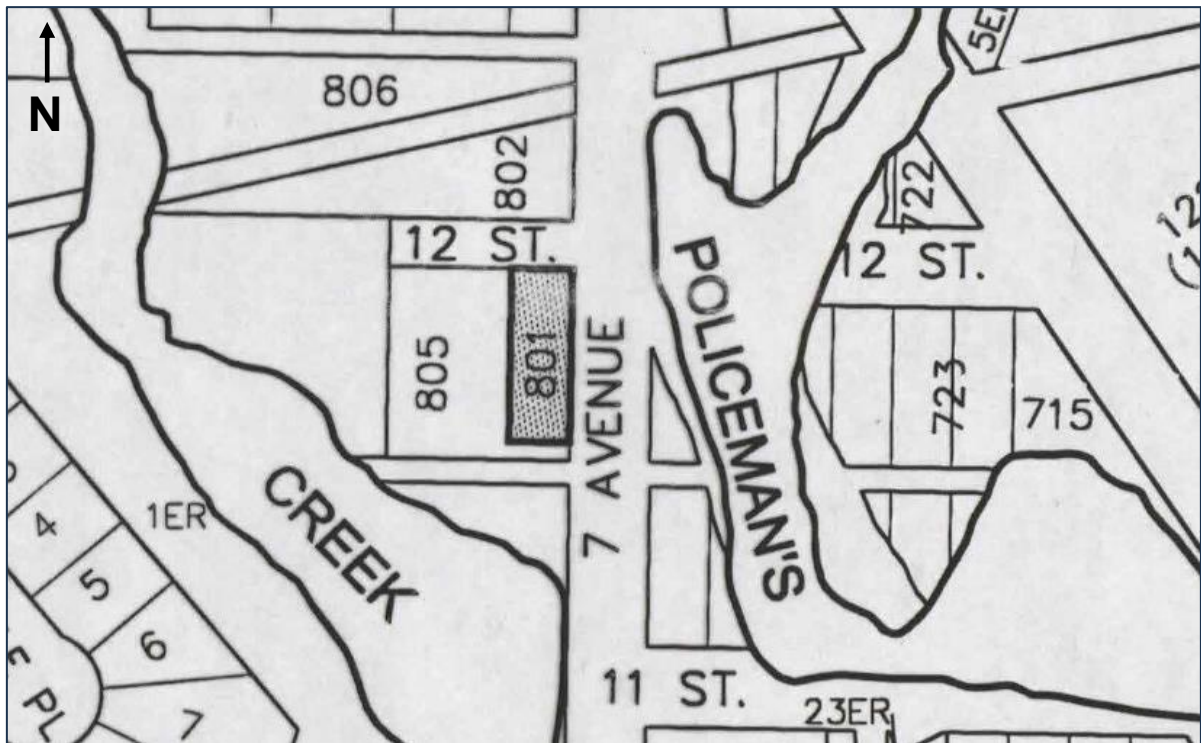


Figure 1: Neighbourhood overview prior to the closure of 12<sup>th</sup> Street, facing North. The subject site is highlighted, where its previous civic address was 801 12<sup>th</sup> Street.

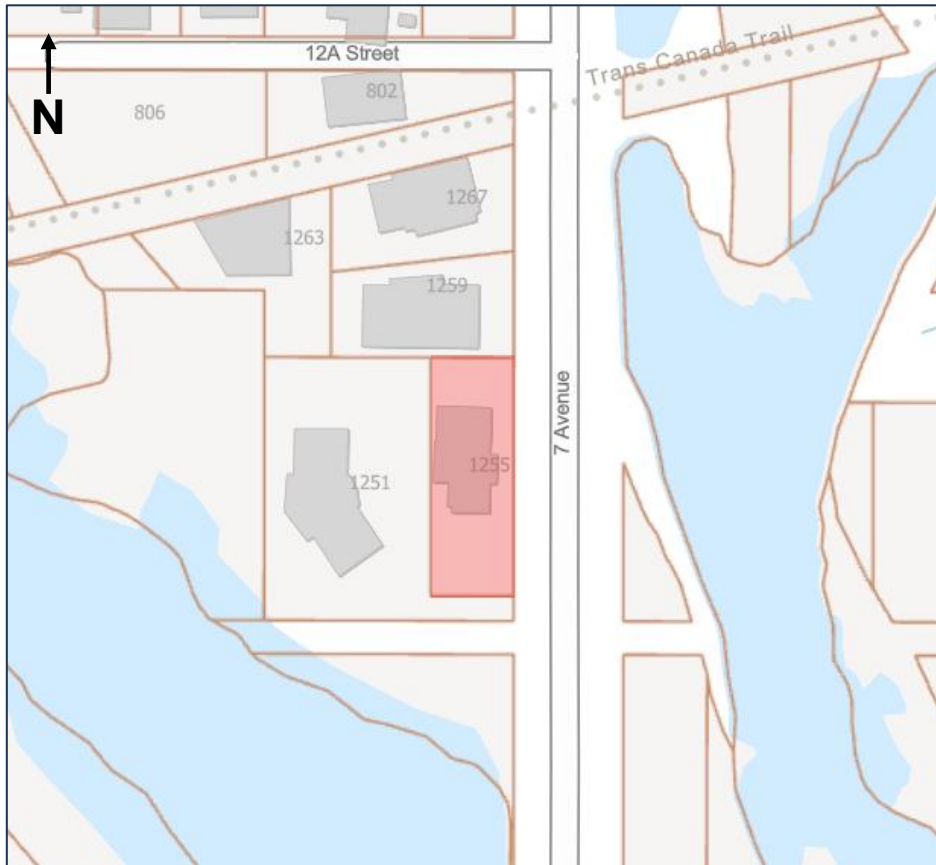


Figure 2: Current configuration of 1255 7<sup>th</sup> Avenue.

The current dwelling includes a previous addition to a historic cabin, the addition being approved in 1998.

Adjacent uses include detached dwellings to the north and west. To the east is 7<sup>th</sup> Avenue and Policeman's Creek, and to the south is a portion of 1251 7<sup>th</sup> Avenue. Refer to Attachments 2 and 3 for site photos and the Land Use District Map, respectively.

## **BYLAW CONFORMANCE/VARIANCE DISCUSSION**

The proposed use of a Detached Dwelling (with an Accessory Dwelling Unit) is listed as a permitted use within the district. The design of the addition is compliant with the LUB, except for the rear yard setback variance described below. Attachment 4 contains a full LUB conformance review.

The following variance request is outside the Development Officer's ability to approve, according to section 1.14.1.1 of the Land Use Bylaw, which restricts the Development Officer's authority to vary the minimum rear yard setback to a maximum of 10%.

### **I. Rear Yard Setback**

The rear yard setback is proposed at 2.47m from the rear property line at its closest point, instead of the minimum 7.5m in the R1 district (67% variance).

## Planning Department Position

Although the Development Officer was unable to approve this variance due to a lack of authority, the Planning Department supports this variance due to unique site conditions. Due to the orientation of the lot resulting from the historical closure of the 12<sup>th</sup> Street right of way, compliance with the required yards and setbacks would cause unreasonable hardship. Provided below in Figure 3 is an illustration of the R1 district setbacks imposed on the subject lot, creating an impractical buildable footprint. This determination of yards is consistent with the previous SDAB Board order for Appeal No. 98-015 (see attachment 6).

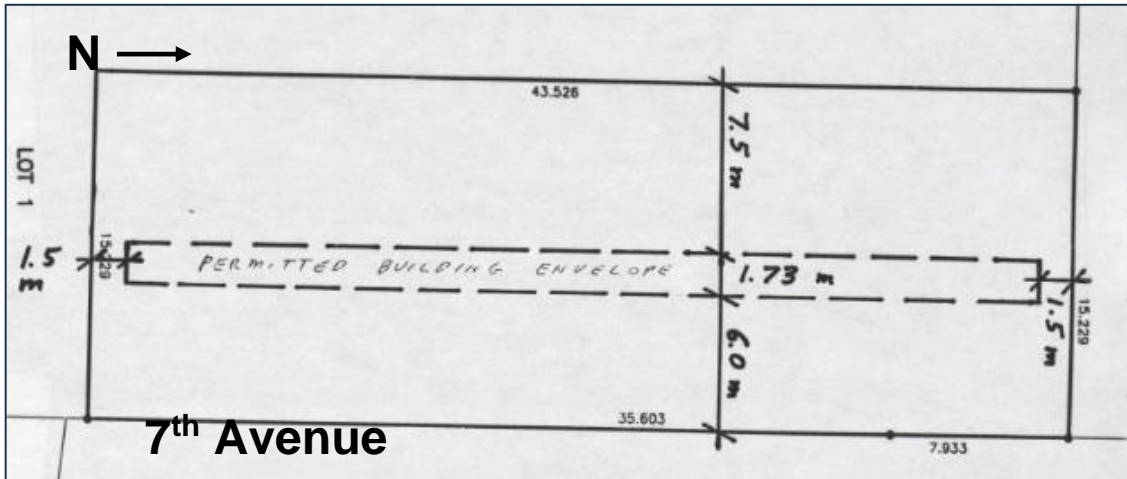


Figure 3: R1 district setbacks imposed on the subject lot. The dashed area in the centre of the lot provides the permitted building footprint.

While section 13 of the LUB (Definitions) allows the Development Officer to determine the yards where they are not clear, the Planning Department felt it was important to remain consistent with the previous SDAB determination of yards to respect the previous decision and neighbourhood expectations.

Both the North and East setbacks of the proposed addition would be compliant with the front and side yard setback requirements for properties in the R1 district. As a result, the proposed development provides a reasonable attempt to comply with the LUB while providing a reasonable site area to build within. The proposal also respects the required 15m south side yard setback imposed by Board Order 98-015.

Figure 4 provides an illustration of the yard setbacks applied by the Development Officer on the subject site for the proposed development.

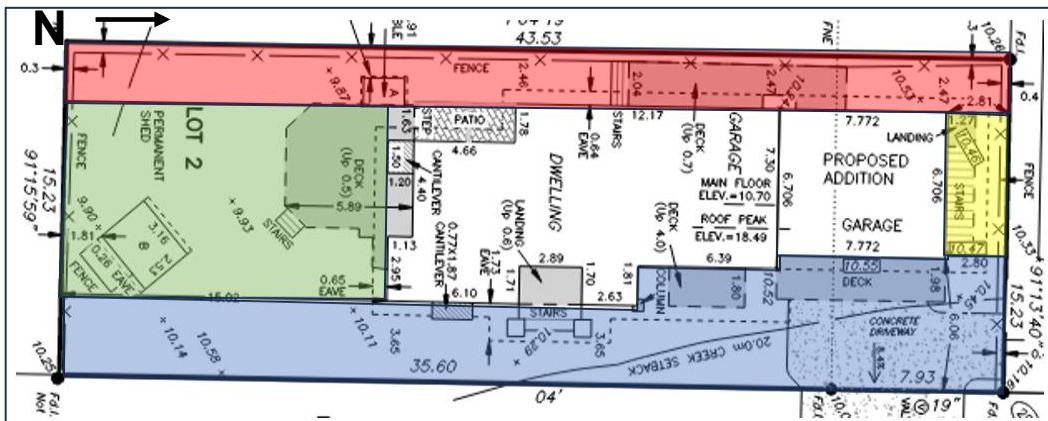


Figure 4: Plot plan showing proposed addition footprint, facing West. Yard setbacks applied for this lot are as follows: Blue for the front yard setback, green for the side yard (South) setback, yellow for the side yard (North) setback, and red for the rear yard setback.

The impacts of the proposed development on adjacent property owners are expected to be limited. The proposed development does not encroach any further into the rear yard setback compared to the existing structure. Further, given the 15m south setback imposed by Board Order 98-015, it is reasonable to allow the building to be expanded to the north, as the proposed development is not proposed to encroach into any additional setbacks. This approach would also allow for a more consistent building footprint compared to other lots, such as the front yard setback along 7<sup>th</sup> Avenue between the subject site and the adjacent lot to the north. Attachment I includes letters of support from neighbouring property owners submitted by the applicant as part of the permit application.

## OPTIONS FOR CONSIDERATION

Section 687(3)(c) and (d) of the MGA provide that, in making a decision on a development appeal, the board may:

- confirm, revoke or vary the order, decision or development permit or any condition attached to any of them or make or substitute an order, decision or permit of its own;
- may make an order or decision or issue or confirm the issue of a development permit even though the proposed development does not comply with the Land Use Bylaw if, in its opinion,
  - the proposed development would not unduly interfere with the amenities of the neighbourhood, or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land, and
  - the proposed development conforms with the use prescribed for that land or building in it.

The Planning Department proposes that the SDAB consider the following options:

1. Approve the application subject to the conditions in Schedule A.
2. Approve the application subject to the conditions in Schedule A and any conditions deemed appropriate
3. Refuse the application, specifying reason(s) for refusal.
4. Postpone the application, pending submission of any additional details requested by SDAB.

## RECOMMENDATION

Planning recommends that the Subdivision & Development Appeal Board **APPROVE** PL20240043. Recommended conditions are included in Attachment 5.

## ATTACHMENTS:

1. Application for Development Permit
2. Site Context
3. Land Use District Map
4. Bylaw Conformance Review
5. Schedule A – Proposed Conditions of Approval
6. SDAB Board Order 98-15



**Jerritt Cloney**  
Planning Technician



**Eric Bjorge**  
Planning Supervisor



# DEVELOPMENT PERMIT Application Form

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated. The submission of scanned or photographed application forms with handwritten information may slow the processing of your application. **All applications shall be submitted electronically via email to [planning@canmore.ca](mailto:planning@canmore.ca).**

<b>PROPERTY INFORMATION</b>	
Municipal Address 1255 7th Avenue, Canmore	
Legal Address Lot/Unit: 2    Block: 45    Plan: 9010589	Existing Use of Land/Building single family dwelling

<b>DEVELOPMENT INFORMATION</b>			
Please indicate which checklist you have referenced to form this submission: Small Developments			
Proposed Development/Use(s) addition to single family dwelling to accommodate a ADU and bedroom			
Total Proposed Gross Floor Area (m <sup>2</sup> ) 295.4 m <sup>2</sup>	Number of Residential Units 2	Number of Commercial Units -	Property Size (Hectares). New construction <u>only</u> . -
Will the project require a future Subdivision or Condominium Plan to create separate unit titles?    YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>			

<b>PUBLIC TREE DISCLOSURE</b>	
Is there existing Town Trees (Public Tree) within 6m of the construction area, this would include the "Road Right-of-Way" between the private property line and roadway?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
If yes, a Tree Protection Plan Agreement is required to be submitted as part of this application. For more information on the requirements of submitting your Tree Protection Plan Agreement or obtaining a Tree Assessment for the removal of a Town Tree, please contact the Town of Canmore Parks Department at 403.678.1599 or <a href="mailto:Parks@canmore.ca">Parks@canmore.ca</a> .	
Additional information regarding the Town of Canmore Tree Protection Bylaw can be found on the <a href="#">Town Website</a> .	

<b>APPLICANT INFORMATION</b>	
Name alasdair russell - russell and russell design studios	Phone 403 678 3003
E-mail ar@russellandrussell.ca	
Mailing Address 200 - 817 main street, canmore	

<b>OWNER INFORMATION (if different than applicant)</b>	
Name Cameron Hall	Phone
E-mail [REDACTED]	
Mailing Address 1255 7th Avenue, Canmore	

### DECLARATION

I/We declare that I am/We are the owner of the land described above or authorized to act on behalf of the registered owner(s). I/We have reviewed all of the information supplied to the Town with respect to an application and it is true and accurate to the best of my/our knowledge. I/We understand that the Town of Canmore will rely on this information in its evaluation of the application. Any decision made by the Town of Canmore based on inaccurate information may be cancelled at any time. I/We give authorization for electronic communication, using the email provided on this application form.

**By signing below, I/We confirm to have carefully read this declaration and agree to the terms within.**

Signature of Applicant  alasdair russell	Digitally signed by alasdair russell Date: 2024.01.29 17:26:12-07'00'	Date 29 January 2024
Signature of Owner  		Date 1 Feb. 2024

**FOIP Notification:** This personal information is being collected under the authority of the Municipal Government Act (MGA) and in the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the Municipal Records Officer at [municipal.clerk@canmore.ca](mailto:municipal.clerk@canmore.ca). **Please note, the Municipal Clerk's Office should *only* be contacted regarding FOIP inquiries.**

### PAYMENT

Until the applicable permit fees have been paid in full to the Town of Canmore, the Town will not commence the review of your application. Town staff will contact you upon receipt of the application to arrange for the applicable fee(s) to be paid.

### Required Documents:

The following documents are required for a complete application. Missing documentation may result in delays in approval or a rejection of an application due to insufficient information. **All plans and documents listed below must be submitted electronically along with the signed and completed application form.**

- Completed Development Permit Application Form
- A copy of this requirement list showing confirmation of the documents submitted by checking the box next to each requirement
- Application fee + Variance Fees (**Note:** you will receive a notice for payment from Planning, once your application has been processed by the Permit Clerk)
- Letter of authorization from the property owner authorizing an agent to act on their behalf for the proposed development (**Note:** This is not required if the property owner has signed the application form).
- Current copy of Certificate(s) of Title (issued not more than 30 days from the application date)
- Copies of any restrictive covenants, utility rights-of-way, easements, or Town caveats registered on the Title(s)
- Site Survey (*requirements provided below*)
- Site Plan/Plot Plan (*requirements provided below*)
- Architectural Plans (*requirements provided below*)
- Site Grading/Overland Flow Drainage Plan, in accordance with the Engineering Design and Construction Guidelines
- ~~Building Grade Slip (where applicable)~~
- Letter of Engagement from the consulting Engineer, where required by the Engineering Design and Construction Guidelines, indicating scope of work for design and reviews (including geotechnical and works related to retaining walls exceeding 1m in height, and sunken entrances and window wells)
- ~~A Letter of Engagement from a Certified Energy Consultant, or proof of enrollment in a third party certification (e.g. Built Green or LEED), for new Detached and Duplex Dwellings only~~

# DEVELOPMENT PERMIT APPLICATION REQUIREMENTS

## Small Developments

Detached and Duplex Dwellings, Accessory Dwelling Units and Building Additions

- ~~Sustainability Screening Report, where the Cross Floor Area of the development is 500m<sup>2</sup> or greater, in accordance with the Sustainability Screening Policy~~
- Written rationale supporting any requested variances (where applicable)
  
- A Tree Protection Plan Agreement (Refer to the Public Tree Disclosure portion of the Development Permit Application Form)

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### **ALL PLANS SUBMITTED MUST SHOW MEASUREMENTS IN METRIC UNITS**

#### **SITE SURVEY (prepared by an Alberta Land Surveyor)**

- North arrow
- Legal description and municipal address
- Legend detailing:
  - Applicable land use district (zoning)
  - Site area
  - The applicable 1:100 year design groundwater flood elevation, the valley bottom design flood elevation, and steep creek hazard design elevation, where applicable
  - The design minimum geodetic elevation of main floor
  - Sanitary and storm sewer invert elevations
  - Lowest top of footing
  - Existing building slab and roof peak elevations, where applicable
- Dimensioned property lines
- Adjacent street names
- Existing and proposed easements and rights-of-way, including dimensions and type of easement, if applicable.
- Location of public pathways, utility boxes, overhead utility poles, guy wires, and fire hydrants
- Location, dimensions and details for sidewalks and curbs dimensioned from property lines
- Footprints of all existing buildings, including accessory buildings
- Building footprints within 3m of property lines
- Existing and proposed easements and right-of-way including dimensions and type of easement, if applicable
- The top of bank of a waterbody, if within the waterbody setback distance as prescribed in the Land Use Bylaw
- Existing site grades at property corners, front and rear yard setback, and at the corners of existing buildings (if applicable)
- Dimensioned setbacks (e.g. yards, waterbodies) as prescribed in the Land Use Bylaw District
- Trees located on Town lands within 6m of the construction area, indicating tree diameter for trees with a diameter of 50mm or greater at breast height

### SITE PLAN/PLOT PLAN

The Development Authority may require the Site Plan to be prepared by an Alberta Land Surveyor (Plot Plan) for a complete application submission. A Plot Plan may be required to verify exact measurements and potential variances or discrepancies.

- North arrow
- Legal description and municipal address
- Legend detailing:
  - Applicable land use district (zoning)
  - Number of units proposed, including Accessory Dwelling Units
  - Total gross floor area (GFA) and GFA for each unit, as defined in the Land Use Bylaw
  - Building footprint area
  - Site coverage, including floor area ratio (FAR) when required by the Land Use Bylaw
  - Vehicle and bicycle parking required and provided as prescribed in the Land Use Bylaw
  - Maximum building height, using the  $H_{max}$  formula or Building Envelope method, as applicable. Please show the formula and calculations.
  - Calculation of total landscaped area (for development in the R3, R3-SC, R3-SC1, STR-2, TPT-CR-Sub-District A, R2A-SC Districts only)
  - Calculation of landscaped area of the front yard (for Accessory Dwelling Units only)
  - Geodetic elevation of building slab, garage slab and roof peak
- Dimensioned property lines
- Dimensioned setbacks (e.g. yards and corner visibility triangle) as prescribed in the Land Use Bylaw
- Adjacent street names
- Existing and proposed easements and rights-of-way, including dimensions
- Location of all proposed buildings showing, dimensioned yard setbacks, all yard projections (e.g. eaves, cantilevers, decks, window wells, A/C Units) and accessory buildings
- The top of bank of a waterbody and the distance to any proposed buildings (if within the waterbody setback distance as prescribed in the Land Use Bylaw)
- Label existing geodetic height of parcel corners and back of sidewalk or curb
- Label existing and proposed geodetic height of primary corners of buildings, front and rear yard setback
- Location of retaining walls, indicating geodetic elevation at top and bottom of wall (where applicable)
- Location, dimensions and details for bicycle stalls (for Accessory Dwelling Units only)
- Existing and proposed vehicle parking areas showing:
  - Location and width of the driveway(s), including at the property line; and
  - Description of surface materials for parking areas
- Location and description of surface materials for the 1.5m non-combustible FireSmart buffer around all habitable buildings
- Location of Town Trees within 6m of the construction area, indicating trees to be removed, and trees to remain and be protected\*\*

*\*\*Trees on Town lands may require tree protection during construction, and removal of any public trees may require compensation to the Town of Canmore. Please refer to the Town of Canmore Tree Protection Bylaw 2019-10.*



### ARCHITECTURAL PLANS

- Building elevations for each side of the building, indicating building height in geodetic elevations using the Hmax or Building Envelope methods as prescribed in the Land Use Bylaw, showing existing and proposed site grades
- Building elevations showing all exterior and roofing finishes and colours
- Dimensioned floor plans
- Building cross sections
- Roof plan showing directional slope arrow and pitch of all roof elements
- A building rendering
- Cross sections of the design of sunken entrances and window wells
- Location of garage drain (if applicable) including oil and grit separator design

### SITE GRADING/OVERLAND FLOW DRAINAGE PLAN

- North arrow
- Legal description and municipal address
- Property lines and dimensions
- Existing and proposed overland drainage easements and rights-of-way, including dimensions
- Legend detailing:
  - Storm sewer invert elevations
  - The design 1:100 year groundwater flood elevation, the design valley bottom flood elevation, and steep creek hazard design elevation, where applicable
  - The design minimum geodetic elevation of main floor
  - Existing building slab and roof peak elevations, where applicable
- Location of all existing buildings to be retained, and proposed buildings showing all projections (e.g. eaves, cantilevers, decks, window wells) and accessory buildings
- Location of nearby stormwater trap low if specified in a subdivision grading plan, showing associated elevations related to the restrictive minimum grade
- Label existing geodetic height of parcel corners and back of sidewalk or curb
- Label existing and proposed geodetic height of primary corners of buildings, front and rear yard setback
- Label proposed grades extending to property lines, at minimum 10m intervals
- Proposed grades at the highest and lowest elevation of swales with directional overland flow arrows and proposed swale depth
- Elevation of low points and infiltration areas on the property, with directional overland flow arrows
- Label drainage features, including berms and swales
- Location and details of weeping tile assembly and associated infiltration pit, unless weeping tile is not recommended by the consulting geotechnical engineer
- Where no subdivision grading plan exists, show directional overland flow arrows indicating major storm event flow escape route
- Grade points on top and bottom of retaining walls, window wells, and sunken entrances
- Label height of retaining walls (provide height of fences on top of wall)

- Directional arrow and label of the proposed driveway slope (%)

### ADDITIONAL REQUIREMENTS

At the discretion of the Development Officer or Municipal Engineer, additional information, plans or reports may be required to adequately render a decision on an application. For a list of additional requirements that may apply to your application, visit the Town's webpage related to [Development Permits](#).

### ADVISORY NOTES

Should your property be located outside the Ten-Minute Emergency Response Zone, alterations to your construction design may be necessary. Please visit the Town's [webpage](#) regarding the 10 Minute Emergency Response Zone for more information.

It is the applicant's responsibility to notify the following organizations of the proposed development:

- Fortis
- ATCO
- EPCOR (if necessary)

Development Permit applications must be submitted without personal information on any plans. Omitting this information will protect builders and tenants by reducing the risk of any personal information being wrongfully displayed, while also following the Province of Alberta's FOIP Act. If you consider the information to be personal, do not put it on the plans.

Cameron Hall  
1255 7<sup>th</sup> Avenue  
Canmore AB

30 January 2024

### **Letter of Authorisation**

To Whom it May Concern,

This letter is to confirm that Alasdair Russell of Russell and Russell Design Studios has permission to apply for a Development Permit of the addition to our home at the above address.

Yours sincerely

*Cameron Hall*

Cameron Hall

2024-01-30

Date Signed

This page of the package contained a Land Title document that is available for purchase from Alberta Land Titles. This document can be viewed in person at the Canmore Civic Centre by contacting [municipal.clerk@canmore.ca](mailto:municipal.clerk@canmore.ca)

# ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

## LEGAL DESCRIPTION

LOT 2, BLOCK 45, PLAN 9010589

## MUNICIPAL ADDRESS

1255 7th AVENUE, CANMORE

## PREPARED FOR

SHARON SILVER

## NOTES

- The survey was completed on October 21, 2019.
- A title search was performed on June 22, 2018.
- Unless otherwise specified, distances are taken to foundation and are in metres.
- Lot area 663 m<sup>2</sup>
- Footprint 132 m<sup>2</sup> 20 % (Dwelling)  
2.5 m<sup>2</sup> 0.4 % (Shed-A)  
8.0 m<sup>2</sup> 1.2 % (Shed-B)  
 Cantilever 3.2 m<sup>2</sup> 0.5 %
- Fences are within 0.2m of property line unless otherwise shown.
- Eave measurements are to fascia.
- Deck and stair measurements are to extents of walking surface.
- Registered interests (excluding encumbrances):  
None

Certification: I hereby certify that this report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this report, I am of the opinion that:

- the plan illustrates the boundaries of the property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the property;
- the improvements intended to be on the property are entirely within the boundaries of the property;
- no visible encroachments exist on the property from any improvements situated on an adjoining property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of the property.

Purpose: This report and related plan have been prepared for the benefit of the property owner, subsequent owners, and any of their agents for the purpose of a real estate transaction.  
 Copying is permitted only for the benefit of these parties.  
 Where applicable, registered easements and utility rights-of-way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries because of the risk of misinterpretation or measurement error by the user.  
 The information shown on this report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.  
 Lot boundaries have been determined prior to the survey completion date shown above. Therefore the present condition of survey evidence might be significantly different than that shown.

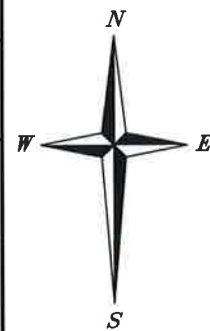
Dated this 23rd day of  
October 2019



Garret Dillabough, Alberta Land Surveyor

This document is not valid unless it bears an original signature and a permit stamp in a different colour than this document.

SCALE = 1:250

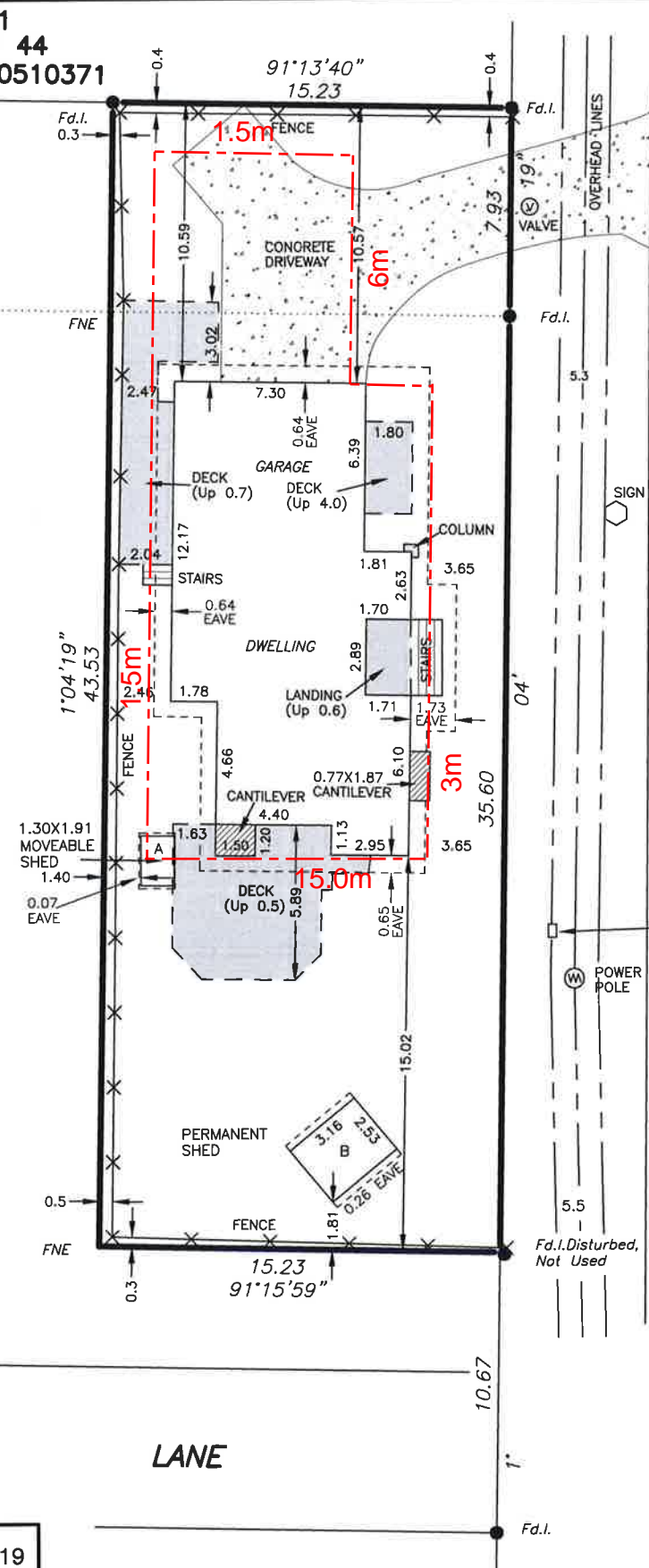


NOTE: NOTICE OF CAUTION ATTACHED

LOT 1  
 BLOCK 45  
 PLAN 9010589



LOT 11  
 BLOCK 44  
 PLAN 0510371



**NOTE**  
 THIS COMPLIANCE CERTIFICATE PRECLUDES ANY STRUCTURE(S) OR A PART THEREOF THAT ARE NOT SHOWN.

**TOWN OF CANMORE**  
 ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY INACCURACY, MISTAKE OR ERROR WHICH ARISES FROM THE INFORMATION SUPPLIED BY OR ON BEHALF OF THE APPLICANT.

**TOWN OF CANMORE**  
**COMPLIANCE CERTIFICATE**

This is to certify that the property is districted R1.  
 A review of the Real Property Report / Surveyor's Certificate dated Oct 23 2019 shows that the building(s) as indicated is (are) located in accordance with the Yard Regulations of the district and/or the Development Permit # DP98-495 + 96-635 LC2020-044.  
 No inspection of the site has been conducted.

Carol [Signature] May 11, 2020  
 DEVELOPMENT OFFICIAL DATE

**McElhanney**  
 Consulting Geomatics Services Ltd.  
 203 - 502 BOW VALLEY TRAIL, CANMORE AB, T1W 1N9  
 PH (403) 678-6363; FAX (855) 407-3895  
**FILE: 18-162**

## Real Property Reports, and Certificates of Compliance

# Notice of Caution

What is a Real Property Report?	Real Property Reports (or surveys) provide a detailed map of a specific property and supporting information. They may be obtained from any Alberta Land Surveyor
What is a Compliance Certificate?	Compliance Certification is a service provided at the request of purchasers and/or lending institutions. The Stamp indicates the property in question is in accordance with the <b>setbacks only</b> of the Town's Land Use Bylaw standards.
Why keep it up to date?	Real Property Reports (RPRs) are often submitted to the Town of Canmore for "Compliance Certificate" stamps. Usually this stamp is required as part of a real estate transaction. The Town of Canmore has noticed some Real Property Reports submitted for compliance certifications are often several months or even years old. <b><i>Older RPRs on completed homes may not accurately reflect the improvements made since the date of the survey!</i></b>
What is a Foundation Only Certificate	In addition, some RPRs submitted represent construction that is not yet complete. These RPRs show "foundation only" and items such as overhangs, eaves, stairs, and decks that extend beyond the foundation are not identified. These features may not conform to the requirements of the Land Use Bylaw. In some areas, driveway widths may also be regulated and would not show on a "foundation only" RPR.
Buyer Beware	If you are concerned with the accuracy of the RPR for your property, and you wish to ensure your property is represented as accurately as possible, the Town recommends current RPRs (those dated no more than 30 days and based upon completed construction) be submitted for consideration for a certificate of compliance.

TOWN OF CANMORE

902 – 7<sup>th</sup> Avenue, Canmore Alberta T1W 3K1

Telephone: 403-678-1543, Fax: 403-678-1534

Caution You should be confirming prior to purchasing a home that no outstanding building permits are associated with the property, where ultimately you may become accountable.

Town Role Please be advised that the Town of Canmore assumes no responsibility or liability for any situation that may arise from any inaccuracy in the information supplied by or on behalf of the applicant with respect to compliance certification. Compliance Certification is issued based on the RPR supplied and the information included therein, not on the actual condition of the property.

The Town provides certification service upon request. The Town conducts no site inspection. The Town offers no guarantee to any party relying upon the compliance certification that the property actually conforms to the bylaw, only that the RPR as submitted conforms to development standards in the Land Use Bylaw.

The Stamps These are examples of the stamps used by the Town for Certification of Compliance.

**NOTE**  
THIS COMPLIANCE CERTIFICATE  
PRECLUDES ANY STRUCTURE(S) OR A PART  
THEREOF THAT ARE NOT SHOWN.  
**TOWN OF CANMORE**  
ASSUMES NO RESPONSIBILITY OR  
LIABILITY FOR ANY INACCURACY,  
MISTAKE OR ERROR WHICH ARISES FROM  
THE INFORMATION SUPPLIED BY OR ON  
BEHALF OF THE APPLICANT.

**TOWN OF CANMORE  
COMPLIANCE CERTIFICATE**

This is to certify that the property is districted \_\_\_\_\_.  
A review of the Real Property Report/Surveyor's Certificate  
dated \_\_\_\_\_ shows that the  
building(s) as indicated is (are) located in accordance with  
the Yard Regulations of the district and/or the Development  
Permit # \_\_\_\_\_.  
**No inspection of the site has been conducted.**

\_\_\_\_\_  
DEVELOPMENT OFFICIAL                      DATE

Should you have questions or concerns further to this matter, please feel free to contact the Town of Canmore at:

**TOWN OF CANMORE**  
902 – 7<sup>th</sup> Avenue, Canmore Alberta T1W 3K1  
Telephone: 403-678-1543, Fax: 403-678-1534

# SITE PLAN


LEGAL DESCRIPTION ZONE R1  
 LOT 2, BLOCK 45, PLAN 9010589  
 MUNICIPAL ADDRESS  
 1255 7th AVENUE, CANMORE  
 PREPARED FOR  
 CAMERON HALL

**LIMITING ELEVATIONS** SCALE = 1:250

1. Max. roof elev. TBD by Town of Canmore
  2. HLC 9.8 1:100 Year Groundwater Elev. = 1310.6
  3. Provincial flood contour elev. = N/A
  4. HLC 9.3 minimum slab elev. = N/A
- \* References sections of the EDCG. Discuss effects on allowable building and roof elevations with the Town of Canmore.

DATUM: CGVD28 DETERMINED FROM PRECISE POINT POSITION SOLUTION.  
 (add 1300.00 for GEODETIC)

GRADES:  
 Existing x 99.99

**LEGEND:**  
 SPRUCE TREE .....   
 TRUNK DIAMETER..... TD

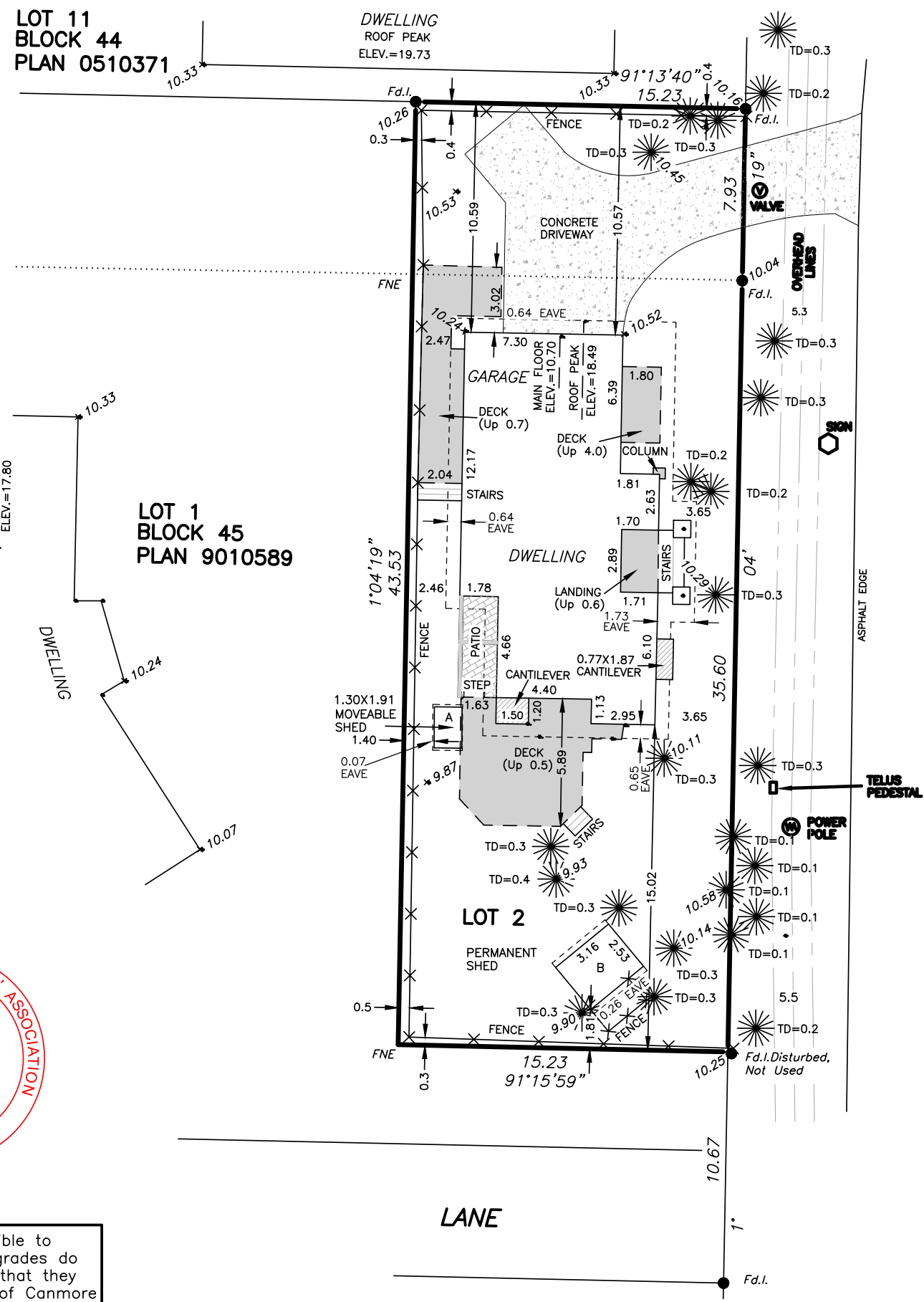
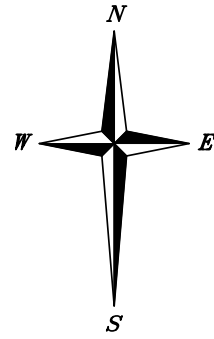
NOTE: Trees only shown if near property lines or on town property with trunk diameter >0.05 and within 6m of subject lot.

LOT AREA 663 m<sup>2</sup>  
 FOOTPRINT 132.1 m<sup>2</sup>, 24.4 %  
                   2.5 m<sup>2</sup>, 0.4 % (Shed-A)  
                   8.0 m<sup>2</sup>, 1.2 % (Shed-B)  
 CANTILEVER 3.2 m<sup>2</sup>, 0.5 %

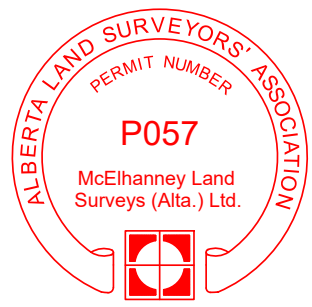
NOTE: Distances and elevations are in metres. Unless otherwise specified, distances are taken to foundation.

DESIGN DATE DECEMBER 8, 2023

  
 ALBERTA LAND SURVEYOR



REGISTERED INTERESTS (EXCLUDING ENCUMBRANCES):  
 NONE



NOTE: The builder is responsible to ensure that driveway grades do not exceed 10%, and that they conform to the Town of Canmore Engineering Design Standards.

**McElhanney**  
 Land Surveys (Alta) Ltd.  
 203 - 502 BOW VALLEY TRAIL, CANMORE AB, T1W 1N9  
 PH (403) 678-6363; FAX (855) 407-3895  
**FILE: 00382**



# PLOT PLAN FOR ADDITION

LEGAL DESCRIPTION ZONE R1  
 LOT 2, BLOCK 45, PLAN 9010589  
 MUNICIPAL ADDRESS  
 1255 7th AVENUE, CANMORE  
 PREPARED FOR  
 CAMERON HALL

**LIMITING ELEVATIONS** SCALE = 1:250

1. Max. roof elev. TBD by Town of Canmore
  2. HLC 9.8 1:100 Year Groundwater Elev. = 1310.6
  3. Provincial flood contour elev. = N/A
  4. HLC 9.3 minimum slab elev. = N/A
- \* References sections of the EDCG. Discuss effects on allowable building and roof elevations with the Town of Canmore.

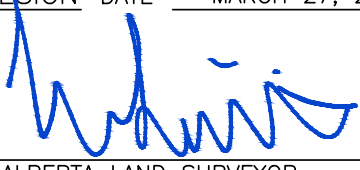
DATUM: CGVD28 DETERMINED FROM PRECISE POINT POSITION SOLUTION.  
 (add 1300.00 for GEODETIC)

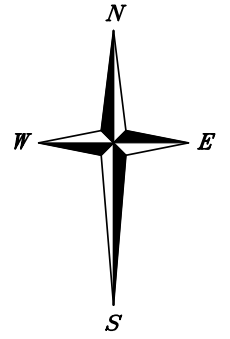
GRADES:  
 Existing x 99.99 Design 99.99

EXISTING DWELLING  
 LOT AREA 662.9 m<sup>2</sup>  
 FOOTPRINT 132.1 m<sup>2</sup> 24.4 %  
     2.5 m<sup>2</sup> 0.4 % (Shed-A)  
     8.0 m<sup>2</sup> 1.2 % (Shed-B)  
 CANTILEVER 3.2 m<sup>2</sup> 0.5 %

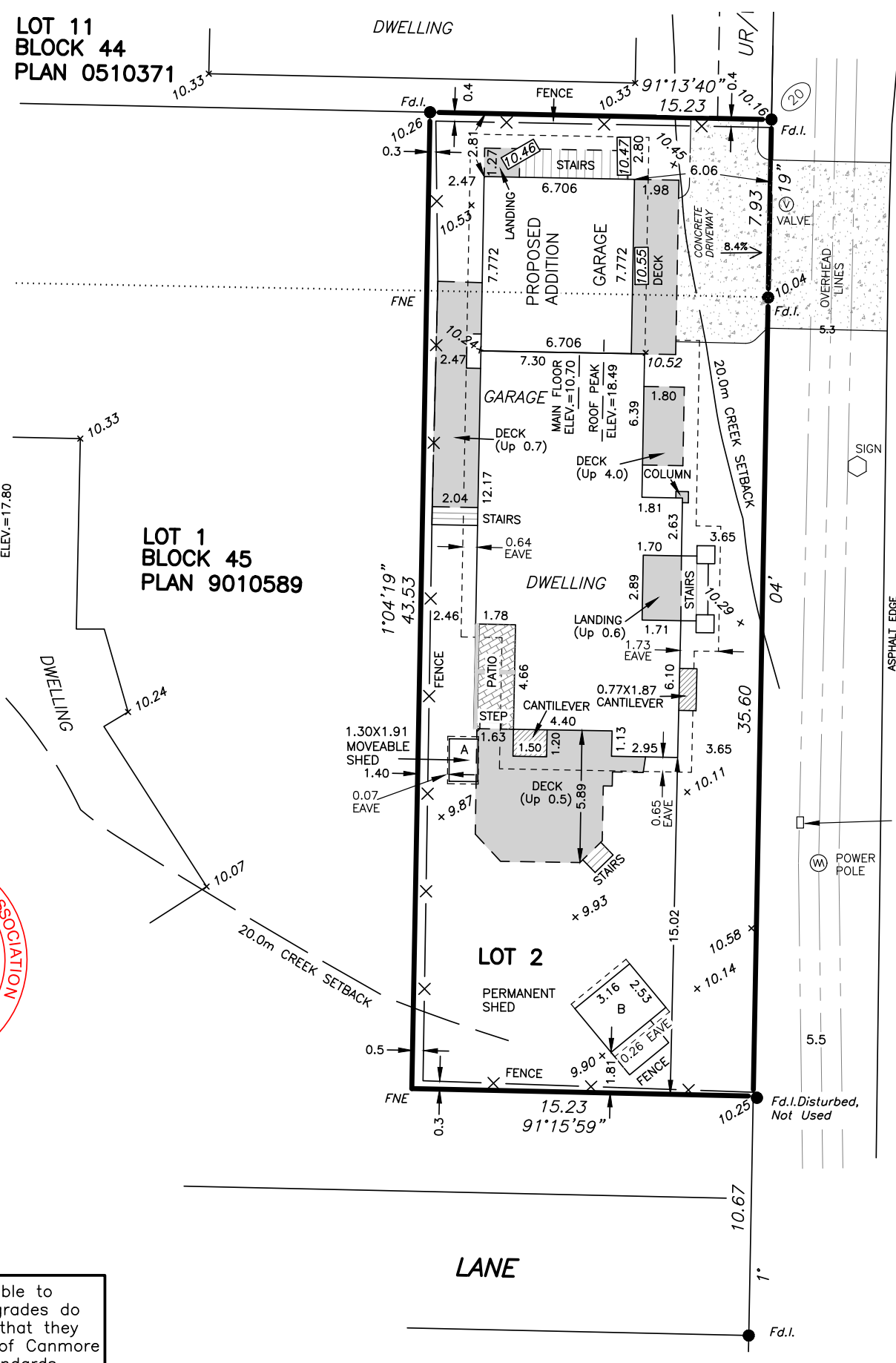
PROPOSED ADDITION  
 ROOF ELEV. 1318.34  
 UPPER FLOOR 1314.06  
 SLAB 1310.55 (at entrance)  
 FOOTPRINT 132.1 m<sup>2</sup> 24.4 % (ADDITION)

NOTE: Distances and elevations are in metres. Unless otherwise specified, distances are taken to foundation.

DESIGN DATE MARCH 27, 2024  
  
 ALBERTA LAND SURVEYOR



NOTE: The builder is responsible to ensure that driveway grades do not exceed 10%, and that they conform to the Town of Canmore Engineering Design Standards.



REGISTERED INTERESTS (EXCLUDING ENCUMBRANCES):  
 NONE

RIGHT BANK OF SPRING CREEK AS TRAVERSED BY K.E. WHITE, A.L.S. IN 1981 AND SHOWN ON CREEK TRAVERSE PLAN 821 0397.

7th AVENUE

APPROXIMATE DRIVEWAY GRADE: calculated as a straight line slope along the centerline of the driveway between the garage entrance and the edge of asphalt road is shown thus: ???%

**SEE DESIGNER'S SITE PLAN**  
 SEE SITE PLAN BY RUSSELL AND RUSSELL FOR DETAILED SITE GRADES.

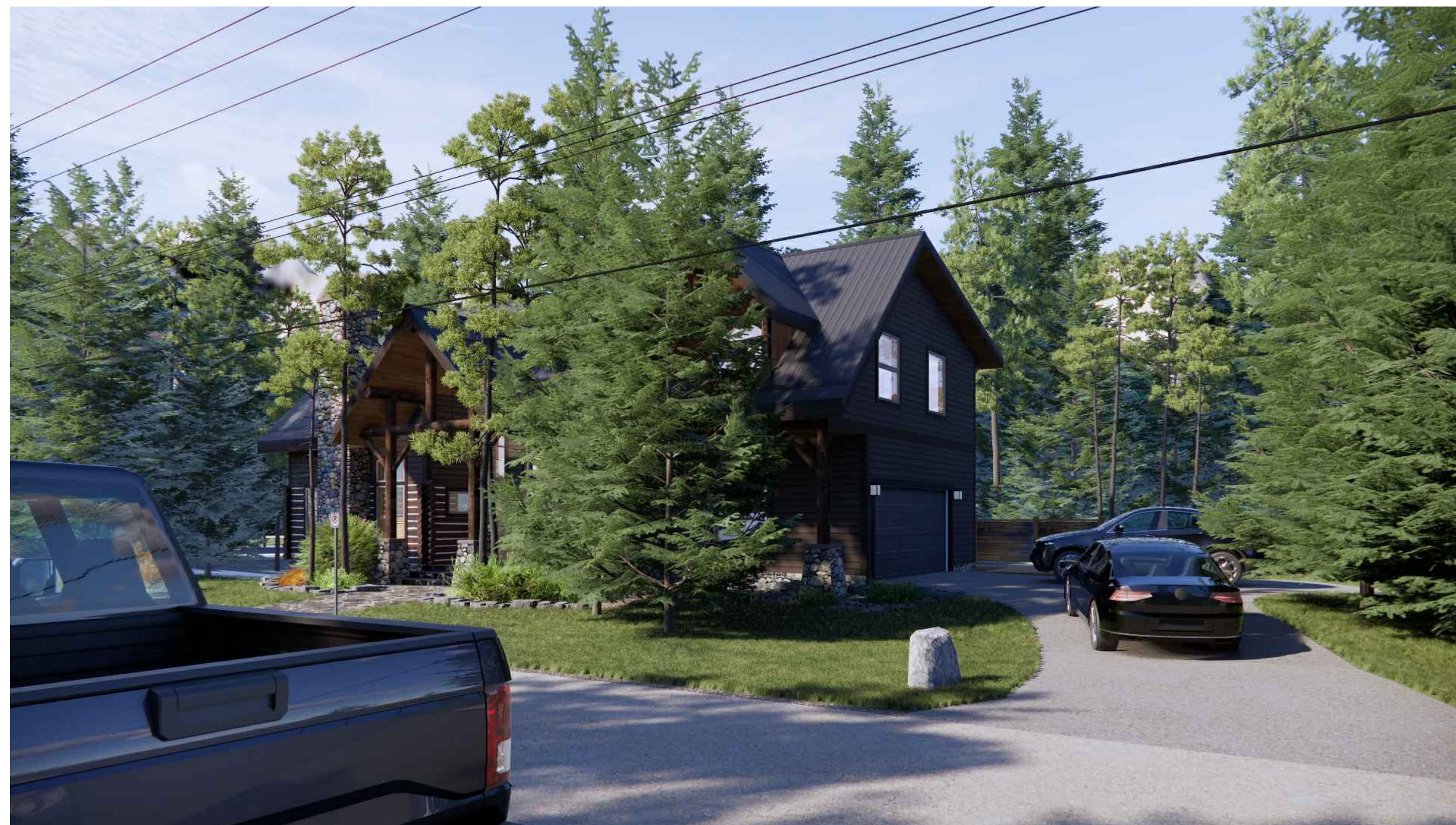
**McElhanney**  
 Land Surveys (Alta) Ltd.  
 203 - 502 BOW VALLEY TRAIL, CANMORE AB, T1W 1N9  
 PH (403) 678-6363; FAX (855) 407-3895  
**FILE: 00382**

## general construction notes

- 1 drawings are not to be scaled
- 2 all dimensions and installations are to be verified on site
- 3 contractor to comply to all current ALBERTA BUILDING CODE rules plus any and all authorities having jurisdiction during all phases of work
- 4 it is the contractors responsibility to bring all omissions, discrepancies, including dimensions, to the attention of the designer prior to the commencing of any work
- 5 any patching, repair, refinishing, reconstruction & repainting work required as a result of performance of work of this contract shall incorporate and be performed with materials to match same and shall require fire ratings
- 6 all dimensions are from face of structural sheathing, face of stud, face of foundation or to grid lines unless noted as being a clear dimension. clear dimensions are from face of finished to face of finished surface
- 7 where "TYPE X" gypsum wall board is noted on drawings, provide fire-rated gypsum wall board with U.L.C. label
- 8 pre-drilled inserts are to be used when attaching or fastening materials or fittings to masonry or concrete walls, floors, slabs or ceiling assemblies
- 9 refer to structural drawings and specifications for reinforcing and core filling of masonry walls at wall openings, corners & terminations unless noted otherwise
- 10 where indicated on electrical drawings, provide 19mm/3/4" plywood backing to sides noted for surface mounting electrical panels. paint prior to installation
- 11 provide solid blocking (2"x6") in stud partitions behind all recessed or flush mounted equipment & accessories at all anchor points
- 12 it is the contractors responsibility to coordinate his own forces & his sub trades to ensure that holes cut for penetrations through the exterior wall systems are not oversized. after installation of any penetrations, the voids between the penetration opening and the penetration materials shall be completely sealed to ensure the integrity of the air/vapour barrier
- 13 where architectural, structural, mechanical or electrical installations penetrate wall and/or floor assemblies seal any such penetrations with fire rated acoustic sealant & maintain required fire rating & acoustic minimums
- 14 these architectural drawings shall be read in conjunction with structural engineer's letter, notes and shop drawings as well as mechanical & electrical drawings & roof truss/ joist supplier/ manufacturer's drawings
- 15 approved primer shall be used on all peel and stick products
- 16 all wood cladding products including siding, knee braces, wall shingles, trim and boards shall be back primed prior to installation
- 17 all through wall flashings shall be complete with a 100mm/4" high back leg. all horizontal laps shall be minimum 150mm/6" minimum & back caulked. a through wall flashing is required at all horizontal expansion joints, building band trims & below gable end louvre vents
- 18 all exterior fasteners shall be hot dipped galvanized
- 19 all side wall vents; furnaces, boilers, driers & bathroom vents shall be back caulked at the vent flanges (top & sides) to a piece of 60 minute flashing paper placed behind the vent. all of the surrounding field paper shall then be placed over the top and side vent flanges. do not place the building paper over the bottom flange. provide a drip cap flashing with end dams over all vents. caulk the sides of the vents to the cladding
- 20 all exterior electrical outlet penetrations through the wall sheathing shall be placed through a small hole in a 300mm x 400mm/12"x16" piece of EPDM roofing so that the EPDM stretches & laps the sides of the box out to the face, this shall be lapped shingle style into the building paper. all surface mounted light pans shall be complete with flashing paper behind the pan prior to it's installation. caulking around where it penetrates the flashing paper, which shall be lapped shingle style into the building paper. provide an appropriate vinyl trim finish kit to all of the penetrations
- 21 all exterior hose bibs are to be placed through a 6mm/1/4" hole in the center of a 300mm x 300mm/12"x12" piece of EPDM roofing. this shall be lapped shingle style into the building paper. provide an approved vinyl trim finish kit to all of the penetrations
- 22 ensure that all pre-finished metal capping to the wood fascias, deck trims and band boards are complete with positive drainage
- 23 any large mechanical grille openings on the elevations shall be prepared & finished in the same manner as the window assemblies
- 24 house to be mechanically ventilated by principle exhaust fan. switch for principle exhaust fan to be identified as ventilation switch
- 25 roof vents to be installed as per all applicable building codes. (unobstructed vent area shall be not less than 1/300 of insulated ceiling area or 1/150 on roof slopes of less than 1 in 6, unless otherwise noted)



proposed conceptual render



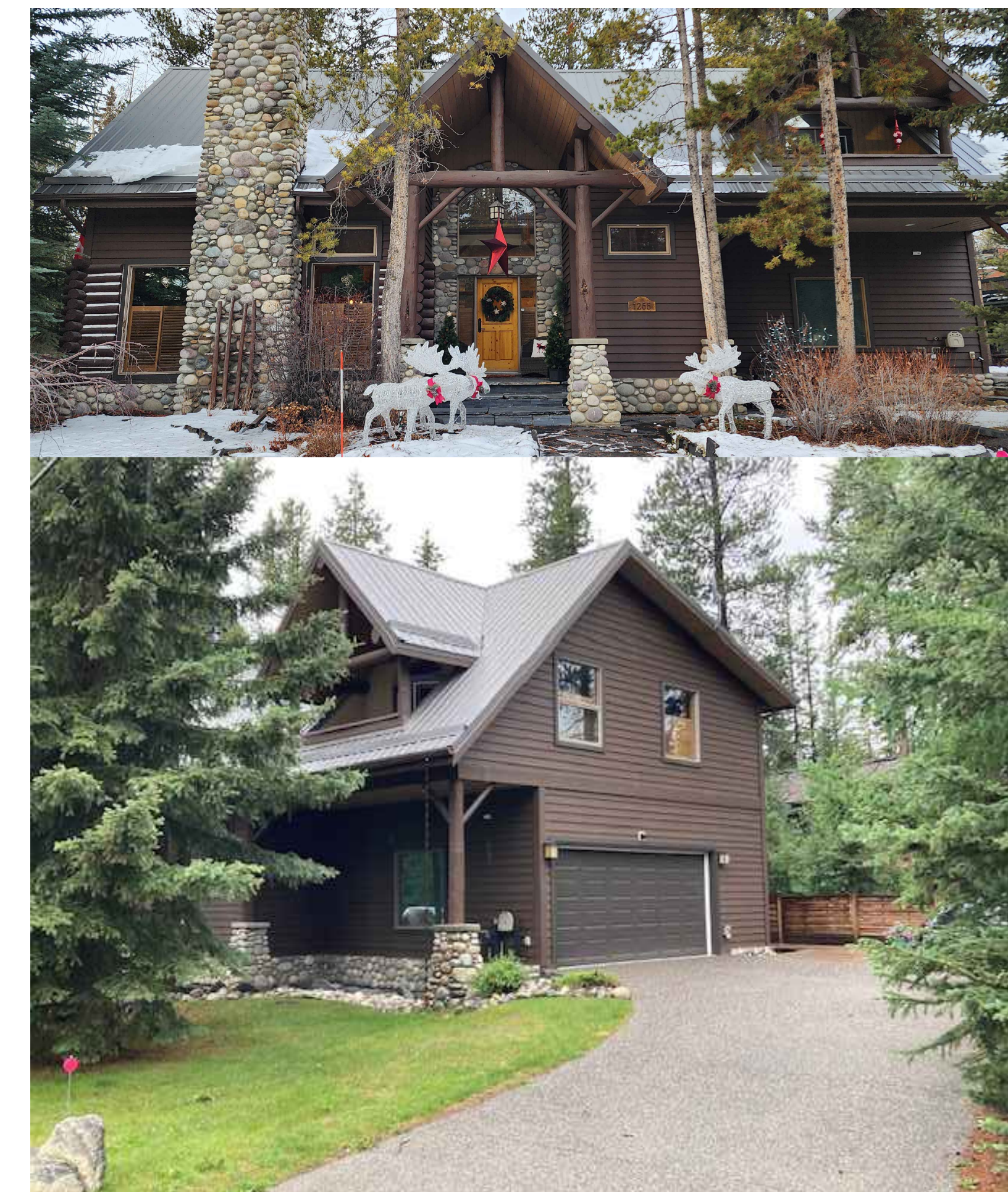
existing dwelling render

# Hall Residence Addition

## 1255- 7th avenue, canmore, ab

## drawing index

A0.1	cover sheet	A3.1	existing east (front) elevation proposed east (front) elevation
A1.1	existing site plan	A3.2	existing north (right) elevation proposed north (right) elevation
A1.2	proposed site plan & tree protection plan	A3.3	existing west (rear) elevation proposed west (rear) elevation
A2.1	proposed foundation plan proposed roof plan	A4.1	interior door schedule window schedule window details
A2.2	existing main floor plan proposed main floor plan	A5.1	building section A building section B construction data construction details
A2.3	existing upper floor plan proposed upper floor plan		
A2.4	upper floor framing plan roof framing plan		
		E1.1	main floor electrical plan upper floor electrical plan



existing dwelling photos

PROJECT:  
1276  
Hall addition

---

ADDRESS:  
1255- 7th ave.  
canmore, ab

---

LOT: 2  
BLOCK: 45  
PLAN: 9010589

---

CLIENT:  
Cameron & Julia  
Hall

---

ISSUED:  
A: issued for review  
2024-03-07

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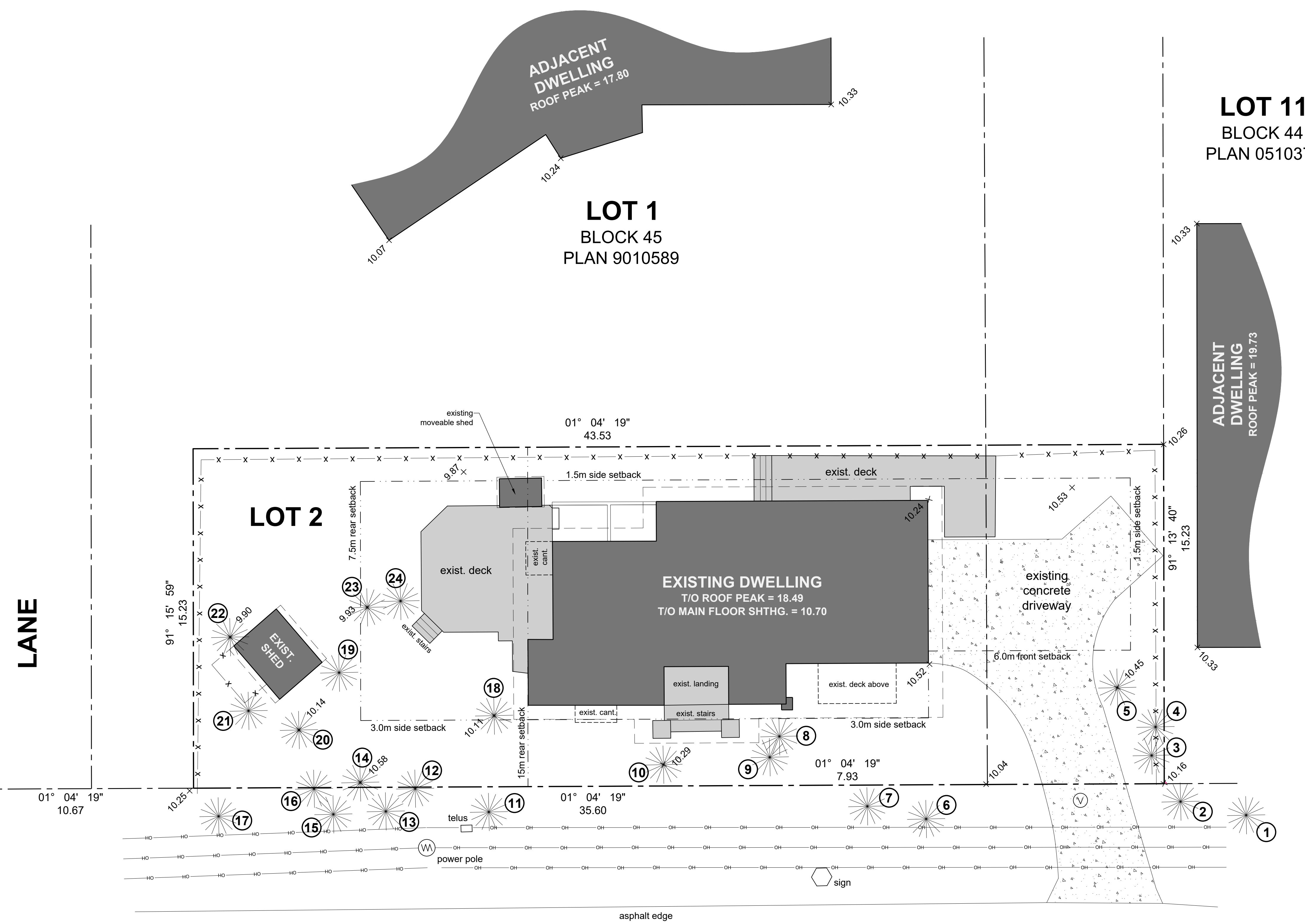
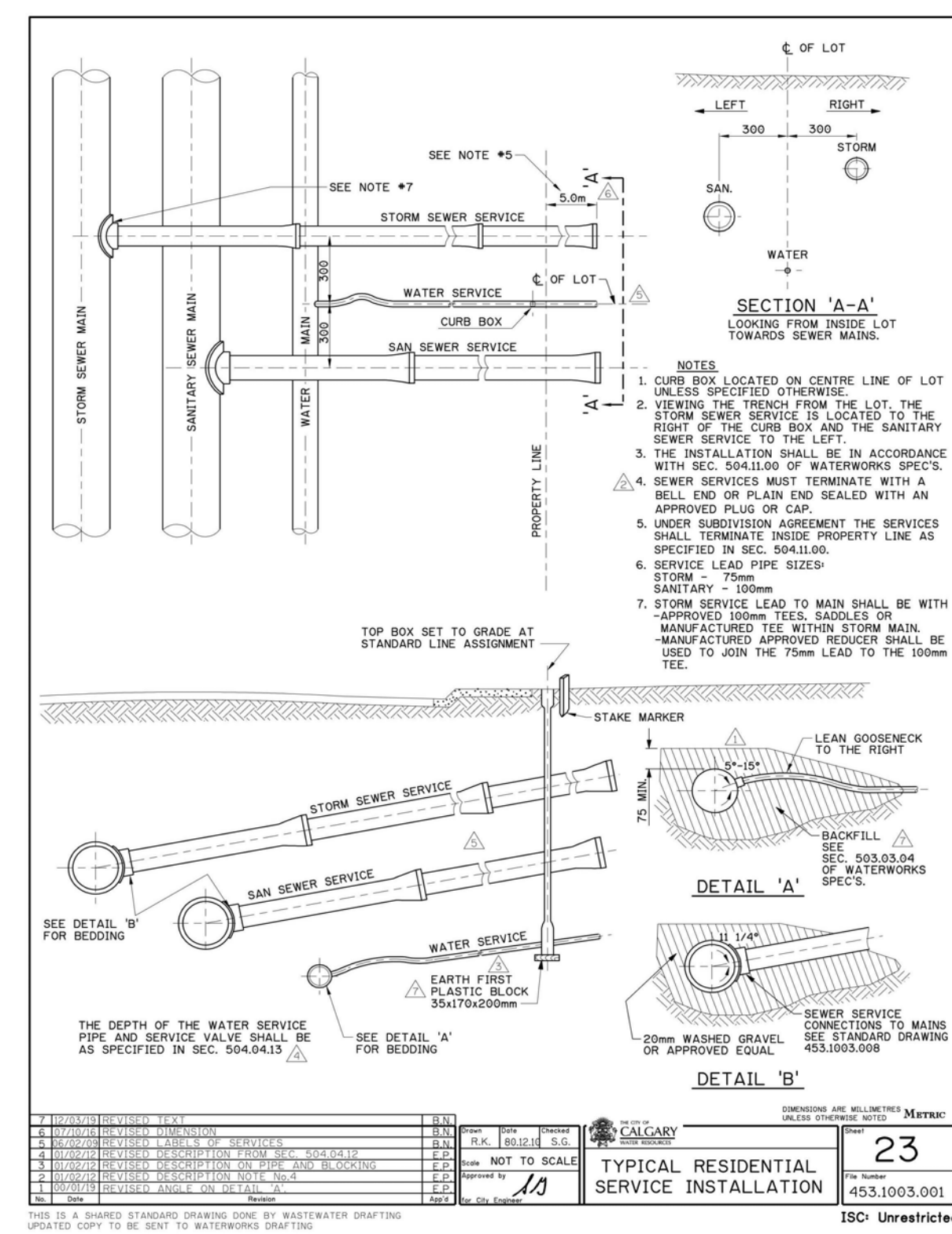
DRAWN: CC  
DESIGNED: AR  
CHECKED: AR

DRAWING NUMBER:

A0.1

**russell**  
and  
**russell**  
design studios  
#200 817 main street  
canmore alberta t1w 2b3  
info@russellandrussell.ca  
403 678 3003  
www.russellandrussell.ca

**typical service installation details**  
not to scale



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DRAWN: CC  
DESIGNED: AR  
CHECKED: AR

DRAWING NUMBER:

**A1.1**

**russell and russell design studios**

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**SITE PLAN LEGEND:**

- DISTANCES AND ELEVATIONS ARE IN METRES.
- ADD 1300.00m FOR GEODETIC

• EXISTING SPOT ELEVATIONS (ADD 1300.00 FOR GEODETIC)

• PROPOSED SPOT ELEVATIONS (ADD 1300.00 FOR GEODETIC)

• DRAINAGE ARROW

• TREE PROTECTION FENCING

PROPOSED LANDSCAPING LEGEND			
SYMBOL	SPECIES	SIZE	QUANTITY
	gravel or rundle flagstone		as required

EXISTING LANDSCAPING LEGEND	
	EXISTING CONIFEROUS TREE TO REMAIN
	EXISTING CONIFEROUS TREE TO BE REMOVED

FRONT YARD LANDSCAPING	
FRONT YARD AREA = 129.59	
LANDSCAPING AREA = 100.63	=77%

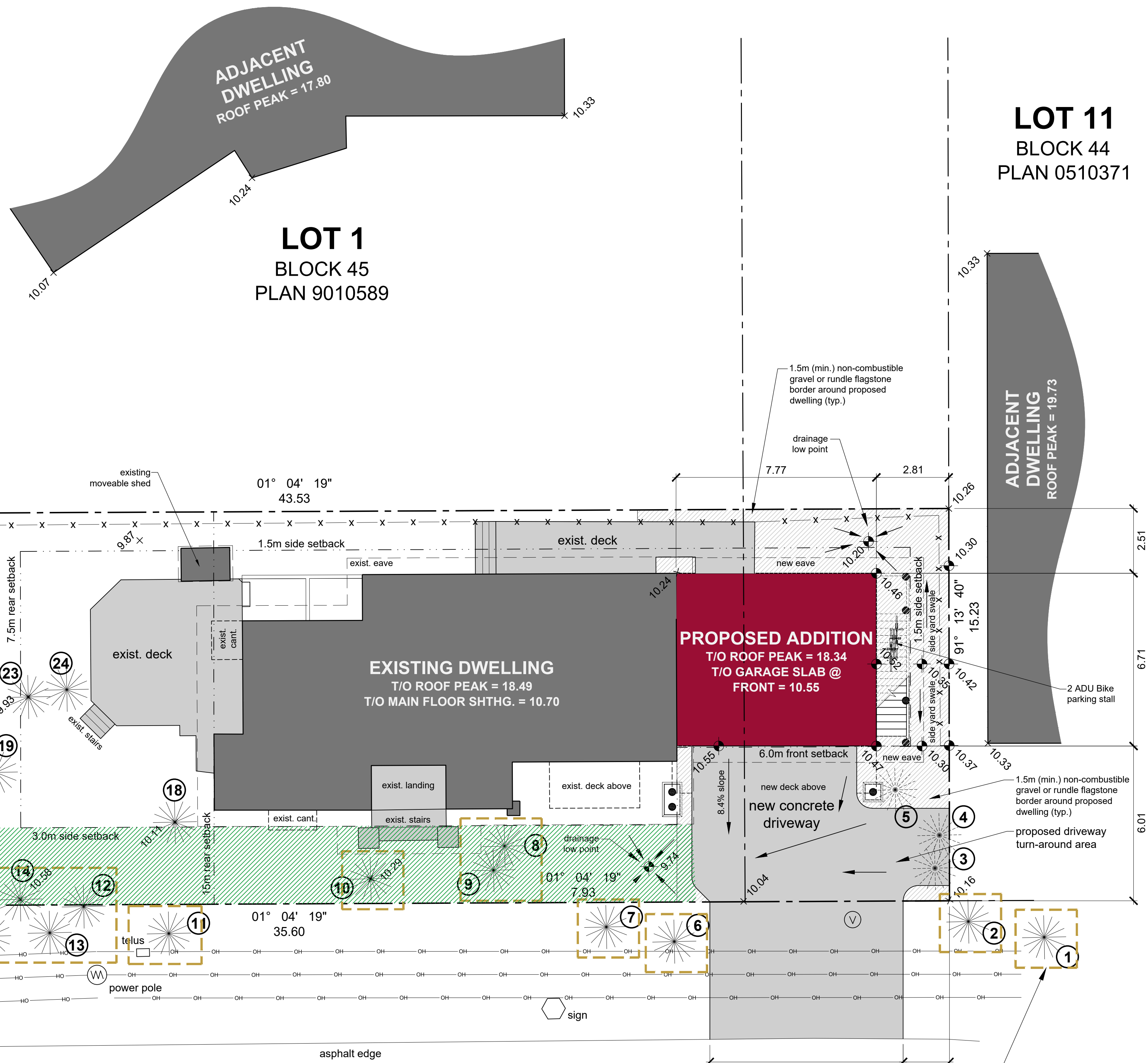
**tree protection diagram**

..400 - Russell and RussellCanmore Tree Protection Diagram.jpg

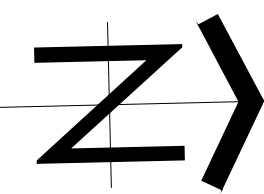
**tree protection measures**

1. tree protection fencing to be installed as per 'tree protection diagram'.
2. prior to commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified must be installed.
3. 'Alberta One Call' must be called before you dig.
4. removal of trees to be done outside of nesting season (February through to August), a bird sweep may be required.
5. tree protection must remain in place and in good condition throughout site demolition and construction and must not be altered, moved or removed until authorized by the Town of Canmore.
6. minimize impact to tree root systems during construction. Any tree root systems impacted during construction activities will need to be addressed through proper pruning techniques, pre-approval required.
7. all pruning to be done by certified arborist or approved equivalent on approve of the Town.
8. contractor to arrange for watering as needed (minimum of weekly visit) of existing trees during construction period. trees to be watered manually from a water truck.
9. contractor to add 100mm of new bark mulch to tree protection zones.

existing tree schedule			
number	description	trunk dia. (m)	remove/retain/protect
1	spruce	0.3	protect
2	spruce	0.2	protect
3	spruce	0.3	remove
4	spruce	0.2	remove
5	spruce	0.3	remove
6	spruce	0.3	protect
7	spruce	0.3	protect
8	spruce	0.2	protect
9	spruce	0.2	protect
10	spruce	0.3	protect
11	spruce	0.3	protect
12	spruce	0.1	protect
13	spruce	0.1	protect
14	spruce	0.1	protect
15	spruce	0.1	protect
16	spruce	0.1	protect
17	spruce	0.2	protect
18	spruce	0.3	retain
19	spruce	0.3	retain
20	spruce	0.3	retain
21	spruce	0.3	retain
22	spruce	0.3	retain
23	spruce	0.4	retain
24	spruce	0.3	retain



**7th AVENUE**



**proposed site plan & tree protection plan**

1:100

**PROPOSED PRIMARY DWELLING GFA**

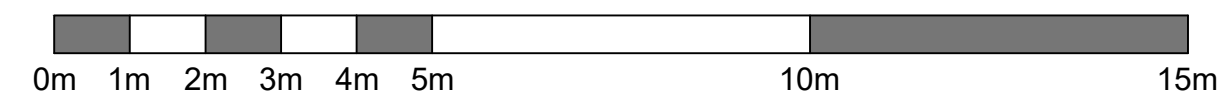
243.3 m<sup>2</sup> (2,619 ft.<sup>2</sup>)

**PROPOSED A.D.U. GFA**

52.1 m<sup>2</sup> (561 ft.<sup>2</sup>)

**TOTAL PROPOSED GFA**

295.4 m<sup>2</sup> (3,180 ft.<sup>2</sup>)



**MUNICIPAL ADDRESS**  
1255- 7th AVE.  
CANMORE, AB

**LEGAL DESCRIPTION**  
LOT: 2  
BLOCK: 45  
PLAN: 9010589

**LAND USE DESIGNATION**  
R-1

**HLC 9.8 1:100 YEAR GROUNDWATER ELEVATION**  
1310.60

**SITE AREA**  
662.91 m<sup>2</sup>

**SITE COVERAGE**  
ALLOWED: 265.16 m<sup>2</sup>  
PROPOSED: 209.85 m<sup>2</sup>

**SITE COVERAGE %**  
ALLOWED: 40.00 %  
PROPOSED: 31.66 %

construction fencing:  
1.2m high, freestanding rigid fence of plastic construction fence securely fastened to steel T-bar or wood posts. provide a 4m clearance from center of trunk or to drip line of tree and do not wrap around or tie fencing to trees. the use of mechanical fasteners (nails, screws etc.) into trees or vegetation is strictly prohibited (typ.) refer to tree protection diagram and notes for additional info

PROJECT:  
1276  
Hall addition

ADDRESS:  
1255- 7th ave.  
canmore, ab

LOT: 2  
BLOCK: 45  
PLAN: 9010589

CLIENT:  
Cameron & Julia  
Hall

ISSUED:  
A: issued for review  
2024-03-07

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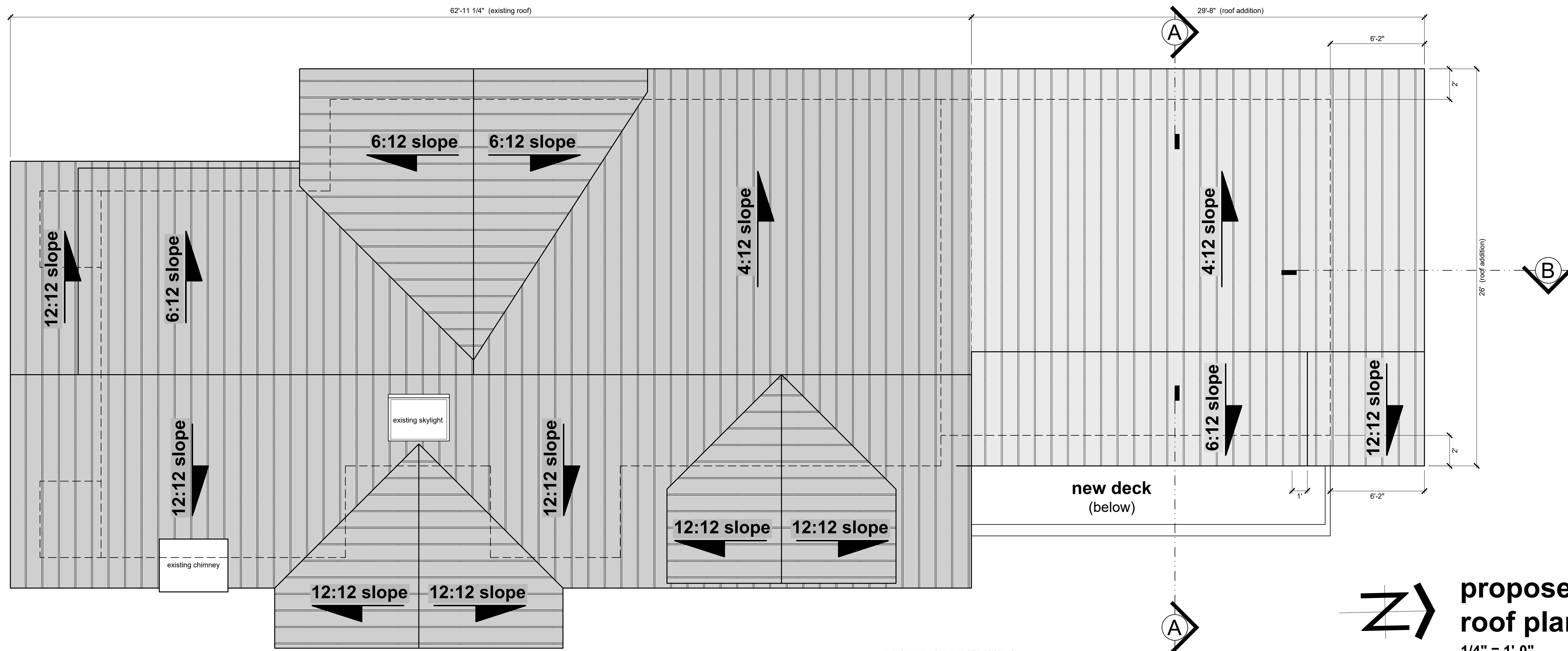
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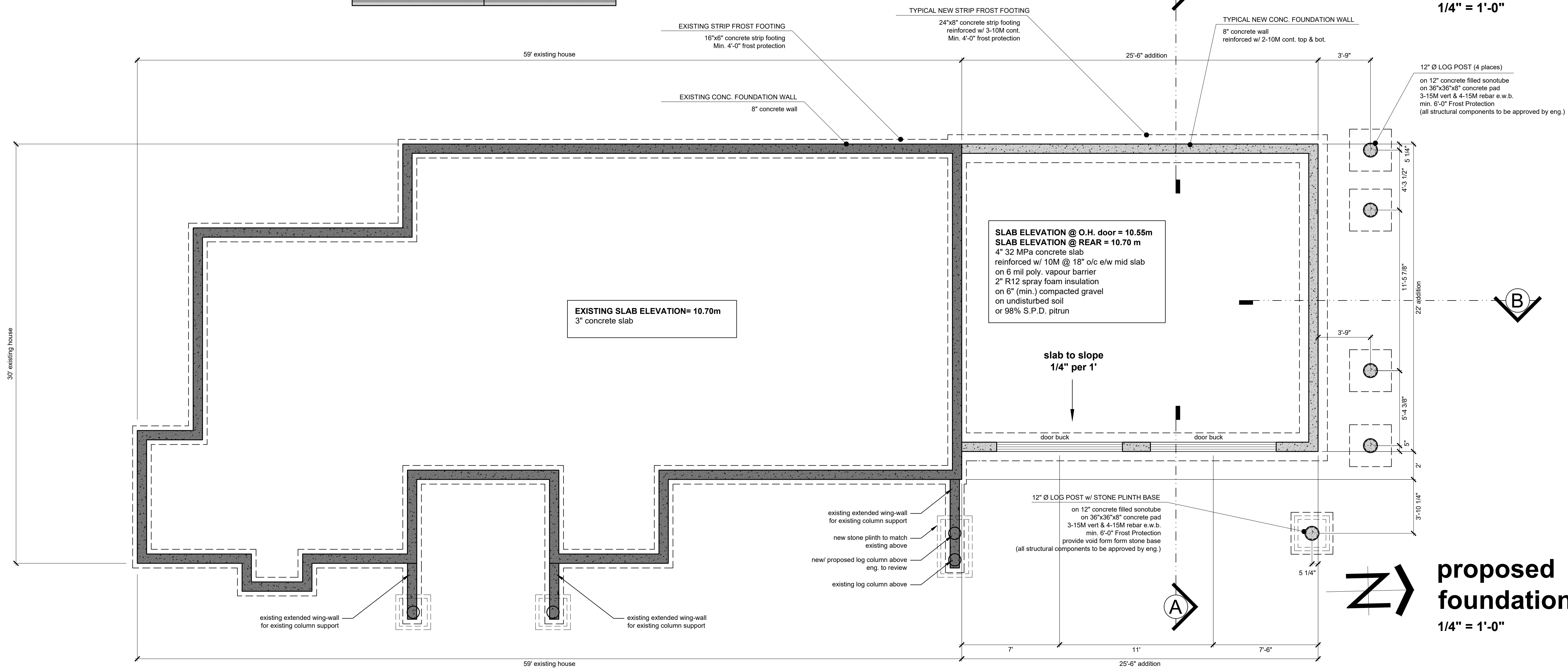
**A1.2**

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**proposed roof plan**  
1/4" = 1'-0"



**proposed foundation plan**  
1/4" = 1'-0"

PROJECT:

1276  
Hall addition

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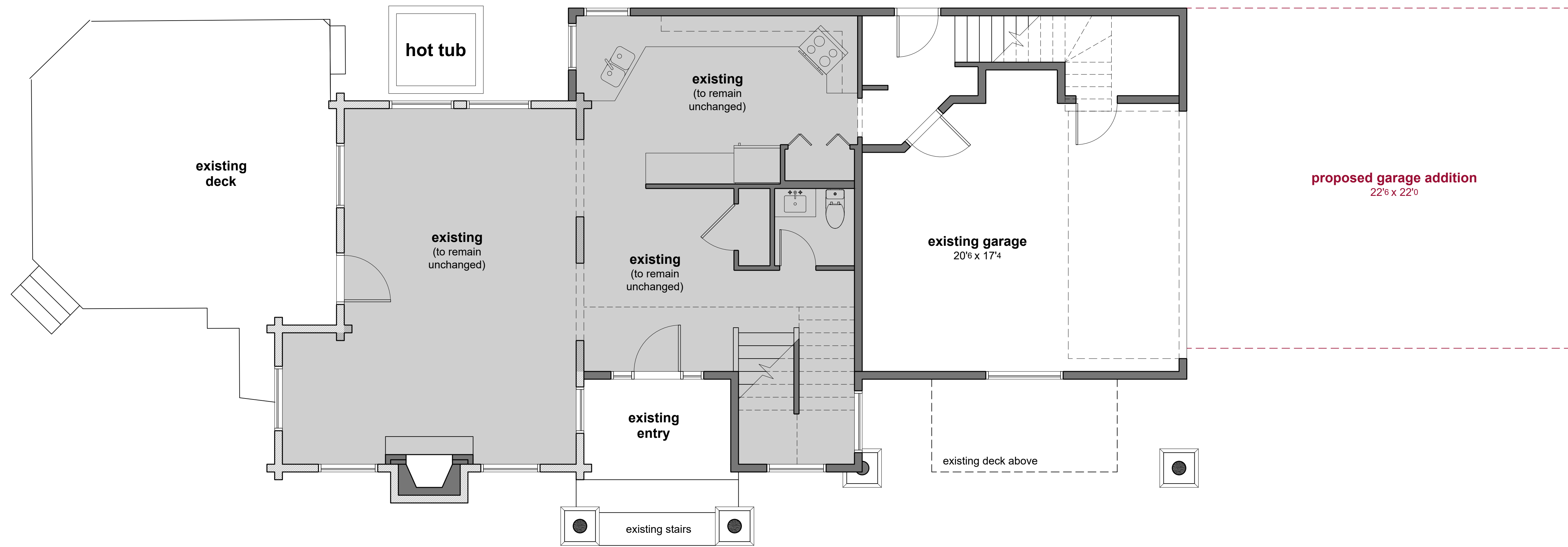
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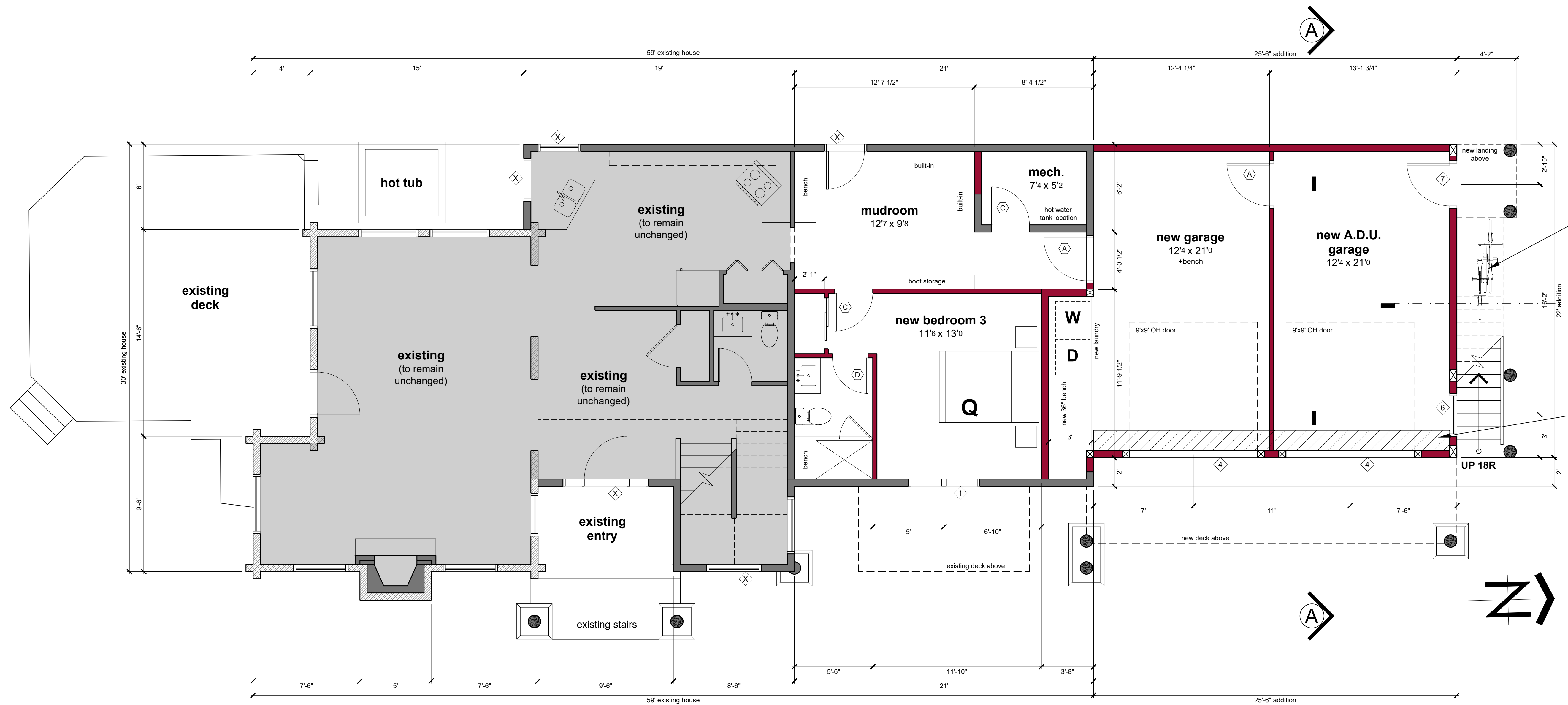
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**existing main floor plan**  
1/4" = 1'-0"

1040 ft.<sup>2</sup> GFA  
370 ft.<sup>2</sup> garage



**proposed main floor plan**  
1/4" = 1'-0"

1381 ft.<sup>2</sup> GFA  
595 ft.<sup>2</sup> garage

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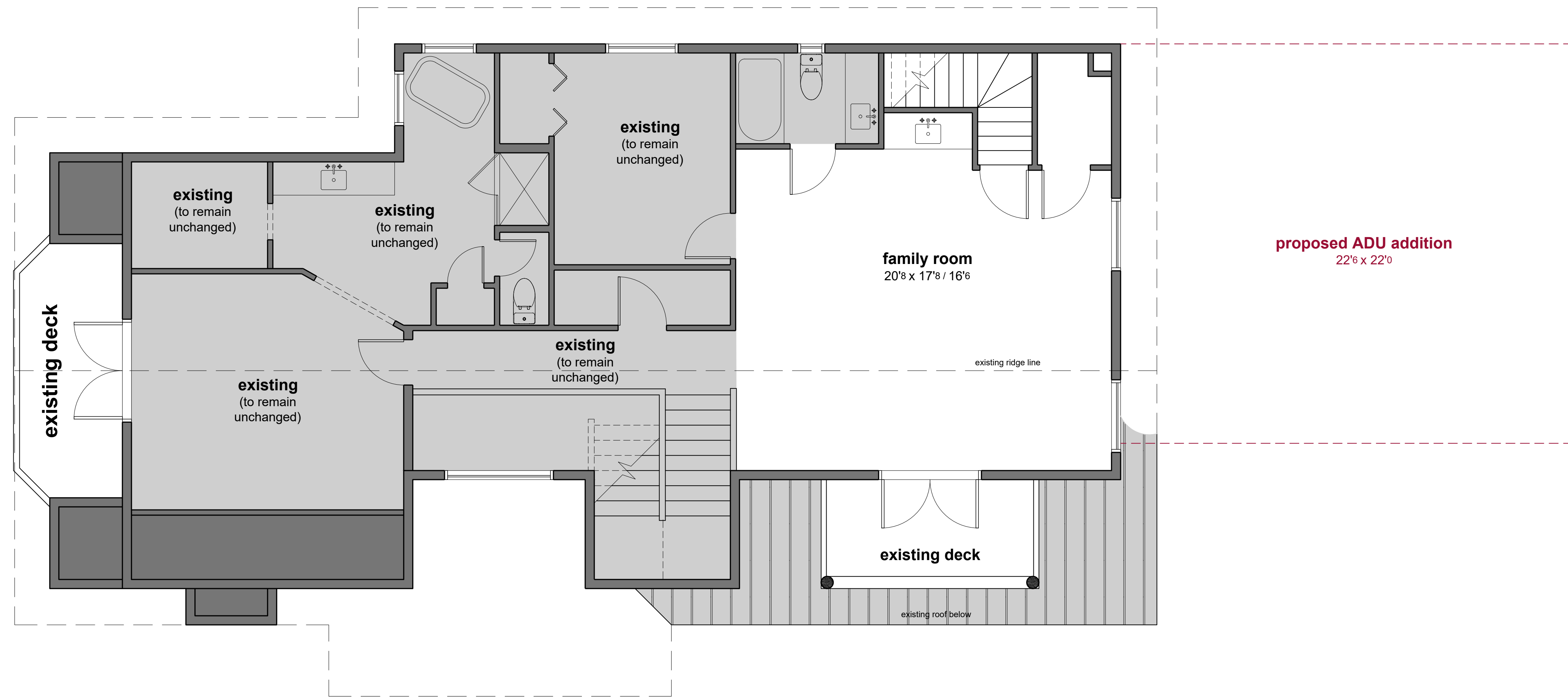
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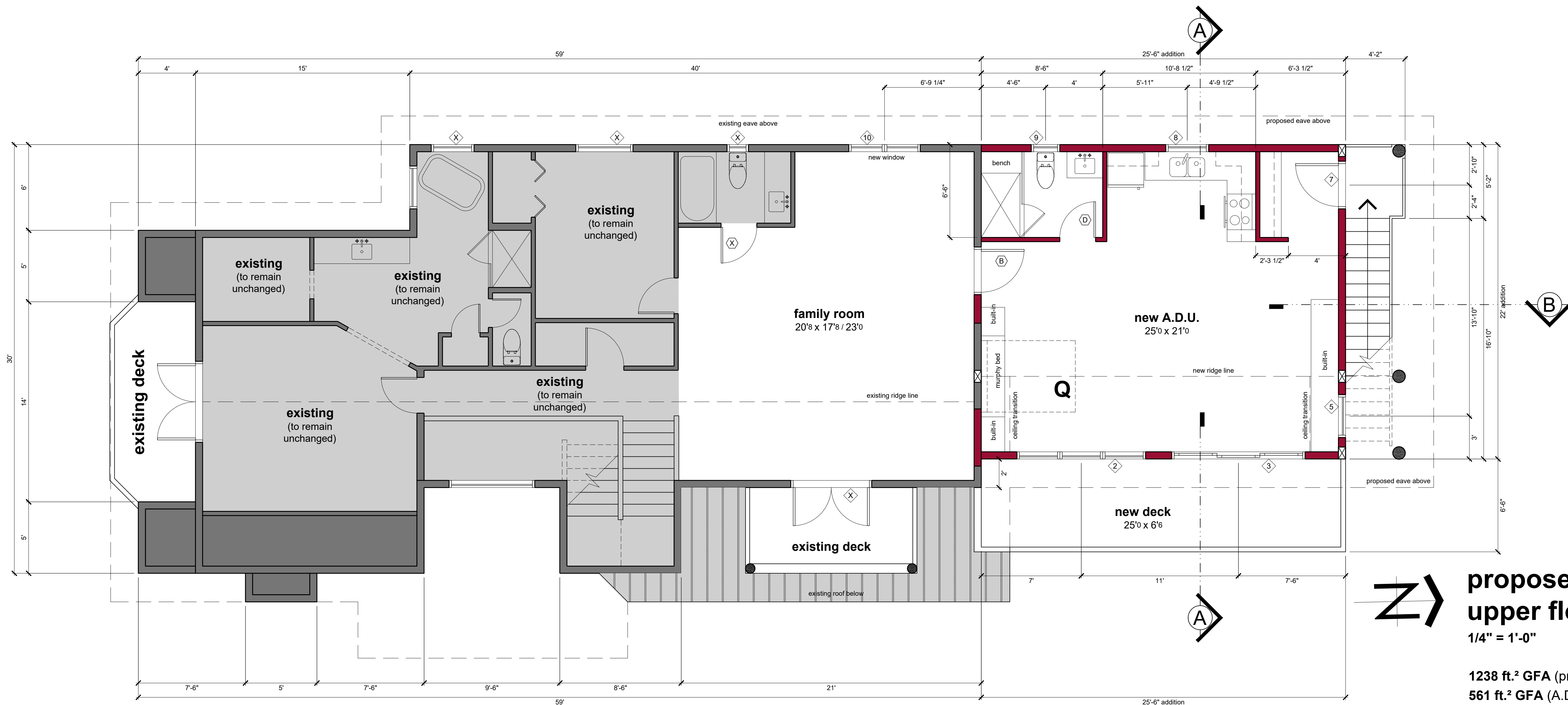
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**Z** existing upper floor plan  
1/4" = 1'-0"  
1238 ft.<sup>2</sup> GFA



**Z** proposed upper floor plan  
1/4" = 1'-0"  
1238 ft.<sup>2</sup> GFA (primary dwelling)  
561 ft.<sup>2</sup> GFA (A.D.U.)

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PROJECT:

1276  
Hall addition

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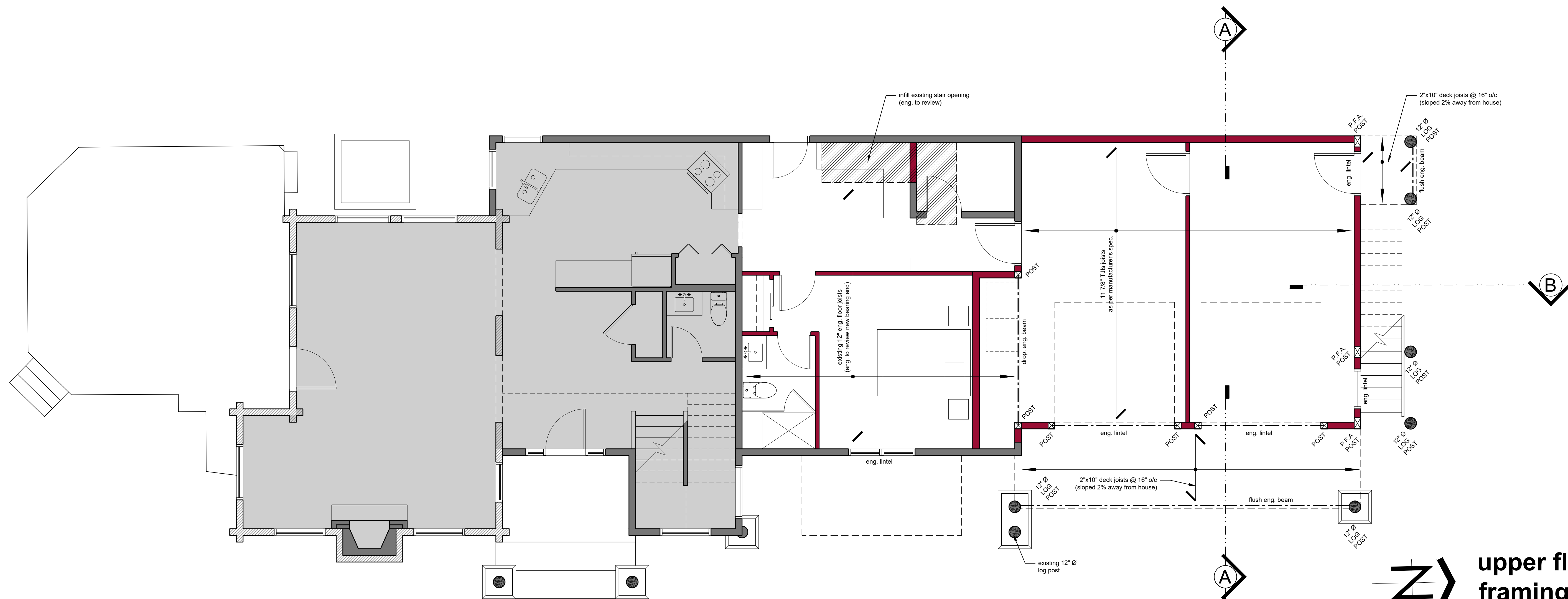
LOT: 2  
BLOCK: 45  
PLAN: 9010589

CLIENT:

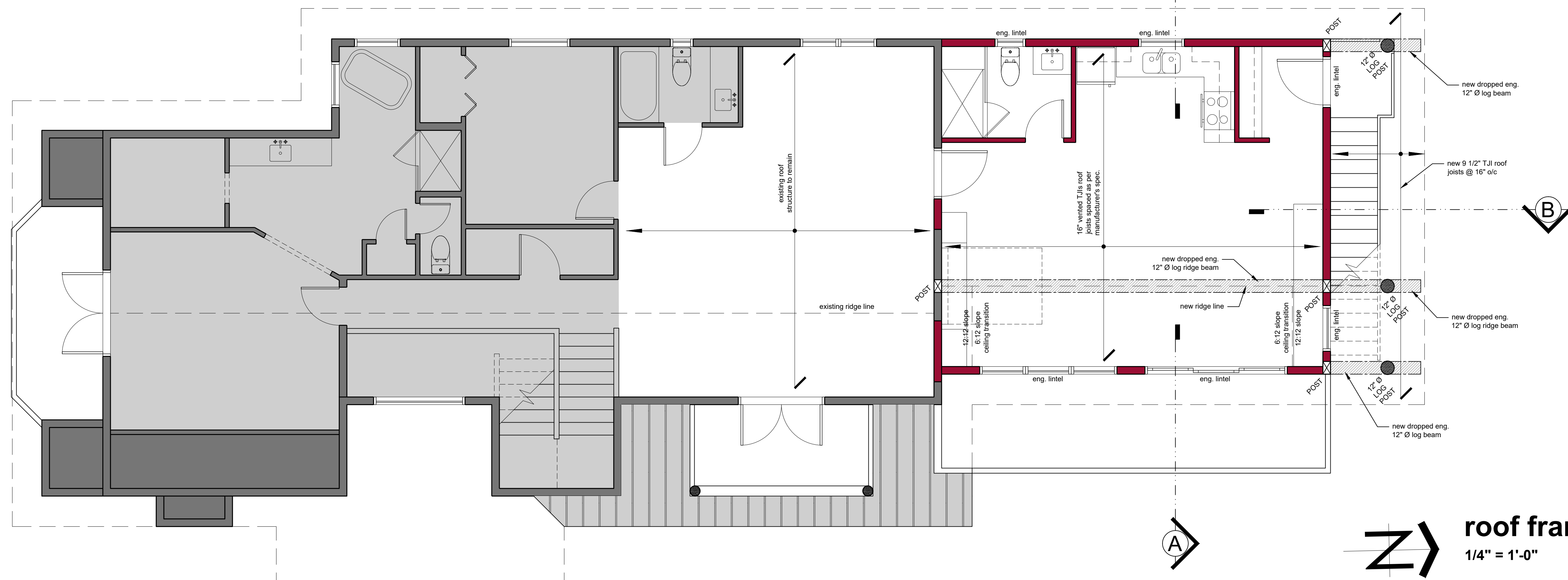
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**upper floor framing plan**  
1/4" = 1'-0"



**roof framing plan**  
1/4" = 1'-0"

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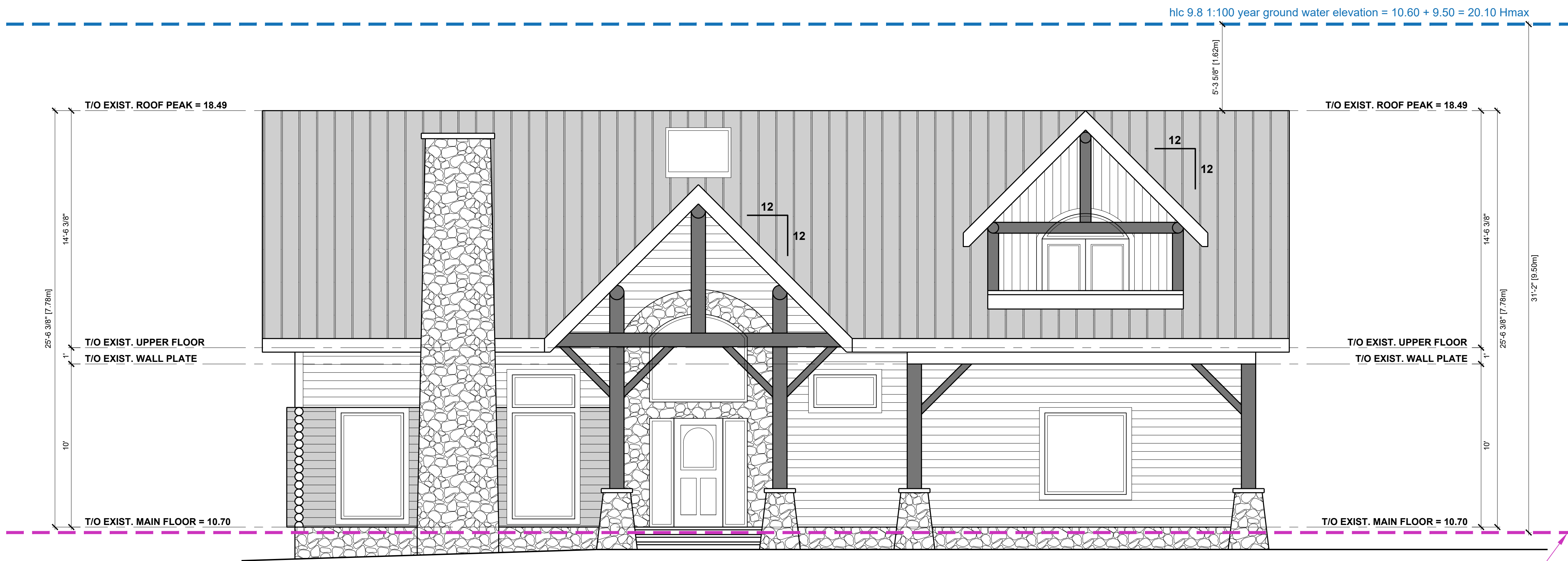
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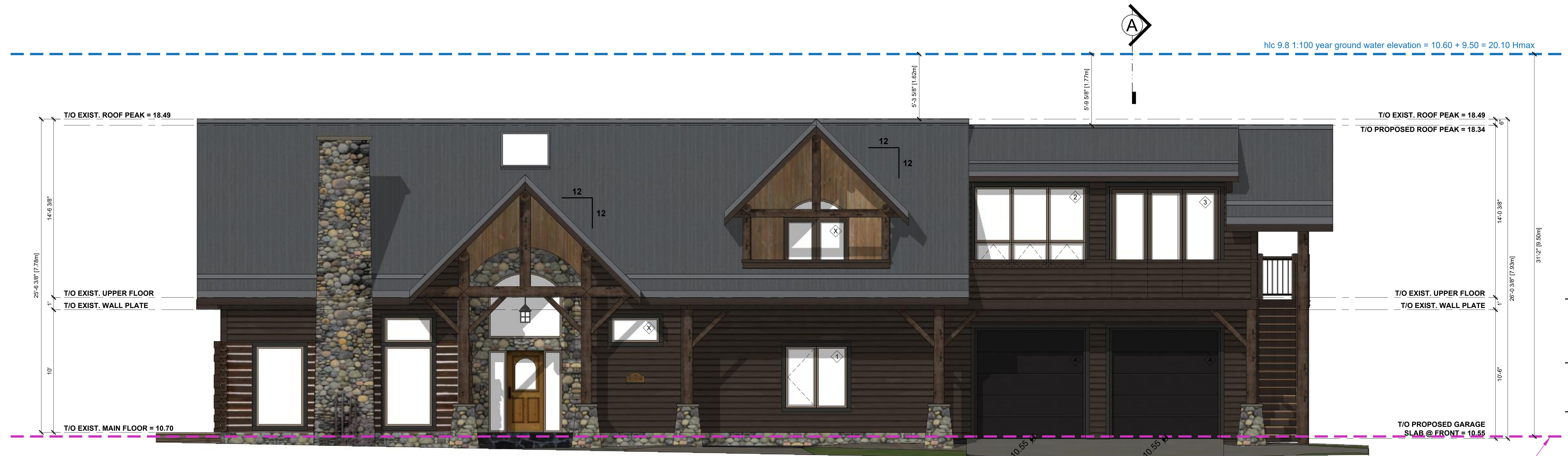
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**existing east (front) elevation**

1/4" = 1'-0"



**proposed east (front) elevation**

1/4" = 1'-0"

\*note: all proposed exterior finishes to match existing finishes

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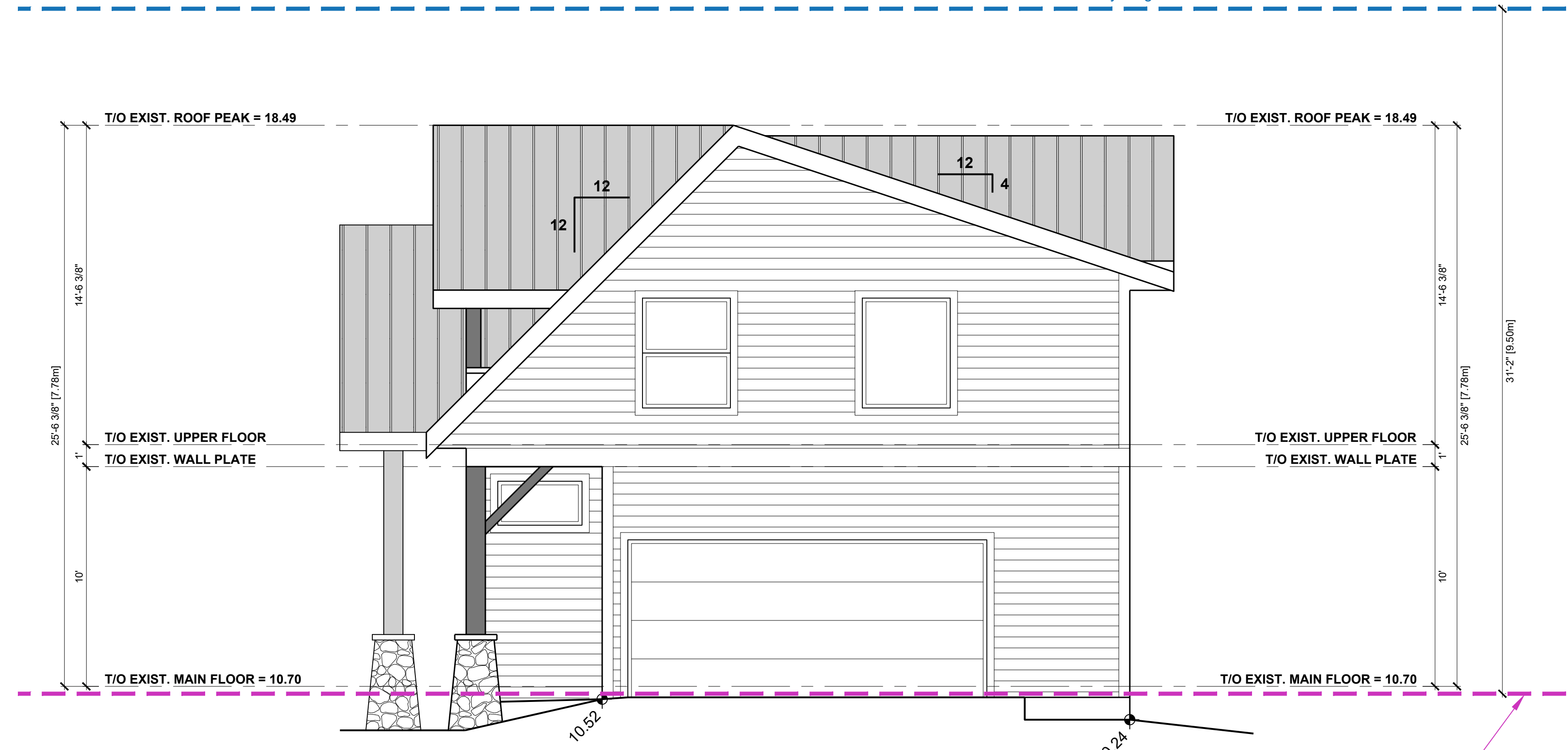
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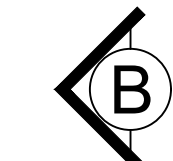
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hlc 9.8 1:100 year ground water elevation = 10.60 + 9.50 = 20.10 Hmax

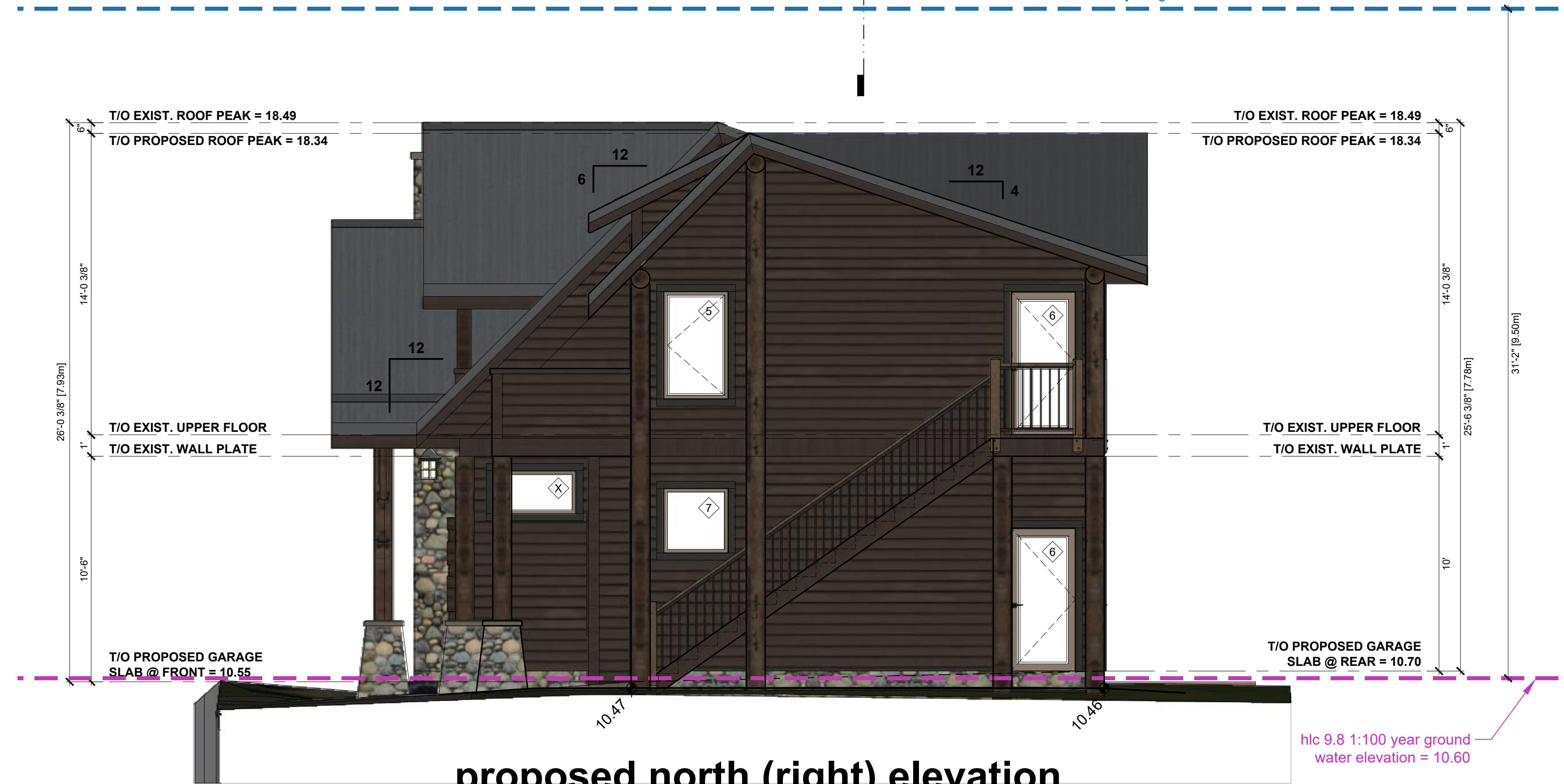


**existing north (right) elevation**

1/4" = 1'-0"



hlc 9.8 1:100 year ground water elevation = 10.60 + 9.50 = 20.10 Hmax



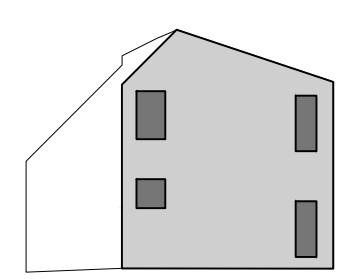
**proposed north (right) elevation**

1/4" = 1'-0"

\*note: all proposed exterior finishes to match existing finishes

**north-west unprotected openings calculations**

total exposed building face:	61 m <sup>2</sup>
limiting distance:	2.81 m
exposed building face:	486 ft. <sup>2</sup>
allowable openings:	12.65% (61.5 ft. <sup>2</sup> ) [interpolated]
proposed openings:	10.10% (49.1 ft. <sup>2</sup> )



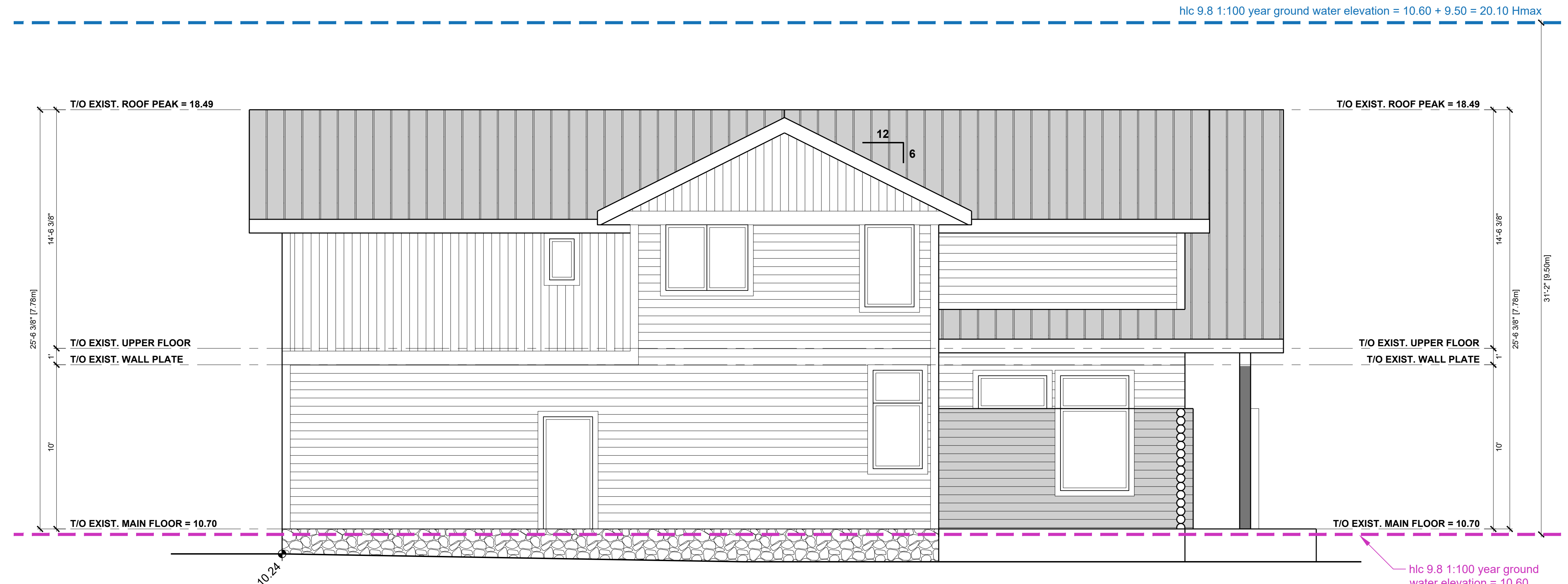
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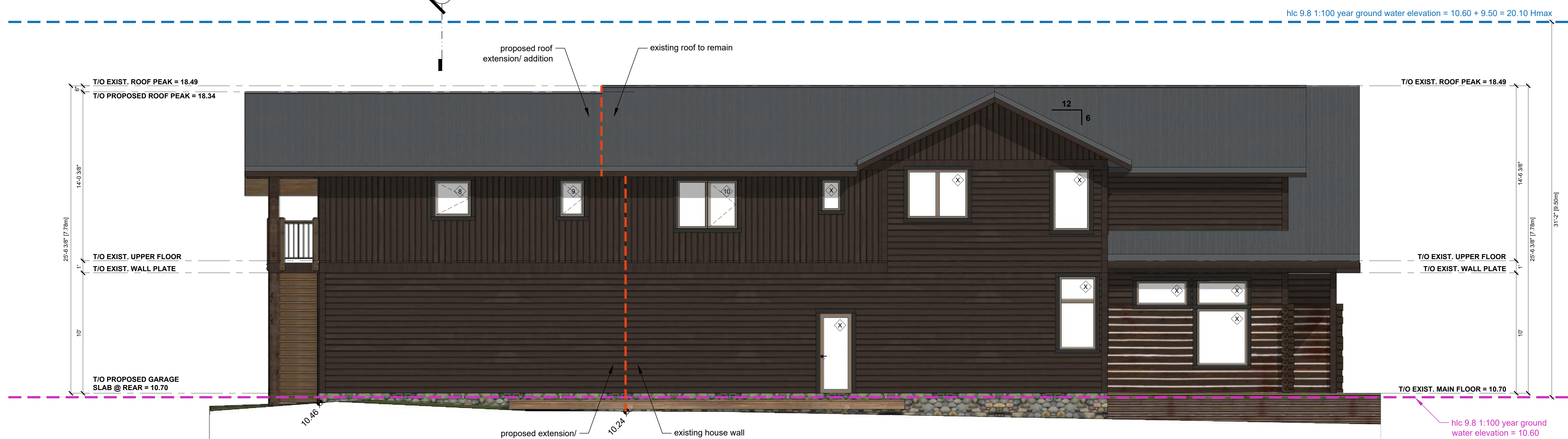
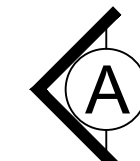
**A3.2**

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**existing west (rear) elevation**

1/4" = 1'-0"



**proposed west (rear) elevation**

1/4" = 1'-0"

\*note: all proposed exterior finishes to match existing finishes

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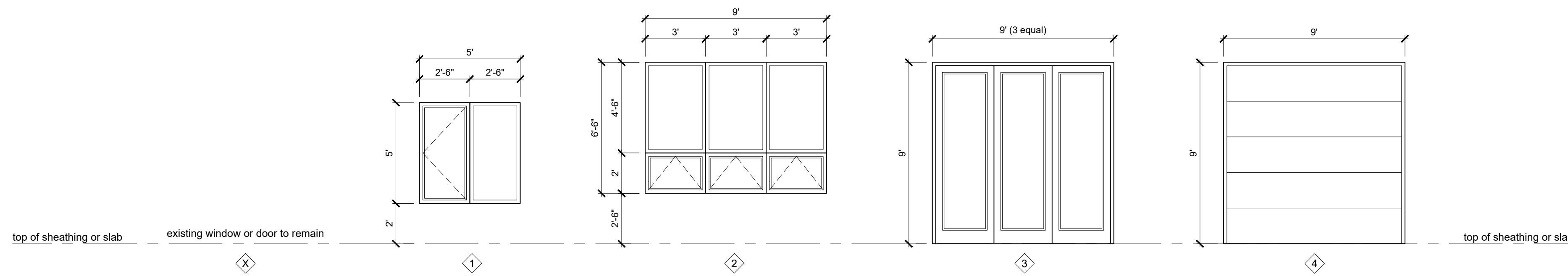
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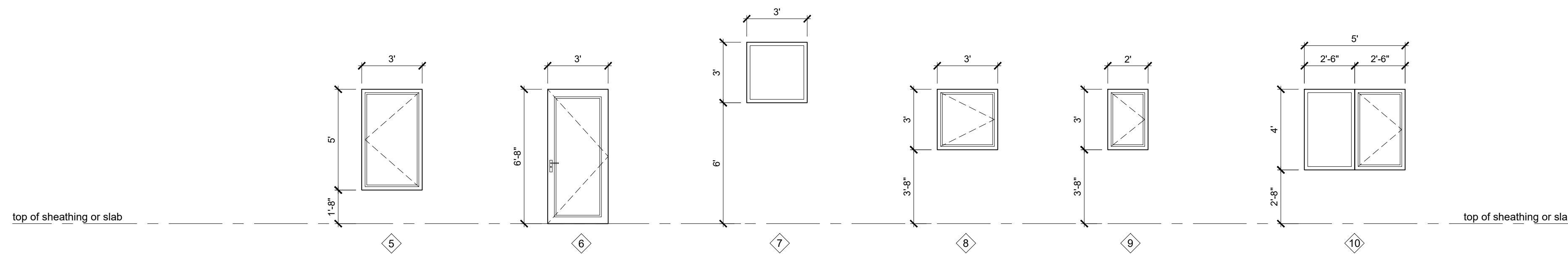
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spec. symbol	quantity	size	description
(X)	--	varies	existing door to remain
(A)	2	3'-0" x 6'-8"	steel panel w/ weatherstripping & self closer
(B)	1	3'-0" x 6'-8"	wood panel
(C)	2	2'-8" x 6'-8"	wood panel
(D)	2	2'-6" x 6'-8"	wood panel
(E)	1	(2)- 2'-0" x 6'-8"	bi-pass closet doors - wood panel

### interior door schedule



spec. symbol	quantity	size	type	notes
(X)	--	varies	existing windows to remain	
(1)	1	5'-0" x 5'-0"	casement/ fixed	see diagram
(2)	1	9'-0" x 6'-6"	fixed/ awning	see diagram
(3)	1	9'-0" x 9'-0"	sliding patio doors	see diagram
(4)	2	9'-0" x 9'-0"	OH garage w/ weather stripping & opener	see diagram
(5)	1	3'-0" x 5'-0"	casement	see diagram
(6)	2	3'-0" x 6'-8"	french door	see diagram
(7)	1	3'-0" x 3'-0"	fixed	see diagram
(8)	1	3'-0" x 3'-0"	casement	see diagram
(9)	1	2'-0" x 3'-0"	casement	see diagram
(10)	1	5'-0" x 4'-0"	fixed/ casement	see diagram

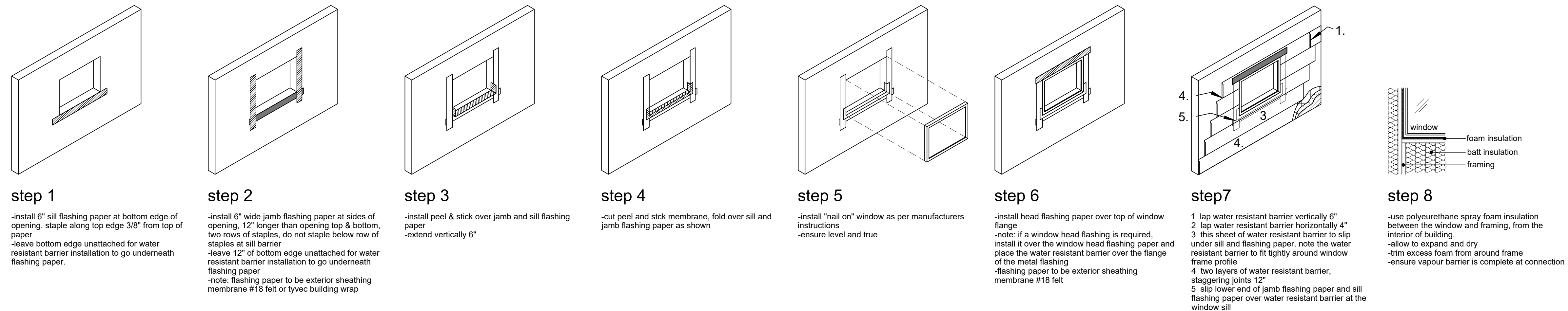
note:  
ALUMINUM CLAD WINDOWS w/ nailing fin, trim by others.  
all windows to be low E, triple glazed.  
see elevations for patterns & openings.  
see manufactures specification for rough-opening sizes.

windows to be Energy Star certified windows of a minimum of "Zone C" requirements (29 W/m2 k2) or of an equivalent Energy Rating (ER) level as determined by the CSA Standard A440.2.

### window & exterior door schedule diagrams

1/4" = 1'-0"

### window & exterior door schedule



### window installation guide not to scale

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## roof systems

- R1 Typical Roof System**  
refer to elevations for roof finish  
min. 36" wide ice & water shield eave protection  
roofing paper  
7/16" OSB sheathing w/ H-clips  
roof joists or trusses as per eng. spec.  
w/ R-40 batt insulation  
1/2" GWB (moisture resistant GWB in washrooms)

- R2 Roof System over Exterior Space**  
refer to elevations for roof finish  
min. 36" wide ice & water shield eave protection  
roofing paper  
7/16" OSB sheathing w/ H-clips  
2"x8" roof joists @ 16" o/c  
1"x6" T&G cedar or  
pre-finished metal soffit (non-venting)

## wall systems

- W1 Typical Exterior Wall**  
refer to elevations for finishes  
TYVEK building wrap (or similar)  
3/8" O.S.B sheathing  
2"x6" studs @ 16" o/c (all walls over 12' high to be spaced  
@ 12" o/c continuous w/ blocking @ 48" o/c)  
w/ R-24 batt insulation  
6 mil poly vapour barrier (lapped & taped)  
1/2" GWB (type X GWB in garage)

- W2 Typical Foundation/ Frost Wall**  
8" concrete wall - 20 MPA r/w 2-10M cont. 18b w/  
dampproofing below grade/ parging above grade  
min. 4' frost protection w/ 2" rigid insulation

- W3 Garage/ House Interior Wall**  
1/2" GWB  
2"x6" stud wall @ 16" o/c  
w/ R-24 batt insulation  
6 mil poly vapour barrier (lapped & taped)  
5/8" type X CD or type C GWB (garage side)

- W4 Typical Interior Wall**  
1/2" GWB  
2"x4" or 2"x6" stud wall @ 16" o/c  
1/2" GWB (moisture resistant GWB in washrooms)

## floor systems

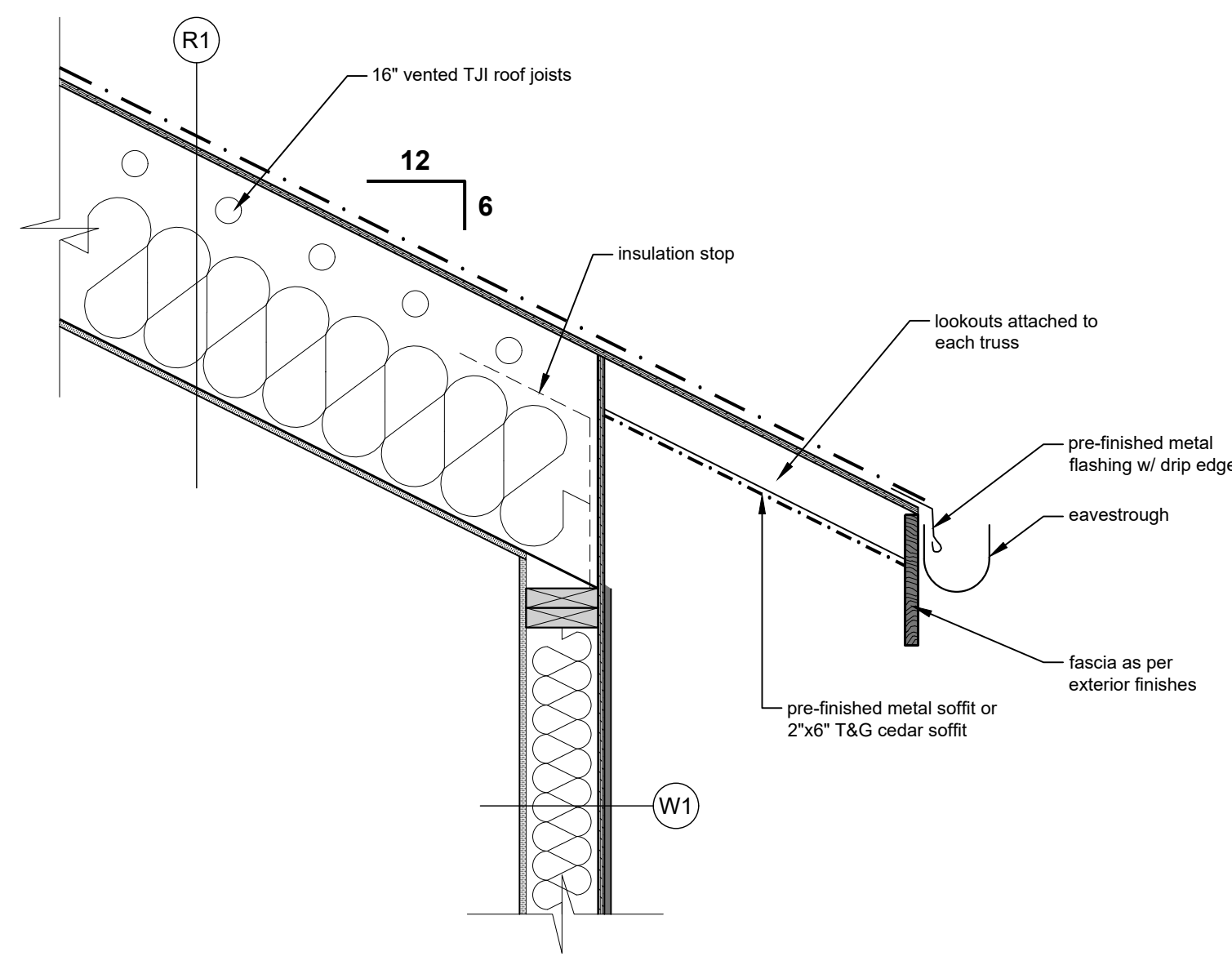
- F1 Floor System over Garage**  
finished flooring  
3/4" ply glued & screwed to floor joists  
11 7/8" TJI joists as per eng. spec.  
w/ polyurethane spray foam (closed cell)  
1/2" GWB, type X CD or type C GWB

- F2 Typical Garage Slab**  
4" concrete slab - 32 MPa r/w 10M @ 18" o/c e/w mid slab  
w/ in-slab heating system (to be confirmed)  
6 mil poly. vapour barrier  
2" R-12 spray foam insulation  
6" (minimum) compacted gravel  
undisturbed soil or 98% SPD pitrun

- F3 Floor Build-Up over Existing Garage**  
finished flooring  
3/4" ply glued & screwed to floor joists  
2"x6" sleepers cut to size  
w/ polyurethane spray foam (closed cell)  
on existing 3" concrete garage slab

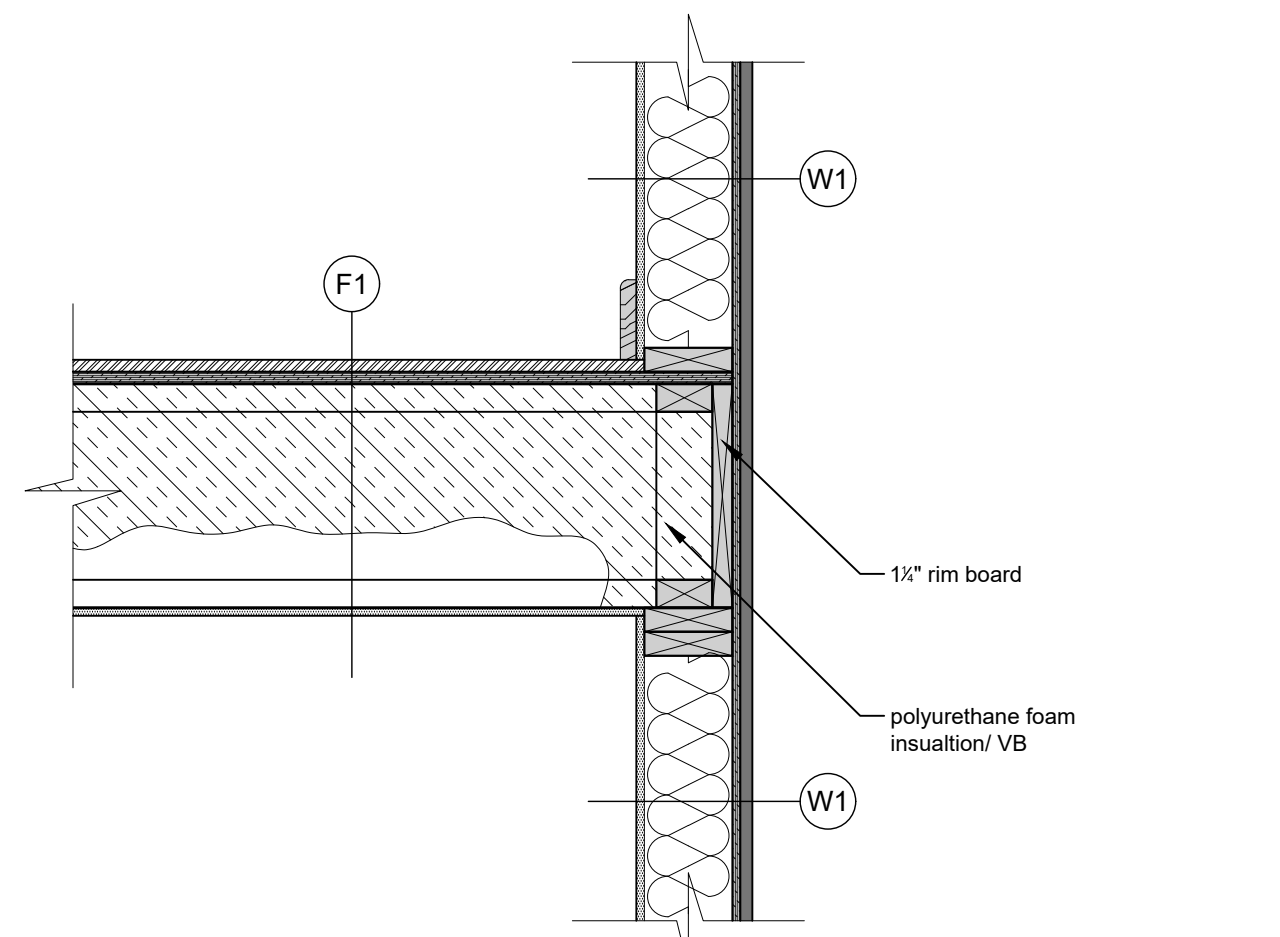
## decks

- D1 Typical Deck**  
Dura-Deck membrane (or similar waterproof membrane)  
3/4" ply glued & screwed to deck joists  
sloped deck joists as per framing plan  
pre-finished metal soffit or 1"x6" T&G cedar soffit



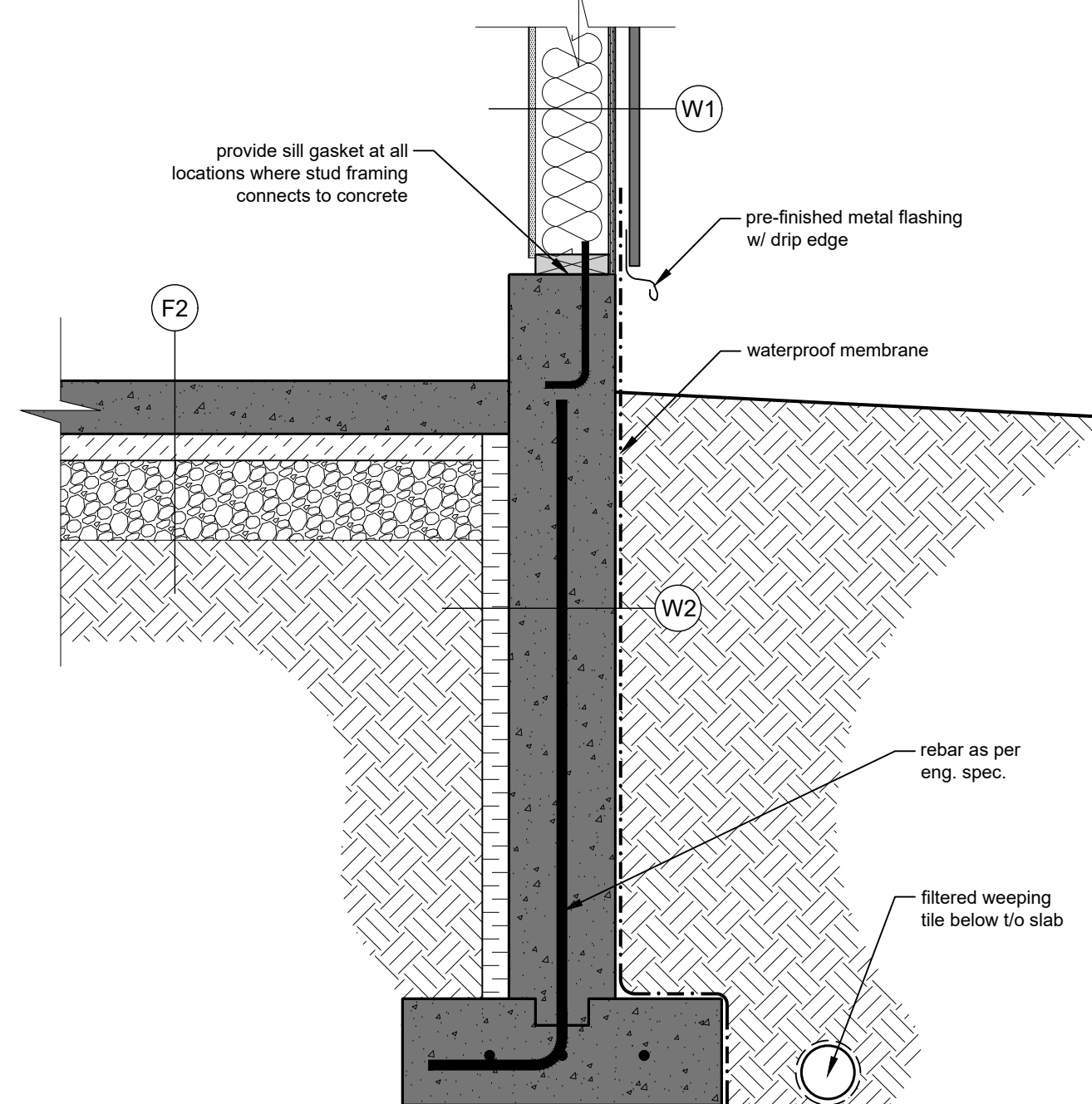
## roof & exterior wall connection

1" = 1'-0"



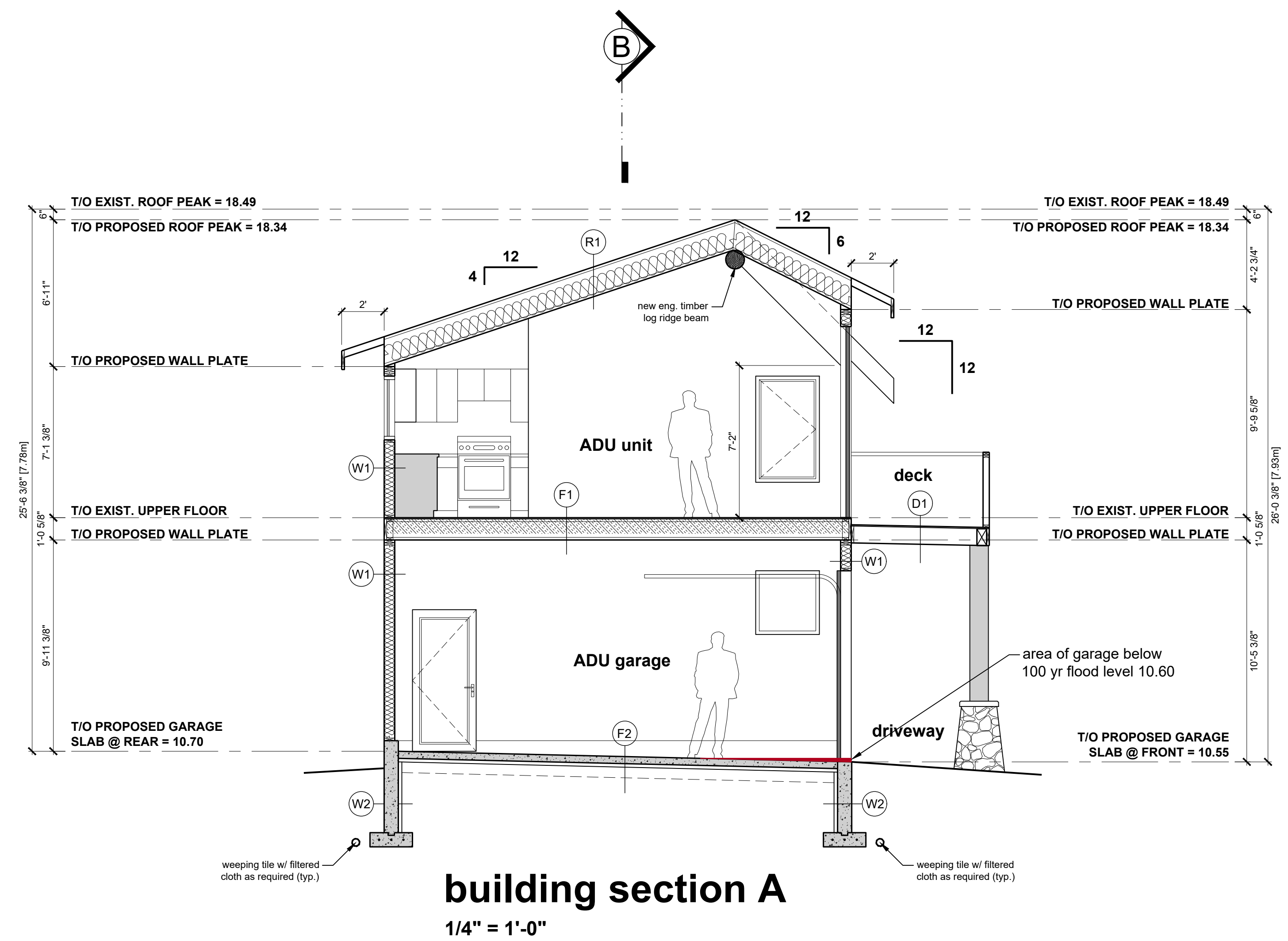
## exterior wall & floor connection

1" = 1'-0"



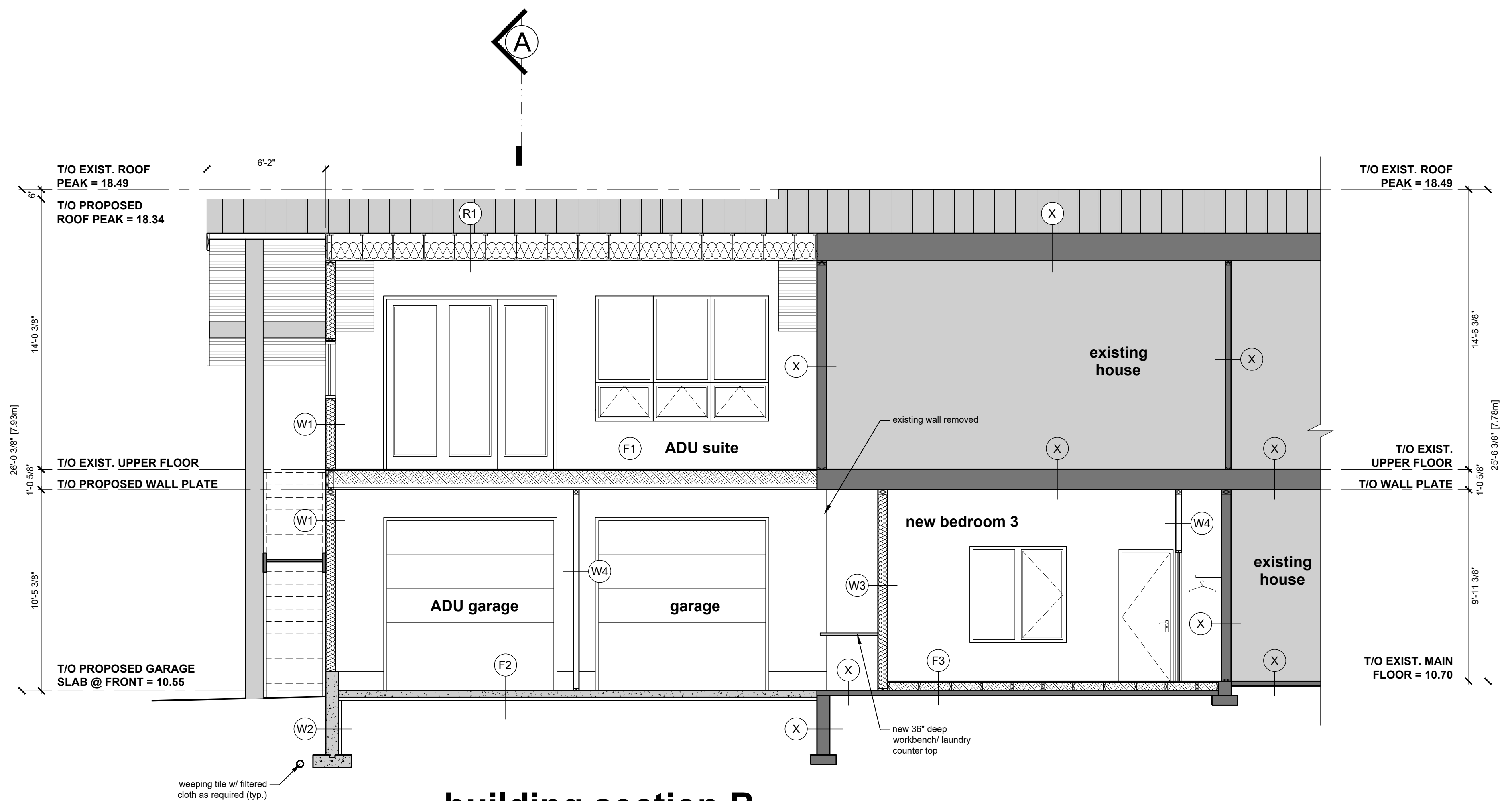
## exterior wall & garage slab connection

1" = 1'-0"



## building section A

1/4" = 1'-0"



## building section B

1/4" = 1'-0"

PROJECT:

1276  
Hall addition

ADDRESS:

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canmore, ab

LOT: 2

BLOCK: 45

PLAN: 9010589

CLIENT:

Cameron & Julia  
Hall

ISSUED:

A: issued for review  
2024-03-07

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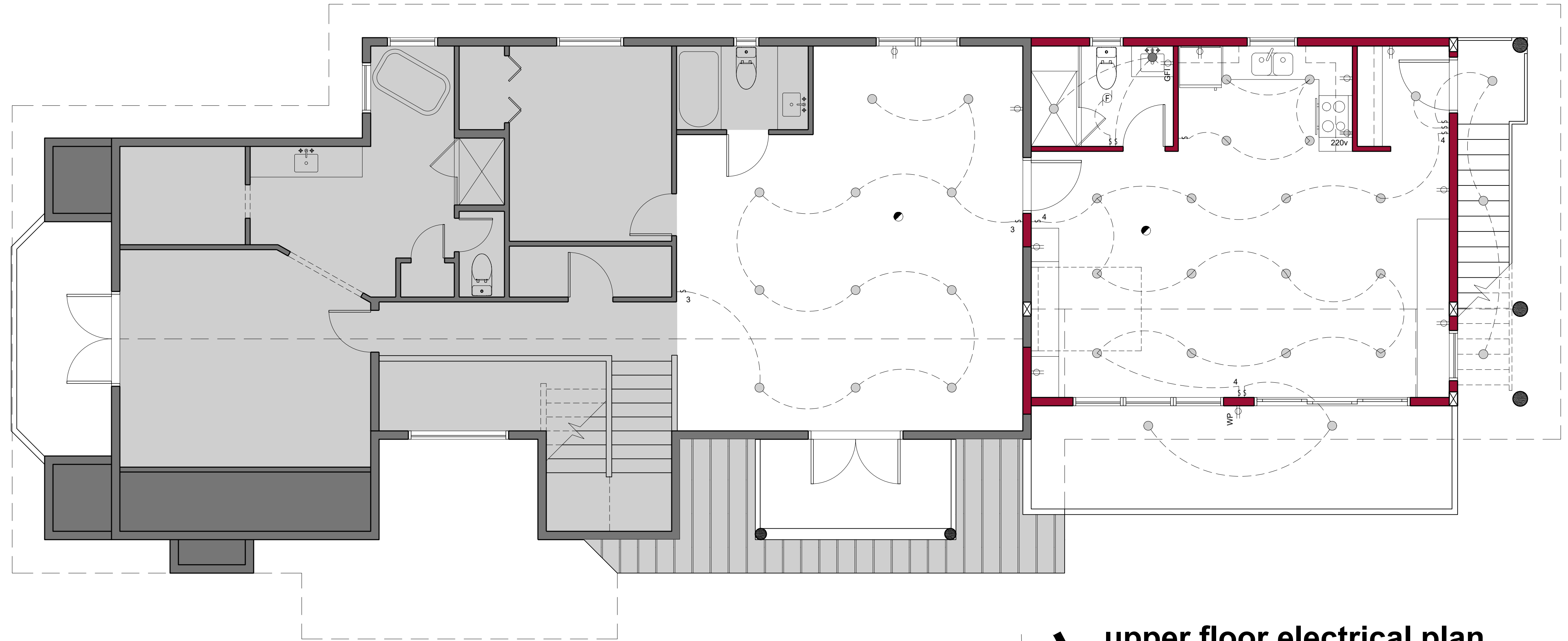
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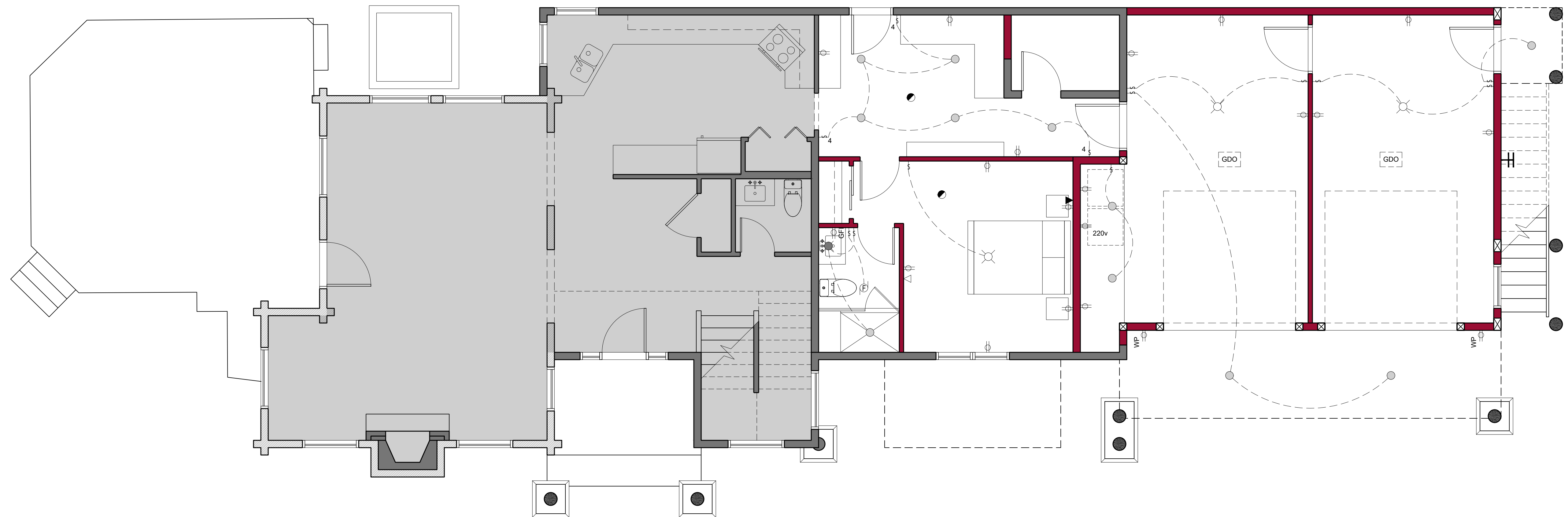
### electrical legend

\*note: owner/ contractor to confirm all lighting and electrical prior to installation

- |                                  |  |
|----------------------------------|--|
| light switch (# poles)           | gas supply                                   |
| ceiling light                    | phone jack & CAT5                            |
| wall light                       | cable TV                                     |
| pot light                        | smoke & CO detector (hard wired & connected) |
| door activated pot light         | electrical distribution board                |
| extract fan                      | floor drain                                  |
| DUPLEX outlet                    | hose bib                                     |
| half switched DUPLEX outlet      | track lighting                               |
| floor outlet                     | ceiling fan                                  |
| cooker or hot tub 220V outlet    | garage door opener                           |
| waterproof outlet                | house address numbers/ sign                  |
| ground fault interceptor outlet  |  |
| soffit outlet (christmas lights) |  |



**upper floor electrical plan**  
1/4" = 1'-0"



**main floor electrical plan**  
1/4" = 1'-0"

Copyright reserved. These drawings and designs are at all times the property of the designer and may not be used without permission. They are to be used only for the project shown. Written consent is required from the designer before any reproduction.

DRAWN: CC  
DESIGNED: AR  
CHECKED: AR

DRAWING NUMBER:

**E1.1**

**russell and russell**  
design studios  
#200 817 main street  
canmore alberta t1w 2b3  
info@russellandrussell.ca  
403 678 3003  
www.russellandrussell.ca

**FAXED**

**SUBDIVISION & DEVELOPMENT APPEAL BOARD ORDER**

**APPEAL NO.: 98-15  
DP98-495**

ORDER OF THE SUBDIVISION & DEVELOPMENT APPEAL BOARD OF THE TOWN OF CANMORE, IN THE PROVINCE OF ALBERTA, dated **20 OCTOBER 1998**;

(Board Members Hearing the Appeal: Ms. Barbara West, Mr. Robert Falconer, Mr. Fred Peterson, Mr. John McIsaac)

AND IN THE MATTER of the Municipal Government Act Revised Statutes of Alberta, 1994, Chapter M-26.1, as amended;

AND IN THE MATTER of an appeal by the appellant against the APPROVAL by the Development Officer for an Addition/Renovation to Single Family Dwelling on Lot 2, Block 45, Plan 9010589, 801 12th Street.

This appeal hearing having been duly opened before the Subdivision & Development Appeal Board on the 13th day of October 1998, in the presence of Mr. Richard Kasper the appellant, Mr. & Mrs. Silver the applicants and in the presence of the Development Officer of the Town of Canmore;

AND UPON reviewing an oral submission from Mr. Richard Kasper the appellant, Mr. & Mrs. Silver the applicant and the Development Officer;

AND UPON having regard to the Town of Canmore Land Use Bylaw No. 18 of 1986, as amended, the Municipal Government Act, Revised Statutes of Alberta 1994, Chapter M-26.1, as amended and other relevant planning documents;

**FINDINGS OF FACT:**

1. The property is zoned Residential Single Detached District (R-1)
2. Road closure of a portion of 12th Street west of 7th Avenue, resulted in the subject lot having its frontage changed from the former 12th Street to 7th Avenue.
3. The Board was empathetic to the fact that this is the site of the John Laurie cabin built for him by the Stoney Indians. It was decided that while it would be desirable to keep the cabin in its present form, the number of changes to the original cabin would likely make it ineligible under the Province's Historical Resource Act.

**DECISION:**

**THE BOARD THEREFORE ORDERS THAT:**

That the appeal be DENIED and that Development Application DP98-495 for an Addition/Renovation to Single Family Dwelling on Lot 2, Block 45, Plan 9010589, 801 12th Street be APPROVED subject to the conditions of Schedule "A" and including an additional condition to require a minimum south side yard setback of 15 meters to mitigate the negative impact and enjoyment of the neighbourhood ;

**REASONS FOR DECISION:**

1. In the opinion of the Board the development would not:
  - i) unduly interfere with the amenities of the neighbourhood, and
  - ii) materially interfere with or affect the use, enjoyment or value of neighboring properties.

201 22/98  
DATE SIGNED

Barbara West  
CHAIR  
SUBDIVISION & DEVELOPMENT  
APPEAL BOARD

A decision of the Development Appeal Board is final and binding on all parties and persons subject only to an appeal upon or questions of jurisdiction or law pursuant Section 688 (1) & (2) of the Municipal Government Act Statutes of Alberta, 1994, Chapter M-26.1, as amended.

An application for leave to appeal to the Appellate Division of the Supreme Court of Alberta shall be made:

- a) to a judge of the Appellate Division, and;
- b) within 30 days after the issue of the order, decision, permit or approval sought to be appeal.



SCHEDULE "A"

CONDITIONS OF APPROVAL FOR: **RELOCATION AND ADDITION TO EXISTING  
SINGLE DETACHED DWELLING**

**REAR YARD & FRONT YARD VARIANCES  
DP 98-495**

LEGAL DESCRIPTION:  
CIVIC ADDRESS:

**LOT 2, BLOCK 45, PLAN 9010589  
801 12th STREET**

APPROVED VARIANCES

Approved pursuant to Land Use Bylaw No. 18 of 1986,

1. Section 37.5.(3)(b) with a variance of 2.36 metres to the minimum required front yard setback to permit a setback of 3.64 metres; and
2. Section 37.5.(5) (a) with a variance of 5.06 metres to the minimum required rear yard setback to permit a setback of 2.44 metres;
3. Section 29.(2) with a variance of 2.39 metres to the maximum permitted encroachment of porch roof and eaves to permit a setback of 1.81 metres.

CONDITIONS OF APPROVAL

1. The proposed relocation and addition to be as shown on the submitted drawings subject to Subdivision & Development Appeal Board Order 98-015 for the requirement of a minimum south side yard setback of 15 metres. Any future additions must be approved by a Development Permit.
2. The completed home to conform to the Plot Plan prepared by Alpine Land Surveys Limited dated August 10, 1998, as submitted with the application, subject to Subdivision & Development Appeal Board Order 98-015 for the requirement of a minimum south side yard setback of 15 metres.
3. The addition is to be finished in materials and colours as submitted with the application, or otherwise as approved by the Development Officer.

Oct 22/98  
DATE SIGNED

Barbara West  
CHAIR  
SUBDIVISION & DEVELOPMENT  
APPEAL BOARD

**Letter of Support from Adjoining Neighbours for Proposed Addition to 1255 7<sup>th</sup> Ave, Canmore**

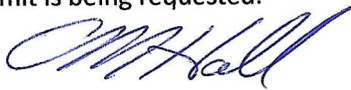
**Property Owner**

Owner: Cameron Hall

Project Address: 1255 7<sup>th</sup> Ave, Canmore AB

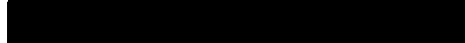
Scope of Work: Addition of one bedroom and an attached accessory dwelling unit with a garage below.

I certify that the plans presented to the neighbour for review are identical to those plans for which a building permit is being requested.

Signature:   
Cameron Hall

Date: 23/10/03

**Adjacent Property Owner**

I CHRIS / BRENDA SEASONS am the legal owner of property located at , which is an adjoining property to the proposed project address. I am aware that the Owner is proposing an addition to their home and that I have reviewed the plans presented to me by the Petitioner for the proposed building permit.

I have no objection to granting my consent for the proposed addition to the home as outlined in the plans for which a building permit is being requested.

Signature:   Brenda Seasons

Date 23/10/03



## John Laurie's Cabin - Proposed Addition, Clarification of Setbacks

1255 7<sup>th</sup> Ave, Canmore

Monday, 29 January 2024

**Provided to:** Cameron and Julia Hall

To Whom it May Concern,

Cameron and Julia Hall (the Halls) would like to make an application to build an addition to their home, John Laurie's Cabin, on 7<sup>th</sup> Avenue beside the pond.

### History

The cabin was built in 1957 by the Stoney Nakoda to honour the advocacy work of John Lee Laurie and for his cofounding of the Indian Association of Alberta. His work was so important to the first nations that after his death in 1961 the Stoney Nakoda requested to officially rename Mount Yamnuska to Mount John Laurie. While the mountain renaming hasn't stuck his name lives on in the Calgary boulevard. The cabin was moved a small distance on the property in 1997 preserving the original cabin and creating a sympathetic addition.

### Background

During that SDAB approval process it was agreed that the south – rearyard setback – would be adjusted to 15m to ensure the privacy of the neighbour at 1251 7<sup>th</sup> Ave. For this reason, the building envelope is significantly smaller than a typical Canmore lot and the Halls would like to request a clarification on the configuration of setbacks to allow them to provide an attached accessory dwelling unit and additional bedroom.

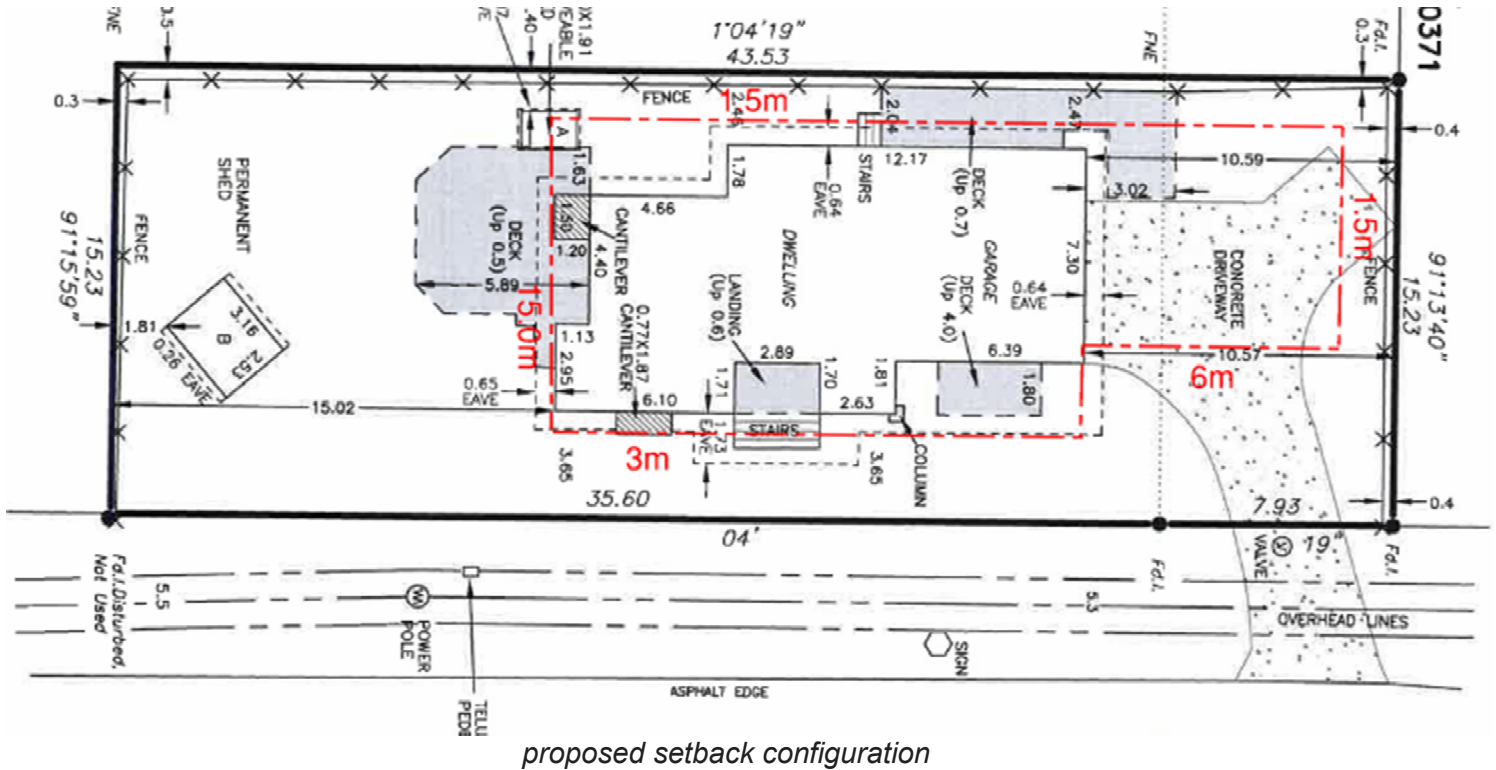
### Future

The cabin currently has 2 bedrooms, see attached drawings of existing home, the Halls would like to propose an addition that would add an attached accessory dwelling unit and additional bedroom. This would create a more functional home and an additional dwelling unit while allowing the historic cabin to be preserved for future generations. We have attached design drawings showing the proposed layout and would like to draw your attention to the proposed setback configuration.

Cont.

### Determination of Setbacks

Due to the existing location of the historic property on the lot, the previous SDAB agreement and the lack of a rear lane access we would like to propose a partial 3m avenue setback and a 6m front setback along 7<sup>th</sup> Avenue in the location of the addition. A turning area would be provided to allow vehicles to exit and entry the property and 7<sup>th</sup> Avenue going forward.



The property to the north at 1267 7<sup>th</sup> Ave has a similar configuration along 7<sup>th</sup> Avenue and has a 1.5m side yard setback on the adjoining property line which we would also like to utilise. The attached design drawings and marked up RPR show the configuration that would be required to allow an addition and ADU to be built.

In addition, to further reduce their impact on both adjacent neighbours the Halls have proposed a garage that is large enough for 2 cars but is 2.5m from the west sideyard property line to match the existing dwelling and 2.8m from the north property line to ensure no overshadowing.

In addition to the drawings, we have also included accompanying letters of support from our adjacent neighbours Richard LaHaie and Sue Anderson at 1251 7<sup>th</sup> Ave and Chris and Brenda Seasons 1267 7<sup>th</sup> Ave.

Can you please confirm this is an acceptable solution and that a Development Permit will either be approved or not be required.

Yours truly,

Alasdair Russell B. Des. (hons), M. Des.  
for **russell and russell design studios**



# Town of Canmore Tree Protection Plan Agreement

Town of Canmore  
Parks Department  
100 Glacier Drive  
Canmore, AB T1W 1K8

Date of Application:	Agreement # (office use only):	Approval Date:
Address of Permitted Work:		

Permit Type	Permit #	Town of Canmore Contact for Permit

Applicant Name:	Company Name( if applicable):
-----------------	-------------------------------

Mailing Address:
------------------

Applicant Phone:	Applicant Email:	Relationship to Legal Land Owner:
------------------	------------------	-----------------------------------

	Self
--	------

<b>If you are not the Legal Land Owner:</b>	Authorized Representative
---	---------------------------

Legal Land Owner Name:	
------------------------	--

Legal Land Owner Phone #:	
---------------------------	--

Legal Land Owner Email:	
-------------------------	--

**This application is being made to request the following(check all that apply):**

Tree Protection Plan for Identified  
Town Tree(s)

Request Permission to Remove  
Town Tree(s)

Request Permission to Prune or Relocate  
Town Tree(s)

	Tree Species / Type	Height Evergreen or DBH - Deciduous	Action Requested	Appraised Value \$	<u>Office Use Only</u> Recommendation details Approved or Denied
Tree #1					
Tree #2					
Tree #3					
Tree #4					
Tree #5					
Tree #6					
Tree #7					
Tree #8					
Tree #9					
Tree #10					

For Office Use Only	Name of Inspector	Site Visits #	Date	# of Trees	Comments



# Town of Canmore Tree Protection Plan Agreement

Town of Canmore  
Parks Department  
100 Glacier Drive  
Canmore, AB T1W 1K8

Date of Application:	Agreement # (office use only):	Approval Date:
Address of Permitted Work:		

Permit Type	Permit #	Town of Canmore Contact for Permit

Applicant Name:	Company Name( if applicable):
-----------------	-------------------------------

Mailing Address:
------------------

Applicant Phone:	Applicant Email:	<b>Relationship to Legal Land Owner:</b>
------------------	------------------	--

	Self
--	------

<b>If you are not the Legal Land Owner:</b>	Authorized Representative
---	---------------------------

Legal Land Owner Name:	
------------------------	--

Legal Land Owner Phone #:	
---------------------------	--

Legal Land Owner Email:	
-------------------------	--

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Tree Protection Plan for Identified  
Town Tree(s)

Request Permission to Remove  
Town Tree(s)

Request Permission to Prune or Relocate  
Town Tree(s)

	Tree Species / Type	Height Evergreen or DBH - Deciduous	Action Requested	Appraised Value \$	<u>Office Use Only</u> Recommendation details Approved or Denied
Tree #11					
Tree #12					
Tree #13					
Tree #14					
Tree #15					
Tree #16					
Tree #17					
Tree #18					
Tree #19					
Tree #20					

For Office Use Only	Name of Inspector	Site Visits #	Date	# of Trees	Comments



# Town of Canmore Tree Protection Plan Agreement

Town of Canmore  
Parks Department  
100 Glacier Drive  
Canmore, AB T1W 1K8

Date of Application:	Agreement # (office use only):	Approval Date:
Address of Permitted Work:		

Permit Type	Permit #	Town of Canmore Contact for Permit

Applicant Name:	Company Name( if applicable):
-----------------	-------------------------------

Mailing Address:
------------------

Applicant Phone:	Applicant Email:	Relationship to Legal Land Owner:
------------------	------------------	-----------------------------------

	Self
--	------

	Authorized Representative
--	---------------------------

	Contractor
--	------------

--	--

Legal Land Owner Name:	
------------------------	--

Legal Land Owner Phone #:	
---------------------------	--

Legal Land Owner Email:	
-------------------------	--

**This application is being made to request the following(check all that apply):**

Tree Protection Plan for Identified  
Town Tree(s)

Request Permission to Remove  
Town Tree(s)

Request Permission to Prune or Relocate  
Town Tree(s)

	Tree Species / Type	Height Evergreen or DBH - Deciduous	Action Requested	Appraised Value \$	<u>Office Use Only</u> Recommendation details Approved or Denied
Tree #21					
Tree #22					
Tree #23					
Tree #24					

## TOTAL 24 Trees

For Office Use Only	Name of Inspector	Site Visits #	Date	# of Trees	Comments

Reason for Tree Removal, Relocation, Or Pruning:

Alternatives or modifications considered prior to applying for tree removal, pruning or relocate:

**Please confirm the following has been done prior to submitting your agreement application:**

- A copy of the Legal Land Survey inclusive of all items requiring identification as set out in the Tree Protection Plan Guide
- Property lines identified in the Legal Land Survey are identified have been staked on the property in prepration of site visits
- Attach the proposed Tree Protection Plan identifying all required Tree Protection Zones and requierd Tree Protection Barriers as required by the Tree Proetction Plan Guide
- Trunk Formula Technique (10th Edition, 2nd Revision) Valuation for each identified tree
- Agree to allow the Town to attach Tree Protection Signange to every Tree Protection Barrier for the duration of permit
- This completed and signed Tree Protection Plan Application

By signing this agreement as the applicant, I, \_\_\_\_\_, acknowledge and understand that I will adhere to the Tree Protection Plan set out in this agreement, the agreement cannot be modified without prior approval, and I will operate in accordance to the Town of Canmore Tree Protection Bylaw 2019-10.

Applicant Name:	Applicant Signature:	Date Signed:
Land Owner Name:	Land Owner Signature:	Date Signed:

For Office Use Only		
Permit Approved	Permit Denied	Permit Modified <small>(attach required documents/emails)</small>
Town of Canmore Application Decision Justification:		
Name & Position	Signature:	Date Signed:

**Please email inquires and completed Tree Protection Plan Agreement & corresponding documents to [parks@canmore.ca](mailto:parks@canmore.ca)**



Reason for Tree Removal, Relocation, Or Pruning:

No removal, relocation or pruning.

Alternatives or modifications considered prior to applying for tree removal, pruning or relocate:

Empty box for alternatives or modifications.

**Please confirm the following has been done prior to submitting your agreement application:**

- A copy of the Legal Land Survey inclusive of all items requiring identification as set out in the Tree Protection Plan Guide
- Property lines identified in the Legal Land Survey are identified have been staked on the property in preparation of site visits
- Attach the proposed Tree Protection Plan identifying all required Tree Protection Zones and required Tree Protection Barriers as required by the Tree Protection Plan Guide
- Trunk Formula Technique (10th Edition, 2nd Revision) Valuation for each identified tree
- Agree to allow the Town to attach Tree Protection Signage to every Tree Protection Barrier for the duration of permit
- This completed and signed Tree Protection Plan Application

By signing this agreement as the applicant, I, alsadair russell, acknowledge and understand that I will adhere to the Tree Protection Plan set out in this agreement, the agreement cannot be modified without prior approval, and I will operate in accordance to the Town of Canmore Tree Protection Bylaw 2019-10.

Applicant Name: alsadair russell	Applicant Signature: alsadair russell <small>Digitally signed by alsadair russell Date: 2024.02.01 15:24:28 -07'00'</small>	Date Signed: 24-02-01
Land Owner Name: cameron hall	Land Owner Signature: <i>Cameron Hall</i>	Date Signed: 24-02-01

For Office Use Only		
Permit Approved <input type="checkbox"/>	Permit Denied <input type="checkbox"/>	Permit Modified <input type="checkbox"/> <small>(attach required documents/emails)</small>
Town of Canmore Application Decision Justification:		
Name & Position	Signature:	Date Signed:

Please email inquires and completed Tree Protection Plan Agreement & corresponding documents to parks@canmore.ca



1255



1255













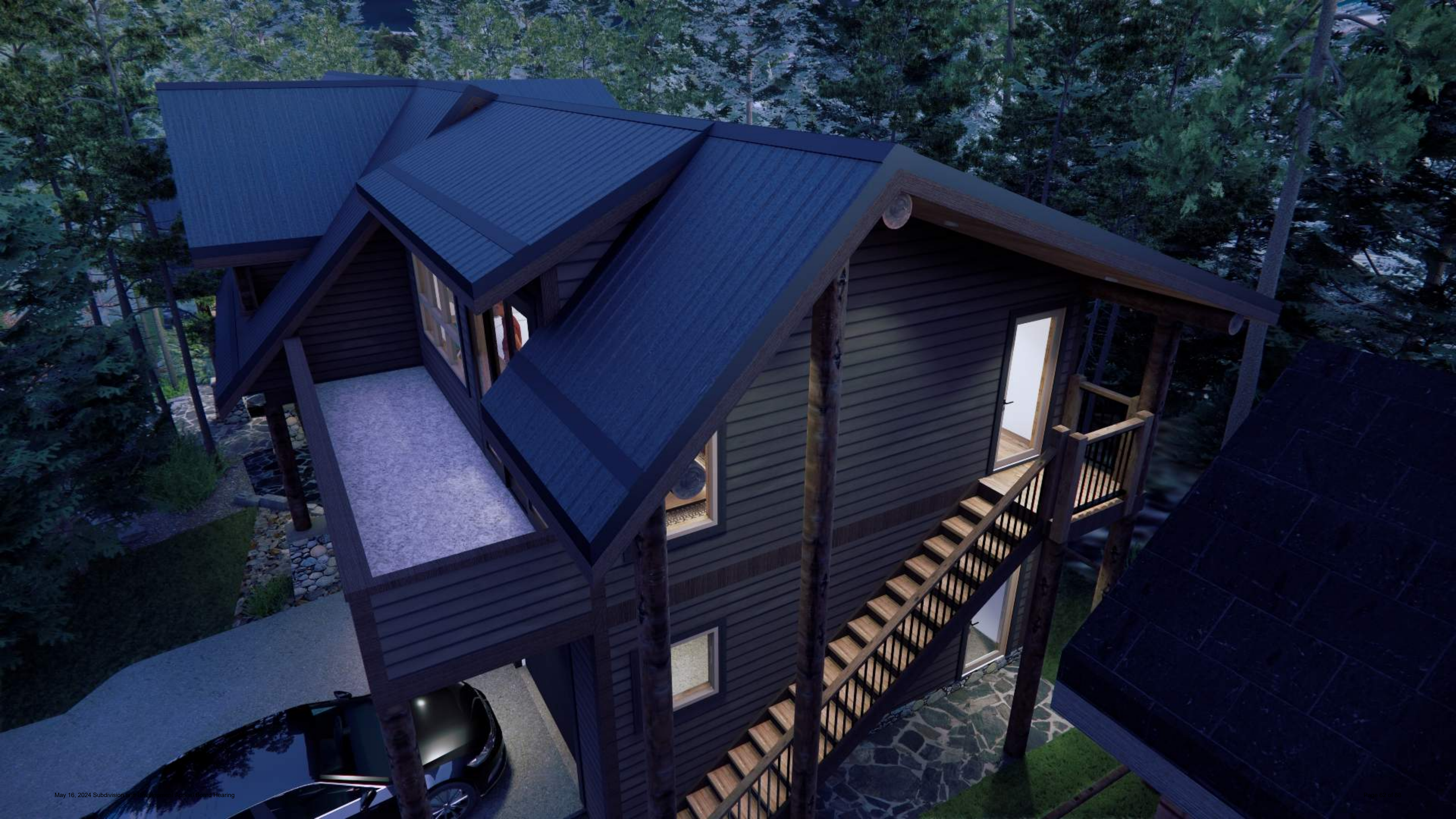












































**ATTACHMENT 2 – SITE CONTEXT**



*View from above*



*View from 7<sup>th</sup> Avenue, facing North*



View of Side Yard, facing South



View from 7<sup>th</sup> Avenue, facing South

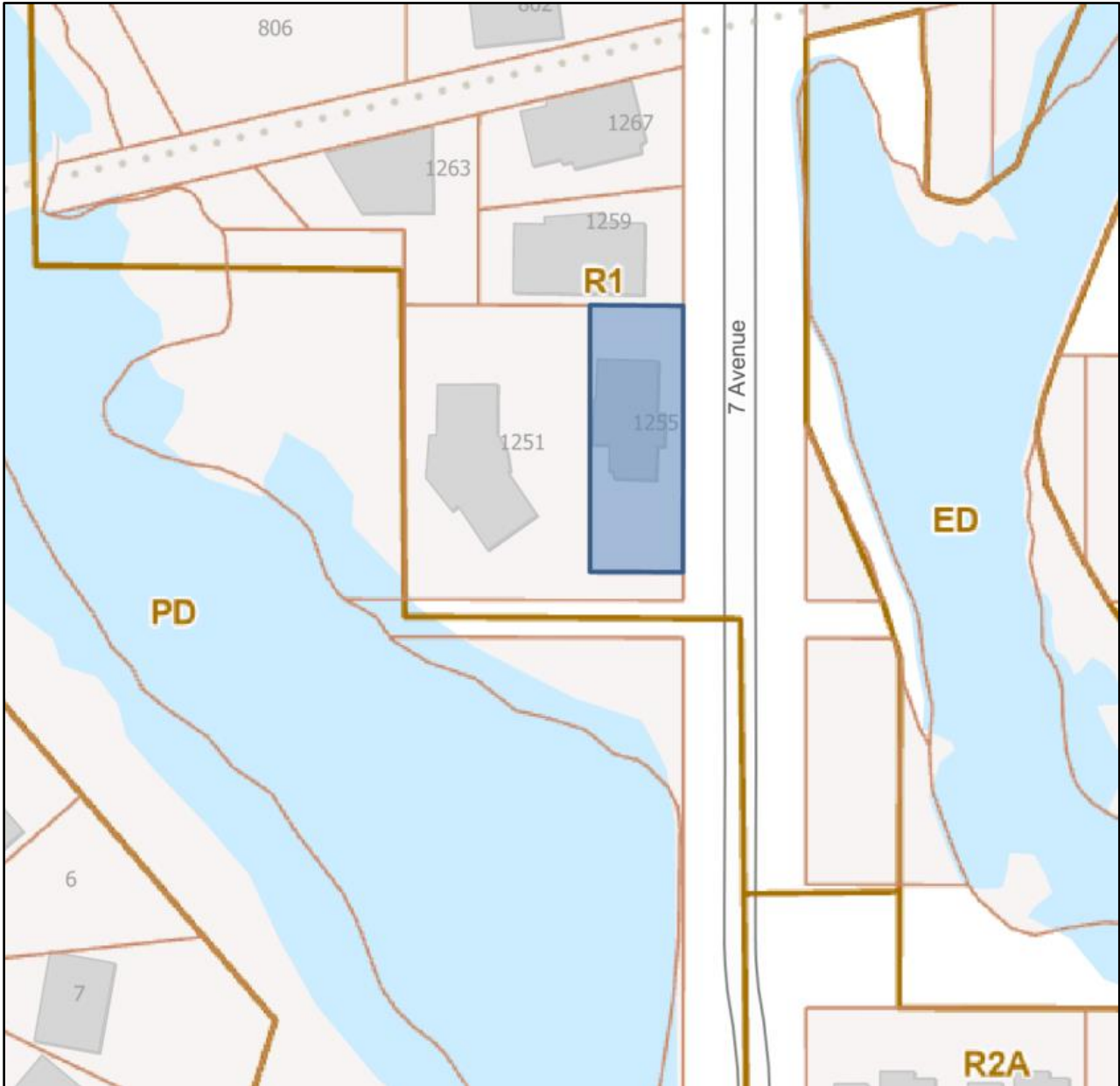


View of Front Yard, facing West



View from 7<sup>th</sup> Avenue, facing West

**ATTACHMENT 3 – LAND USE DISTRICT MAP**



*1255 7<sup>th</sup> Ave highlighted in blue, above. The subject site is located in the R1 – Residential Detached District.*



**ATTACHMENT 4 - BYLAW CONFORMANCE REVIEW**

<b>REQUIREMENT</b>	<b>BYLAW 2018-22</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
FRONT YARD SETBACK (EAST)	6M	6.06M FOR PROPOSED ADDITION 3.65M FOR EXISTING STRUCTURE	<b>No</b>
SIDE YARD SETBACK (NORTH)	1.5 M	2.81M	<b>No</b>
SIDE YARD SETBACK (SOUTH)	1.5M	(EXISTING) 15M	<b>No</b>
REAR YARD SETBACK (WEST)	7.5 M	2.47M	<b>YES (5.03M OR 67%)</b>
MAX BUILDING HEIGHT	19.10M	18.34M	<b>No</b>
SITE COVERAGE	40%	31.66%	<b>No</b>
ADU GROSS FLOOR AREA	LESSER OF EITHER 80M2 OR 84.642	52.1M2	<b>No</b>
FRONT YARD LANDSCAPING	MINIMUM 40% OF FRONT YARD LANDSCAPED (ADU REQUIREMENT)	100.63M2 77%	<b>No</b>
NUMBER OF DRIVEWAYS	1	1	<b>No</b>
MINIMUM USEABLE LENGTH OF DRIVEWAY	6M	6.05M	<b>No</b>
PARKING REQUIREMENTS MOTOR VEHICLES & BICYCLES	MOTOR VEHICLE FOR THE PRINCIPAL DWELLING: 2 MOTOR VEHICLE FOR THE ADU: 1	MOTOR VEHICLE FOR THE PRINCIPAL DWELLING: 2 MOTOR VEHICLE ADU: 1	<b>No</b>

	LONG-TERM BICYCLE PARKING FOR THE PRINCIPAL DWELLING: N/A LONG-TERM BICYCLE PARKING FOR THE ADU: 2	LONG-TERM BICYCLE PARKING FOR THE PRINCIPAL DWELLING N/A LONG-TERM BICYCLE PARKING FOR THE ADU: 2	<b>No</b>
BUILDING PROJECTIONS (FOR PROPOSED ADDITION ONLY)	FRONT (EAST) DECK: 2M EAVE: 0.61M	DECK: 1.98M EAVE: APPROXIMATELY 0.61M	<b>No</b>
	SIDE (NORTH) EAVE: 0.61M	STAIRS: DOES NOT PROJECT INTO SETBACK LANDING: DOES NOT PROJECT INTO SETBACK EAVE: APPROXIMATELY 0.57M	<b>No</b>
	REAR (WEST) DECK: 0.61M	DECK: 0.61M	<b>No</b>
WATERBODY SETBACK	20M	20M	<b>No</b>
FIRESMART PERIMETER	1.5M NON-COMBUSTIBLE PERIMETER AROUND THE PROPOSED DEVELOPMENT	PROPOSED 1.5M NON-COMBUSTIBLE PERIMETER AROUND THE PROPOSED DEVELOPMENT (COMPLIES)	<b>No</b>



# SCHEDULE A

## CONDITIONS OF APPROVAL

**DEVELOPMENT PERMIT No.:** PL20240043

**LAND USE DISTRICT:** R1 – Residential Detached District

**APPROVED USE(S):** Addition with an Accessory Dwelling Unit, Attached

**APPROVED VARIANCE(S):** Rear Yard Setback

**MUNICIPAL ADDRESS:** 1255 7<sup>th</sup> Avenue

**LEGAL ADDRESS:** Lot: 2      Block: 45      Plan: 9010589

### APPROVED VARIANCES

1. To section 3.1.3.7 of the Land Use Bylaw, to allow for a 2.47m rear yard setback, instead of the required 7.5m setback.

### STANDARD CONDITIONS

1. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
2. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
3. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore’s Public Works Department.
4. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
5. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
6. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.



## Planning & Development Department

Town of Canmore  
902 - 7th Avenue  
Canmore, AB, T1W 3K1  
[www.canmore.ca](http://www.canmore.ca)

### SPECIFIC CONDITIONS

1. Prior to release of the Development Permit, the applicant shall submit a revised Plot Plan for the Development Officer's approval, showing alignment with the architectural plans regarding the roof eave measurements (eave shall not project more than 2 feet or 0.61m into a required yard).
2. The applicant shall be required to replace the wastewater and sanitary services, per the EDCG, to the satisfaction of the Engineering Department.

### ADVISORY COMMENTS

1. It is the applicant's responsibility to ensure that Building Permit applications and construction are entirely consistent with the approved Development Permit plans. The Town does not review Building Permit applications for consistency with the Development Permit. In the event of any conflict between the Development Permit and the Building Permit approvals, the Development Permit shall take precedence.

---

Signature  
Chairperson, Subdivision and Appeal Board

---

Date

IS A NOTICE POSTING REQUIRED:       YES       NO

**SUBDIVISION & DEVELOPMENT APPEAL BOARD ORDER**

**APPEAL NO.: 98-15  
DP98-495**

ORDER OF THE SUBDIVISION & DEVELOPMENT APPEAL BOARD OF THE TOWN OF CANMORE, IN THE PROVINCE OF ALBERTA, dated **20 OCTOBER 1998**;

(Board Members Hearing the Appeal: Ms. Barbara West, Mr. Robert Falconer, Mr. Fred Peterson, Mr. John McIsaac)

AND IN THE MATTER of the Municipal Government Act Revised Statutes of Alberta, 1994, Chapter M-26.1, as amended;

AND IN THE MATTER of an appeal by the appellant against the APPROVAL by the Development Officer for an Addition/Renovation to Single Family Dwelling on Lot 2, Block 45, Plan 9010589, 801 12th Street;

This appeal hearing having been duly opened before the Subdivision & Development Appeal Board on the 13th day of October 1998, in the presence of Mr. Richard Kasper the appellant, Mr. & Mrs. Silver the applicants and in the presence of the Development Officer of the Town of Canmore;

AND UPON reviewing an oral submission from Mr. Richard Kasper the appellant, Mr. & Mrs. Silver the applicant and the Development Officer;

AND UPON having regard to the Town of Canmore Land Use Bylaw No. 18 of 1986, as amended, the Municipal Government Act, Revised Statutes of Alberta 1994, Chapter M-26.1, as amended and other relevant planning documents;

**FINDINGS OF FACT:**

1. The property is zoned Residential Single Detached District (R-1)
2. Road closure of a portion of 12th Street west of 7th Avenue, resulted in the subject lot having its frontage changed from the former 12th Street to 7th Avenue.
3. The Board was empathetic to the fact that this is the site of the John Laurie cabin built for him by the Stoney Indians. It was decided that while it would be desirable to keep the cabin in its present form, the number of changes to the original cabin would likely make it ineligible under the Province's Historical Resource Act.

**DECISION:**

**THE BOARD THEREFORE ORDERS THAT:**

That the appeal be DENIED and that Development Application DP98-495 for an Addition/Renovation to Single Family Dwelling on Lot 2, Block 45, Plan 9010589, 801 12th Street be APPROVED subject to the conditions of Schedule "A" and including an additional condition to require a minimum south side yard setback of 15 meters to mitigate the negative impact and enjoyment of the neighbourhood ;

**REASONS FOR DECISION:**

1. In the opinion of the Board the development would not:
  - (i) unduly interfere with the amenities of the neighbourhood,  
and
  - (ii) materially interfere with or affect the use, enjoyment or value of neighboring properties.

Oct 22/98  
**DATE SIGNED**

Barbara J West Barbara West  
**CHAIR  
SUBDIVISION & DEVELOPMENT  
APPEAL BOARD**

A decision of the Development Appeal Board is final and binding on all parties and persons subject only to an appeal upon or questions of jurisdiction or law pursuant Section 688 (1) & (2) of the Municipal Government Act Statutes of Alberta, 1994, Chapter M-26.1, as amended.

An application for leave to appeal to the Appellate Division of the Supreme Court of Alberta shall be made:

- a) to a judge of the Appellant Division, and;
- b) within 30 days after the issue of the order, decision, permit or approval sought to be appeal.

SCHEDULE "A"

CONDITIONS OF APPROVAL FOR: **RELOCATION AND ADDITION TO EXISTING SINGLE DETACHED DWELLING**

**REAR YARD & FRONT YARD VARIANCES  
DP 98-495**

LEGAL DESCRIPTION: **LOT 2, BLOCK 45, PLAN 9010589**  
CIVIC ADDRESS: **801 12th STREET**

APPROVED VARIANCES

Approved pursuant to Land Use Bylaw No. 18 of 1986,

1. Section 37.5.(3)(b) with a variance of 2.36 metres to the minimum required front yard setback to permit a setback of 3.64 metres; and
2. Section 37.5.(5) (a) with a variance of 5.06 metres to the minimum required rear yard setback to permit a setback of 2.44 metres;
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CONDITIONS OF APPROVAL

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2. The completed home to conform to the Plot Plan prepared by Alpine Land Surveys Limited dated August 10, 1998, as submitted with the application, subject to Subdivision & Development Appeal Board Order 98-015 for the requirement of a minimum south side yard setback of 15 meters.
3. The addition is to be finished in materials and colours as submitted with the application, or otherwise as approved by the Development Officer.

Oct 22 / 98  
DATE SIGNED

Barbara West Barbara West  
CHAIR  
SUBDIVISION & DEVELOPMENT  
APPEAL BOARD

**Letter of Support from Neighbours for Proposed Addition to 1255 7<sup>th</sup> Ave, Canmore**

**Property Owner**

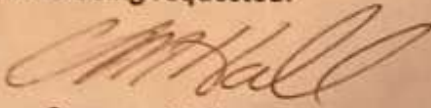
Owner: Cameron Hall

Project Address: 1255 7<sup>th</sup> Ave, Canmore AB

Scope of Work: Addition of one bedroom and an attached accessory dwelling unit with a garage below.

I certify that the plans presented to the neighbour for review are identical to those plans for which a building permit is being requested.

Signature:



Cameron Hall

Date:

Oct 12, 2023

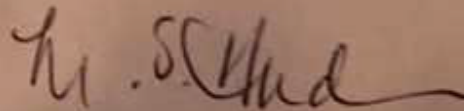
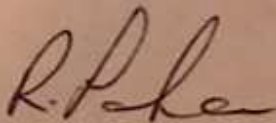
**Property Owner**

RICHARD LAHAIE &  
M. SUSAN ANDERSON

\_\_\_\_\_, am the legal owner of property located at \_\_\_\_\_, which is a property that neighbours the proposed project address. I am aware that the Owner is proposing an addition to their home and that I have reviewed the plans presented to me by the Petitioner for the proposed building permit.

I have no objection to granting my consent for the proposed addition to the home as outlined in the plans for which a building permit is being requested.

Signature:



Date

OCTOBER 12, 2023