

Request for Quotation (RFQ) FOR ELEVATION PLACE VENTILATION ENHANCEMENTS (Rooms 207, 208, 209A/B and 214)

SUMMARY:

The Town of Canmore is issuing this Request for Quotation (RFQ) to select a Heating, Ventilation, Air Conditioning (HVAC) service provider to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214, at Elevation Place.

REFERENCE NUMBER:	CAP 7291
CLOSING DATE:	Thursday August 01, 2024
CLOSING TIME:	14:00:00 Mountain Time Zone
DATE ISSUED:	July 11, 2024
NOTE:	RESPONSES WILL NOT BE OPENED PUBLICLY



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1.0 INSTRUCTIONS FOR RESPONDING TO THIS REQUEST FOR QUOTATION (RFQ)

- 1.1.1 Closing Date and Time: Quotations must be received not later than 14:00:00 hours Mountain Time Zone (Canmore local time) on Thursday August 01, 2024
- **1.1.2** Proponents shall submit their quotation to the Town of Canmore by email to the attention of Mike Ford, Facilities Project Manager at <u>mike.ford@canmore.ca</u>. The quotation document is to be in PDF format only (.pdf) and all components shall be formatted and combined into one file that is attached to the email submission. Responses by facsimile will not be accepted.

1.1.3 RFQ Contact Person:

For clarification or additional information, Proponents shall **only** contact the person listed below.

Mike Ford, Facilities Project Manager

Email - mike.ford@canmore.ca

See Section 2.6 below for additional information for Questions and Clarifications.

- **1.1.4** The Town of Canmore may in its sole discretion disqualify responses that do not meet the formatting and other criteria set out in Section 4.0 of this RFQ.
- **1.1.5** Responses must be in English.
- **1.1.6** Quotations shall be stated in Canadian dollars with Goods and Services Tax (GST) extra.
- **1.1.7** Each Proponent is solely responsible for ensuring that its response is received at the specified address (physical address or email address) by the specified closing date and time. Strict adherence to the closing date and time will be maintained, and unless the deadline date is extended by issue of Addendum, all responses received after this time and date will be returned unopened.

END OF SECTION 1.0



2.0 GENERAL CONDITIONS OF RESPONSE

2.1 PURPOSE OF THE REQUEST FOR QUOTATION (RFQ)

The Town of Canmore is issuing this Request for Quotation (RFQ) to select a Heating, Ventilation, Air Conditioning (HVAC) service provider to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214, at Elevation Place.

The Town of Canmore reserves the right to modify the terms or cancel the RFQ process at any time.

2.2 SUBMISSION OF RESPONSE TO THE RFQ

- **2.2.1** By submitting a response to this RFQ, each Proponent accepts its terms and conditions. In addition, by submitting its response each Proponent waives all claims, rights, demands and the benefit of any provisions of any statute, rule of law or regulation that might adversely affect the rights of the Town of Canmore under this RFQ.
- **2.2.2** Each Proponent shall make full disclosure of any actual or potential conflict of interest arising from any existing business or personal relationships with any of the following (each, a "Conflicted Person"): (i) any employee of the Town of Canmore; (ii) any member of the Town of Canmore Town Council (councillor); (ii) any board or committee member; (iv) any family member of any such employee, councillor or board/committee member; or (v) any business entity controlled by or otherwise not at arm's length to any one or more of any such employee, councillor, board/committee member.

Without limiting the foregoing, details should be provided of any direct or indirect pecuniary interest of any Conflicted Person in the supply of the services contemplated by this RFQ.

Disclosure of any such actual or potential conflict of interest shall be made in writing with the Proponent's response.

- **2.2.3** This RFQ and any contracts subsequently entered into as a result hereof shall be governed by the laws of the Province of Alberta and the laws of Canada applicable therein. The courts of the Province of Alberta shall have exclusive jurisdiction over this RFQ and any contracts entered into as a result hereof.
- **2.2.4** Quotation documents must be completed in accordance with the requirements of the RFQ documents and no amendment or change to quotations will be accepted after the closing date and time.
- **2.2.5** All documents submitted by Proponents in response to this RFQ are to remain the property of the Town of Canmore.
- **2.2.6** Quotations shall be irrevocable for sixty (60) days following the closing of the RFQ and the quotations shall be retained by the Town of Canmore.
- **2.2.7** Quotations shall be signed by an authorized signatory of the Proponent using the Signature and Waiver Sheet in Section 5.0. If the Proponent is an incorporated company, the corporate seal of the Proponent shall be affixed or a certified true copy of a resolution of the corporation naming the person(s) in question as authorized to sign agreements on behalf of the corporation shall be attached to the quotation. Proponents who are sole proprietorships or partners shall sign their RFQ response in such a way as to irrevocably bind the Proponent in an authorized manner.



2.3 NO COMMITMENT

2.3.1 No commitment on the part of the Town of Canmore shall exist under this RFQ unless and until the Proponent receives official written confirmation from the Town of Canmore that it has been selected to complete the work.

2.4 LIMITATION OF LIABILITY

2.4.1 The Town of Canmore will have no liability to any person or entity for any damages, including, without limitation, direct, indirect, special or punitive damages, arising out of or otherwise relating to this RFQ, the Proponent's participation in this RFQ process or the Town of Canmore's acts or omissions in connection with the conduct of this RFQ process. This limitation applies to all possible claims by a Proponent, whether arising in contract, tort, equity, or otherwise, including, without limitation, any claim for a breach by the Town of Canmore of a duty of fairness or relating to a failure by the Town of Canmore to comply with the terms set forth in this RFQ.

2.5 ACCEPTANCE OR REJECTION

- **2.5.1** The Town of Canmore reserves the right to reject any or all responses. Without limiting the generality of the foregoing, the Town of Canmore may reject any response which it deems:
 - a) is incomplete, obscure, irregular, unrealistic or noncompliant.
 - b) has erasures, ambiguities, inconsistency, or corrections; or
 - c) fails to complete, or provide any information required by, any provision of this RFQ.

Further, a response may be rejected on the basis of the Town of Canmore's understanding of the Proponent's past record of work, its general reputation, its financial capabilities, the completion schedule or a failure to comply with any applicable law.

The purpose of the Town of Canmore is to obtain the most suitable responses to the Project and to further the interests of the Town of Canmore and what it wishes to accomplish in carrying out the Project. Therefore, the Town of Canmore has the right to waive any irregularity or insufficiency or non-compliance in any response submitted and to accept the response or responses which it deems most favourable to its interests or to reject all responses and cancel the RFQ.

In addition to any rights identified elsewhere in this RFQ, the Town of Canmore reserves the right to:

- a) reject any and all responses;
- b) add, delete or change the terms of this RFQ at any time prior to the specified closing date and time;
- c) during the evaluation period, seek clarification of any Proponent's response, including consequential amendments, or any additional information from any Proponent;
- d) accept or reject, in whole or in part, any response without giving any reason;
- e) have any documents submitted by the Proponent reviewed and evaluated by any party, including independent Consultants;
- f) cancel the RFQ process without penalty at any time for any reason; and
- g) negotiate and enter into an agreement with any Proponent notwithstanding any noncompliance by the Proponent's response with any requirement of this RFQ.

The Town of Canmore is the sole and final judge with respect to the selection of any Successful Proponent as a result of this RFQ process.



All Proponents submitting a response to this RFQ will be advised of the results of the RFQ process by email or regular mail. Please allow at least three weeks for responses to be evaluated by the Town of Canmore.

2.6 QUESTIONS AND CLARIFICATIONS

- **2.6.1** Procedural or technical questions shall be submitted in writing and should include references to a specific section and item number.
- **2.6.2** Dependent upon their nature, comments or answers will be returned via email or through an addendum should the information be applicable to all Proponents.
- **2.6.3** Amendments to this RFQ will be valid and effective only if confirmed by written addenda. Addenda may be issued during the response period. All addenda become part of the agreement and receipt must be confirmed in the Proponent's submission.
- **2.6.4** Any addenda documents will be issued by the same method that this RFQ was issued.
- **2.6.5** It is the Proponent's responsibility to clarify the interpretation of any item of this RFQ a minimum of 72 hours prior to the stated closing date and time by contacting the Town of Canmore's designate (as above).

2.7 DISCREPANCIES IN NUMBERS

- **2.7.1** In the event of a numerical discrepancy or error in a quotation, the written number will prevail.
- **2.7.2** In the event of pricing extension errors, the unit price will apply.

2.8 CONFIDENTIALITY AND FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

- 2.8.1 All information including, without limitation, any technology of a proprietary or novel nature which is disclosed to a Proponent by the Town of Canmore or a third party as a representative of the Town of Canmore (which information, in addition to the confidentiality requirements hereunder, will be kept confidential by the Proponent in accordance with the terms of its disclosure by such third party) or which is otherwise obtained by the Proponent in connection with this RFQ process. other than that which is common knowledge or within the public domain, is the confidential property of the Town of Canmore and must not be disclosed by the Proponent, except to duly authorized representatives of the Town of Canmore. Such confidential information or property is not to be employed other than in connection with responding to this RFQ unless otherwise duly authorized by the Town of Canmore in writing. These confidentiality provisions will remain binding obligations on each Proponent following the conclusion of this RFQ process until the Town of Canmore reasonably determines that such confidential information referred to herein has become part of the public domain (other than by disclosure or use prohibited herein) and releases the Proponent from its confidentiality obligation. This requirement does not prohibit any Proponent from complying with an order to provide information or data issued by a court or other authority with proper jurisdiction or to act to correct or report a situation which the Proponent may reasonably believe to endanger the safety or welfare of the public.
- **2.8.2** The applicant acknowledges that any information or documents provided by it to the Town of Canmore may be released pursuant to the provisions of the *Freedom of Information and Protection of Privacy Act*. This acknowledgement shall not be construed as a waiver of any right to object to the release of any information or documents.
- 2.8.3 The Town of Canmore acknowledges that a Proponent's response may contain information in the

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nature of a Proponent's trade secrets or commercial, financial, labour relations, scientific or technical information of or about a Proponent. The Town of Canmore agrees that portions of responses to this RFQ which are provided in confidence will be protected from disclosure to the extent permitted by law. The Town of Canmore is bound by the *Freedom of Information and Protection of Privacy Act* (Alberta), as amended from time to time, and all documents submitted to the Town of Canmore will be subject thereto. Each Proponent must identify appropriate parts of its response or other documents submitted to the Town of Canmore as confidential and specify what harm could reasonably be expected from its disclosure; however, the Town of Canmore may not be able to ensure that such parts will not be protected from access.

2.8.4 Proponents are advised that the Town of Canmore will, as necessary, be disclosing the responses on a confidential basis to its employees and advisors who have a need to know in connection with this RFQ process for, among other things, the purpose of evaluating and participating in the evaluation of the responses. It is the responsibility of each Proponent to ensure that all personal information provided to the Town of Canmore with respect to the Proponent's personnel and their experience is supplied with the informed consent of such individuals and in accordance with applicable law. By submitting any personal information each Proponent represents and warrants that it has obtained the informed consent of the individuals who are the subject of such information to its collection, use and disclosure for purposes of this RFQ response. Also, such individuals are agreeing to the use of such information as part of the RFQ evaluation process, for any audit of the procurement process and for contract management and performance purposes.

2.9 COST OF PREPARATION

2.9.1 Any cost incurred by the Proponent in the preparation of its response to this RFQ shall be borne solely by the Proponent.

2.10 OWNERSHIP OF SUBMISSIONS

- **2.10.1** All responses submitted to the Town of Canmore become the property of the Town of Canmore and shall not be returned. They will be received and held in confidence by the Town of Canmore, subject to the provisions of the *Freedom of Information and Protection of Privacy Act*.
- **2.10.2** Unsuccessful Proponent submissions will be kept as record for the procurement process until two years after the date of decision for the RFQ award.

2.11 CLARIFICATION FROM PROPONENTS

2.11.1 The Town of Canmore reserves the right to seek from any/all Proponents any further clarification it may require on responses submitted pursuant to this RFQ.

2.12 PROPONENT PERFORMANCE

2.12.1 The selected Proponent may be evaluated throughout the course of service delivery in connection with any specific work or projects undertaken as a result of any agreement entered into between any Proponent and the Town of Canmore. The Town of Canmore may also conduct periodic reviews/assessments of any selected Proponent, taking into consideration, in addition to specific work related to the project undertaken by the Proponent, ongoing Proponent staff qualifications, experience, training, and staff changes. Any evaluation/assessment will be shared with the Proponent, with the goal of immediate and permanent resolution where concerns have been raised. The Town of Canmore reserves the right to remove from the roster any selected Proponent who has been qualified by this RFQ process by way of written notice if, in the sole discretion of the Town of Canmore, based on any on-going or specific evaluation or assessment of the Proponent or its performance of any work, it is deemed to be in the Town of Canmore's



best interests.

2.13 FORM OF CONTRACT

2.13.1 The Town of Canmore will be issuing a letter of award to the Successful Proponent to deliver the work described within this RFQ.

2.14 NON-ASSIGNMENT

2.14.1 Neither the contract nor any work to be performed under the contract or any part hereof may be assigned by the Successful Proponent without the prior written consent of the Town of Canmore. Such written consent, however, shall not under any circumstances relieve the Successful Proponent of its liabilities and obligations under the Contract and the granting of such consent shall be within the sole and unfettered discretion of the Town of Canmore.

2.15 DEPOSITS

2.15.1 The Town of Canmore will not consider the payment of a deposit to the Successful Proponent for the scope of work in this RFQ.

2.16 TERMS OF PAYMENT

2.16.1 Invoices will be paid within 28 days from the approval date of the invoice.

2.17 INSURANCE AND WORKERS' COMPENSATION BOARD REQUIREMENTS

2.17.1 Mandatory Eligibility Requirements

As a mandatory eligibility requirement for response to this RFQ:

- **2.17.2** The Successful Proponent shall carry at all times during the performance of the work General Liability/ Umbrella Liability Insurance with a limit of not less than FIVE MILLION DOLLARS (\$5,000,000) inclusive per occurrence for bodily injury (including death) and damage to property including loss of use thereof. Such insurance shall at a minimum include coverage of broad form property damage, contractual liability, cross liability, completed operations and product liability, and such other types of insurance as would be carried by a prudent person performing such contract work and as the Town of Canmore may from time to time require.
- **2.17.3** The Successful Proponent shall carry at all times during the performance of the work Automobile Liability Insurance for owned and non-owned automobiles with a limit of not less than TWO MILLION DOLLARS (\$2,000,000) inclusive per occurrence.
 - (a) The Successful Proponent shall at all relevant times carry Workers Compensation Board coverage of either of Alberta or of another AWCBC board that will extend the required amount of coverage to cover the employee outside of their home province. Proponents shall submit their WCB number together with a letter from the appropriate department indicating there are no outstanding fees, fines, claims or debts due on the Successful Proponent's account to the Town of Canmore prior to the commencement of the work.
- 2.17.4 Responsibilities of Successful Proponent
 - (a) The Successful Proponent shall supply insurance coverage and pay all costs and expenses, including premiums relating to the insurance coverage requirements as set out herein, and shall supply the Town of Canmore with a certificate of insurance



for all policies on an annual basis. Such policies will include a statement that the coverage shall not be terminated without a prior 30-day written notice to the Town of Canmore.

- (b) The Successful Proponent or their insurer will notify the Town of Canmore at least thirty (30) days prior to any change in insurer, any cancellation of the insurance policy, or any substantial change in the policy or coverage that would materially alter the coverage provided by the Successful Proponent to the Town of Canmore.
- (c) The Successful Proponent shall provide a certificate of such insurance to the Town of Canmore within five (5) days of notification of award or prior to commencing the work, whichever is sooner.

2.18 INDEMNIFICATION

- **2.18.1** The Successful Proponent agrees to indemnify and save harmless the Town of Canmore, its councillors, officers, agents, representatives, and employees, against all suits or claims, requests, legal action and liability regardless of the nature and expenses sustained from injuries or death or any damages or loss to property as a result of the usage of premises or in the execution of the Successful Proponent functions arising from this contract except to the extent of the Town of Canmore's gross negligence.
- **2.18.2** At no time will the Town of Canmore be responsible for any injury sustained by the Successful Proponent, their employees or any person on the Town of Canmore's premises, nor will the Town of Canmore be responsible for any loss, including loss of profits or damage caused to the goods of the Successful Proponent, their employees or any other person, including damage to vehicles and their contents, while these goods are on the Town of Canmore's premises or site.
- **2.18.3** The Town of Canmore shall not be liable for any incidental, indirect, special or consequential damages or any loss of use, revenue or profit of the Successful Proponent arising out of or in any way related to this RFQ or subsequent contract.

2.19 INFORMATION SECURITY STANDARDS

2.19.1 Successful Proponents that provide information technology or web-related services to the Town of Canmore as part of their work on the Project shall be required to comply with the Town of Canmore's Information Security Standards as updated from time to time. These standards may overlap with and are additional to the functional and requirements of the specific Project. The Town of Canmore may require Proponents to demonstrate compliance with these standards as part of the Town's review and evaluation of proposals, quotations and qualifications. If not appended hereto, it is the Proponent's responsibility to request the Information Security Standards and access their ability to comply as part of responding to this request.

END OF SECTION 2.0



3.0 PROJECT OVERVIEW AND SCOPE

3.1 RFQ DEFINITIONS

Owner	The Town of Canmore
Project	Elevation Place Ventilation Enhancements (207, 208, 209A/B and 214)
Proponent	a firm, individual or company who or which intends to submit or submits a quotation pursuant to this RFQ.
Quotation	a submission to the Town of Canmore in response to this RFQ.
Successful Proponent	a firm, individual or company with whom the Town of Canmore may decide to initially discuss contract arrangements based upon acceptance of the Proponent's quotation.
Heating, Ventilation,	
Air Conditioning Contractor	the Successful Proponent to whom the Town of Canmore issues a contract to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214

3.2 PROJECT DESCRIPTION/DESCRIPTION OF NEED

3.2.1 The Town of Canmore's Elevation Place was opened in 2013 and is a heavily used public recreation facility. Rooms requiring enhanced ventilation are all located on the second floor of the building.

Rooms 207 and 208 were originally designed as meeting rooms, however, since the opening of the facility they have been used as aerobic fitness rooms. Infiltration of afternoon sun into the fitness rooms exacerbates their overheating. Ideally, these rooms are set to 19C; however, temperatures into the low to mid 20'sC is a regular occurrence.

Room 214 was intended as a fitness room, but it does not have its own dedicated cooling system. In addition, it is located directly beneath the mechanical room where the water and air for the facility is heated. As such, the concrete slab separating these two floors radiates heat into the room 214.

The existing airflows in these rooms are lower than the original design rates. Energy modelling determined these fitness rooms require supplemental ventilation to meet the current programing requirements.

Room 209 A and B also experience elevated temperatures, but less intensely due to being larger in size with a taller ceiling. The mechanical engineers included Room 209 in their study and energy modelling, which resulted in recommendations to enhance the air circulation at the same time as the other fitness rooms.



3.3 PROJECT SITE

3.3.1 Elevation Place is located at 700 Railway Avenue. The fitness rooms are located on the second floor of the facility: Rooms 207, 208, 209 A/B, and 214.

3.4 SCOPE OVERVIEW/SCOPE OF SERVICES

3.4.1 GENERAL SCOPE OF WORK

Supply and install all required equipment to carry out renovations as shown in the RFQ design drawing package and specifications, including but not limited to associated ducting diffusers fans, vents and grilles, electrical and controls to improve the air circulation and in the second-floor fitness rooms (rooms 207, 208, 209A/B and 214).

Demolition Work: All components that are not to be reused in the updated system will be decommissioned, removed from site, and recycled.

Refer to the AME Group IFT Mechanical Drawing Set and Specifications (Appendix B).

- 3.4.2 DUTIES, RESPONSIBILITIES AND DELIVERABLES OF THE HVAC CONTRACTOR
 - Procure all permits for the scope of work (these may include but are not limited to Road Use Permits for laydown areas and offloading equipment, Permission to Work, Building Permits)
 - Procure all equipment as outlined in the mechanical schedules.
 - Coordinate all demolition work, electrical work, structural and remedial renovation work, post construction cleaning as well as HVAC installation, ensuring proper and adequate interface with all work scopes.
 - All cutting and patching that is required to install all new mechanical systems, as well as sealing and repairs for all damage that is a result of the removal or demolition of mechanical equipment (drywall/walls, doors, ceilings, panels, etc.). Patching shall meet fire stopping requirements and all current aesthetic conditions of the facility.
 - Supply and install appropriate hoarding to protect flooring, doors, walls, windows, etc.
 - Supply and install hoarding/safe passage for facility users and to remain in place until construction is complete.
 - Incorporate the updated system components with the existing Building Management System (BMS).
 - Re-balance existing air terminals to indicated air volumes.
 - Coordinate with the Town Project Manager for project sequencing.
 - Ensure the existing mechanical systems remain operational during the construction period.
 - Coordination with the engineer on record (AME Group) for ventilation enhancement inspections and quality control testing as outlined in the AME design package (Appendix B)
 - All after-hours labour, equipment rental, storage and transportation is to be included in the project scope of work.
 - Post-construction clean-up to return impacted areas back to pre-construction cleanliness.

3.4.3 SERVICES NOT INCLUDED

3.4.4 Enhancements to any other area within Elevation Place not outlined in this RFQ.

3.5 ANTICIPATED PROJECT SCHEDULE

Project Start Date	Can accommodate Proponents schedule
Project Substantial Completion	August 31, 2025
Warranty Period	1 Year after substantial Completion



RESPONSE REQUIREMENTS AND EVALUATION CRITERIA

3.6 FORMAT AND OUTLINE OF RESPONSES

Electronic RFQ responses are to be on 8.5" x 11" size pages in PDF (.pdf) format only and all components shall be formatted and combined into one file that is inserted into the email submission.

Responses to each section shall be marked with the corresponding letter and number (e.g. A1, A2, etc.).

3.7 QUOTATION SUBMISSION REQUIREMENTS

Proponents are requested to submit a quotation containing the following:

3.7.1 Mandatory Requirements:

- 3.7.1.1 Signed signature and waiver sheet acknowledging the numbers of Addenda issued.
- 3.7.1.2 Insurance Requirements: Provide evidence from your insurance company confirming your ability to secure insurance as described in Section 2.17.
- 3.7.1.3 WCB Requirements: Provide evidence of WCB coverage as described in Section 2.17.
- 3.7.1.4 **Quotation:** Quotation is to be provided on the standard quotation template from the Proponent company.
- 3.7.1.5 **Appendix A Construction Experience:** Describe your company experience and background complete with a list of three (3) similar size projects you've completed in the last two years.
- 3.7.1.6 **Appendix B Scheduled start date and duration:** State when you would be able to start the project and how long you expect it to take to complete.

3.8 EVALUATION PROCESS

- **3.8.1** Selection of the Successful Proponent pursuant to this RFQ will be made on the basis of the Proponent meeting mandatory requirements listed above, the value of their quotation, additional information requested and other factors germane to the Town of Canmore.
- **3.8.2** A submission will first be reviewed for compliance with the mandatory requirements as listed above. The Town reserves the right to accept or reject any or all submissions not complying with the criteria and cancel the RFQ entirely if deemed in the Town's best interests.

3.9 PROPONENT SHORTLIST

- **3.9.1** The Town of Canmore reserves the right to shortlist any number of Proponents based on the evaluation of submissions for the criteria outlined in section 3.8 above.
- **3.9.2** Shortlisted Proponents may be required to undergo an interview prior to final selection of the Successful Proponent. Proponents are not guaranteed any paid assignment because of being shortlisted via this RFQ.

3.10 CONFIDENTIALITY OF EVALUATION

3.10.1 Evaluations are confidential, and apart from identifying the top-ranked Proponent, no details of



the submission of any Proponent will be released to any other Proponent.

3.11 RFQ SCHEDULE

The following schedule has been established for this RFQ:

- RFQ issued on Town of Canmore website
- Pre-Bid Site Inspection, recommended but non-mandatory
- Last day to submit questions to Town of Canmore designate
- Last day for Town of Canmore to issue final addendum
- RFQ closing
- RFQ review period
- Letter of award to be issued to Successful Proponent
- Issue contract to Successful Proponent

END OF SECTION 3.0

July 11, 2024 July 18, 2024 @ 10:00 am July 22, 2024 July 25, 2024 August 01, 2024 @ 2:00 pm August 07, 2024 August 08, 2024 August 09, 2024



4.0 SIGNATURE, ACKNOWLEDGMENT AND WAIVER SHEET

By signing below, the Proponent hereby acknowledges and agrees as follows:

- (a) Prior to submitting its response to this RFQ, the Proponent has obtained from the Town of Canmore and thoroughly reviewed the entirety of the RFQ including all addendums hereto and documents incorporated by reference into this RFQ.
- (b) The Proponent has thoroughly reviewed, understands and agrees to be bound by all terms and conditions of this RFQ including those in all addendums hereto and documents incorporated by reference into this RFQ, unless otherwise waived by the Town of Canmore in its sole discretion and confirmed in writing. The Proponent hereby waives any rights or claims that it was not aware of any document incorporated by reference into this RFQ.
- (c) The Proponent's representative signing below has the full authority to represent the Proponent in all matters relating to the RFQ and bind the Proponent to the terms and conditions of this RFQ.

Name of Business Entity	
Complete Address:	
Phone	Mobile Phone
Website	Email
Proponent Signature	
Title	
Printed Name	
Date	

I/we acknowledge receipt of the following Addenda and have included for the requirements thereof in my/our RFQ response: Addendum # _____ to _____.

(Signature)



Notes to Signatories:

Incorporated Proponents should affix a corporate seal to the signature sheet. If an incorporated Proponent does not have a corporate seal, the Town of Canmore reserves the right to request documentation confirming corporate signing authority in the form of a director's resolution, evidence of current registered officers, or other corporate record.

Unincorporated Proponents must submit proposals signed by individual or legal entity with capacity to execute legal documents and bind the Proponent. The Town of Canmore reserves the right to request documentation confirming individual identities and authority of the signatory to represent the Proponent.

END OF SECTION 4.0



5.0 APPENDIX A – CONSTRUCTION EXPERIENCE

- Describe your company experience and background complete with a list of three (3) similar size projects you've completed in the last two years.

END OF SECTION 5.0



6.0 APPENDIX B - SCHEDULED START DATE AND DURATION

- State when you would be able to start the project and how long you expect it to take to complete.

END OF SECTION 6.0



7.0 APPENDIX C – REFERENCE DOCUMENTS

7.1 Elevation Place Ventilation enhancement AME Group Drawing Set and Specifications

END OF SECTION 7.0





MECHANICAL GENERAL NOTES

THE MECHANICAL SYSTEM SHALL CONSIST OF ALL WORK SHOWN ON THE DRAWINGS, DIAGRAMS, SCHEMATICS AND AS DESCRIBED IN THE SPECIFICATIONS.

- THE MECHANICAL PLANS ARE DIAGRAMMATIC IN NATURE AND DO NOT ATTEMPT TO SHOW ALL REQUIRED OFFSETS.
- COORDINATE THE DRAWINGS WITH THE SPECIFICATIONS AND IN CASES WHERE CONFLICTS OCCUR THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- CONTRACTOR TO COORDINATE ALL MECHANICAL WORK WITH THAT OF OTHER TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE WITH THE WORK OUTLINED FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS AS PER CEC (CANADIAN ELECTRICAL CODE) FOR ALL INSTALLED EQUIPMENT. OFFSET MECHANICAL WORK AS REQUIRED TO MEET THIS REQUIREMENT.
- MECHANICAL EQUIPMENT SHALL NOT BE USED FOR TEMPORARY HEATING DURING THE CONSTRUCTION PROCESS. A WRITTEN LETTER FROM THE OWNER IS REQUIRED TO DO SO.
- ALL DUCTWORK SIZES ARE SHOWN AS INSIDE CLEAR. ADD APPROPRIATE DIMENSION FOR INSULATION OR DUCT LINER TO OBTAIN "TOTAL DUCT
- . CONTRACTOR TO ALLOW AND PROVIDE FOR METAL DUCTWORK TRANSITIONS BETWEEN ALL EQUIPMENT AND DUCT CONNECTIONS.
- PROVIDE DIFFUSERS AND GRILLE COMPATIBLE WITH ARCHITECTURAL CEILING TYPES.

MECHANICAL RENOVATION NOTES

SIZE".

- THE CONTRACTOR SHALL BE REQUIRED TO ATTEND A PRE-BID WALK THROUGH TO ENSURE A PROPER UNDERSTANDING OF THE MECHANICAL SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING ACTUAL ON-SITE CONDITIONS AND EQUIPMENT LOCATIONS PRIOR TO ANY AND ALL DEMOLITION WORK AND/OR EQUIPMENT REMOVAL.
- . CONTRACTOR TO INCLUDE AS A PART OF THE BID ALL COSTS ASSOCIATED WITH CUTTING AND PATCHING THAT IS REQUIRED TO INSTALL ALL NEW MECHANICAL SYSTEMS AS REQUIRED TO MEET THE SITE CONDITIONS AS SHOWN ON THE DRAWINGS. PATCHING SHALL MEET THE AESTHETIC CONDITIONS WHICH WAS THE CONDITION PRIOR TO ANY CUTTING BEING PREFORMED.
- CONTRACTOR TO PROPERLY SEAL AND REPAIR ANY AND ALL DAMAGE THAT IS A RESULT OF REMOVAL OR DEMOLITION OF MECHANICAL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO WALL, DOOR, CEILINGS, ETC.
- THE EXISTING FACILITIES MECHANICAL SYSTEMS SHALL REMAIN OPERATIONAL DURING THE CONSTRUCTION AND RENOVATION PERIOD. CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES AND PHASING WITH OWNER TO MINIMIZE DISRUPTIONS TO OWNERS OPERATIONS AND ACCESS, AND TO ENSURE SAFETY OF THE USERS. PROVIDE ALL MEASURES REQUIRED TO PREVENT HAZARDS TO PEOPLE AND DAMAGE TO ITEMS REMAINING INCLUDING BUT NOT LIMITED TO DAMAGE FROM DUST AND HEAT.
- THE EXISTING DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. AS A RESULT, THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT. DURING REMOVAL OF ITEMS SO INDICATED, CAUTION SHOULD BE USED TO PREVENT DAMAGE TO ANY EQUIPMENT HAVING SALVAGE VALUE. ALL
- REUSABLE SALVAGED MATERIAL SHALL REMAIN THE PROPERTY OF THE OWNER AND BE RETAINED FOR THEIR INSPECTION. ONLY ITEMS AGREED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK WITH FACILITY TO LIMIT INTERFERENCE WITH OPERATIONS.
- CONTRACTOR TO RE-BALANCE EXISTING AIR TERMINALS TO INDICATED AIR VOLUMES.

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H RMOSTAT		INISCELLANEOUS CO FFCP = FIRE FIGHTE FRAC = FRACTIONAL INT = INTEGRAL PAR	ENES: RS CONTROL PA L HORSEPOWER RT OF UNIT	ANEL	1. SINGLE P 2. SPRINKLE 3. FIRE ALAI 4. MONITOR 5. PROVIDE 6. FFCP TO 7. FFCP TO	OINT POWER CONN ER ZONE VALVES AN RM PANEL TO HAVE STATUS AT FFCP SWTICH AT FFCP ENABLE DURING AL DISABLE DURING AL	ECTION (EX ID FLOW SV DRY CONT ARM ARM	KCEPT FOR LIGHTS). WITCHES TO BE MONI ^T ACT FOR BMS	ORED BY THE	FIRE ALARM SYSTE	M.		DRAWIN GEN & MI SCH	G TITLE: ERAL NO ECHANI EDULES	DTES, LEGENDS CAL
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	MECHANICAL AB	BREVIATIONS	SYMBOL SCHEDULE		
	AD AREA DRAIN AFF ABOVE FINISHED AHU AIR HANDLING UN ARCH ARCHITECTURAL BB BASEBOARD HEAT BDD BACKDRAFT DAMF BF BOTTLE FILLER BFP BACKFLOW PREVE BHP BREAK HORSEPON	KW KILOWATT FLOOR KS KITCHEN SINK IT LV LAVATORY LAT LEAVING AIR TEMPERATURE 'ER LWT LEAVING WATER TEMPERATURE 'ER MAU MAKE-UP AIR UNIT 'MAX MAXIMUM ENTER MH MANHOLE WER MBH 1000 BRITISH THERMAL UNITS/HOU	PIPING SYSTEMS DOMESTIC COLD WATER (DCW) DOMESTIC HOT WATER (DHW) DOMESTIC HOT WATER (DHW) DOMESTIC HOT WATER (DHW) DOMESTIC HOT WATER RECIRC. SANITARY VENT SANITARY SEWER ABOVE GRADE SANITARY SEWER BELOW GRADE STORM SEWER ABOVE CRADE	SYSTEM MONITORING AND CONTROLS (DHWR) (T) R(T) ROOM TEMPERATURE SENSOR R(T) REVERSE ACTING TEMPERATURE SENSOR (DHWR) (S) TEMPERATURE SENSOR (DHWR) (S) TEMPERATURE SENSOR (E) (CO2 SENSOR E) (T) PIPE TEMPERATURE SENSOR	A COPYRIGHT RESERVED This drawing and design is the property of the designer to be used only
	BMSBUILDING MANAGEBTBATH TUBCBCATCH BASINCFMCUBIC FEET PER MCLGCEILINGCOCLEANOUTCONNCONNECTIONC/WCOMPLETE WITHCONTCONTINUATIONCTECONNECT TO EXISDBDRY BULBDCVADOUBLE CHECK VDDCDIRECT DIGITAL CDEGDEGREEDFDRINKING FOUNTADIADIAMETERDNDOWNDUCDUAL CHECK VALVDWDISH WASHERDWGDRAWINGE/AEXHAUST AIREATENTERING AIR TEILEFFEFFICIENCYELECELECTRICALENTENTERING	EMENT SYSTEMMDMOTORIZED DAMPERMECHMECHMECHANICALMINMINIMUMMINUTENFHBNON FREEZE HOSE BIBNICNOT IN CONTRACTNCNOISE CRITERIA/NORMALLY CLOSENONORMALLY OPENNTSNOT TO SCALEO/AOUTDOOR AIROEDOPPOSED BLADE DAMPEROEDOPEN ENDED DUCTALVE ASSEMBLYODONTROLPOCPOINT OF CONNECTIONPRVPRESSURE REDUCING VALVENINPSIPOUNDS PER SQUARE INCHR/ARETURN AIRRFRETURN FAN//ERMROOMRPMREVOLUTIONS PER MINUTERWLRAIN WATER LEADERS/ASUPPLY FANSHSHOWERSKSINKSSSTAINLESS STEELSPSTATIC PRESSURE	SED SED	PRESSURE GAUGE Image: Construction of the second state of the	In the project induced with express written permission. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THESE DRAWINGS ARE NOT TO BE SCALED. REV. DATE DESCRIPTION 1. 2024.01.02 ISSUED FOR 50% REVIEW 2. 2024.01.22 ISSUED FOR 80% REVIEW 3. 2024.03.07 ISSUED FOR TENDER 4. 2024.07.09 REISSUED FOR TENDER
	ENT ENTERING ESP EXTERNAL STATIC EWT ENTERING WATER EXH EXHAUST FA FROM ABOVE FB FROM BELOW FD FLOOR DRAIN FE FIRE EXTINGUISH FFD FUNNEL FLOOR DI FLA FULL LOAD AMPS FLR FLOOR FPM FEET PER MINUTE GPM GALLONS PER MIN GWB GYPSUM WALL BC HD HUB DRAIN HB HOSE BIBB HP HORSEPOWER ID INSIDE DIAMETER INV INVERT JS JANITOR SINK MO01 GENERAL NOTES M401 HVAC PLAN - SEC M402 HVAC PLAN - SEC M801 MECHANICAL DE M901 MECHANICAL SP	SP STATIC PRESSURE PRESSURE SPEC TEMPERATURE ST ST STORM T/A TRANSFER AIR TA TO ABOVE TB TO BELOW TB TO BE CONFIRMED SR TBD RAIN TD TRENCH DRAIN THRU THROUGH TS TAMPER SWITCH TS TAMPER SWITCH TS TAMPER SWITCH TSP TOTAL STATIC PRESSURE IUTE TYP VARIABLE FREQUENCY DRIVE VFD VARIABLE FREQUENCY DRIVE VTR VENT THROUGH ROOF W WATER MAIN WB WET BULB WC WATER GAUGE LIST DESCRIPTION SOND FLOOR - DEMOLITION 1 TAILS 1 ECIFICATIONS 1	Image: Pipe CLEAN-OUT Image: Pipe CLEAN-OUT TO GRADE SOLENOID VALVE SOLENOID VALVE BALANCING VALVE PRESSURE REDUCING VALVE PRESSURE INDEPENDENT VALVE PRESSURE INDEPENDENT VALVE PRESSURE INDEPENDENT VALVE PIPE ANCHOR PIPE ANCHOR PIPE ANCHOR PIPE SLEEVE PIPE SLEEVE </th <th>OSED) Image: Construction of the second second</th> <th></th>	OSED) Image: Construction of the second	
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TF-1 TF-2 NOTES: 1 2 3	1 SECOND FLOO 1 SECOND FLOO GALVANIZED STEEL HOUSING SECOND FLOO FLANGED INLET & OUTLET COMPLETE WITH VFD CONTROLS	DR MULTIPURPOSE ROOMS INLINE GREENHECK SQ- DR FITTNESS ROOM INLINE GREENHECK SQ-	All All <th>CITE CITE <th< th=""><th>DATE: 2024-07-09 PERMIT Nº: 141623 SEAL:</th></th<></th>	CITE CITE <th< th=""><th>DATE: 2024-07-09 PERMIT Nº: 141623 SEAL:</th></th<>	DATE: 2024-07-09 PERMIT Nº: 141623 SEAL:
		DIFFUSERS AND GRILLES EQUIPMENT DESCRIPTION/TYPE TAG 0 S-1 ROUND CONE DIFFUSER R-1 GRILLE T-1 LOUVERED GRILLE RETURN T-2 LOUVERED GRILLE SUPPLY NOTES: Content of the supplet	MANUFACTURER EH PRICE EH PRICE N EH PRICE (EH PRICE	SERVICEMODEL NUMBERNOTESSUPPLY AIRRCDA1,2,3,4RETURN AIR802,3,4TRANSFER AIR510Z2,3,4TRANSFER AIR5102,3,4	PARDEEP SHARMA OB ALBERTA 2024-07-09 ASET ID - 131507
		 VERTICAL AIR PATTERN PROVIDE WITH BORDER STYLES THAT ARE COMPATIBLE V VALUE OF NC LEVELS BASED ON OCTAVE BANDS 2-7 SOUN CUSTOM COLOUR FOR THE PRODUCT TO MATCH THE EXIS 	WITH ADJACENT WALLS AND CEILING SYSTEMS ND POWER LEVELS MINUS A ROOM ABSORPTION OF 10 DB, MEASURE STING ARCHITECTURE.	ED PER ASHRAE 70-91.	ELEVATION PLACE COOLING ENHANCEMENT,
UNIT LOC	ATION ELECTRICAL LOAD MCA FLA FLOOR / SERVING GYM 12 FLOOR SERVING FITNESS ROOM 8	KW HP PH EQUIPMENT STARTE KW HP I S I C S Image: Second state Image: Second state	ER DISCONNECT CO	NTROL EMERGENCY NOTES S I C TYPE (YES/NO) ECH MECH MECH NO ECH MECH MECH NO	CANMORE, AB PROJECT ADDRESS: 700 RAILWAY AVE #100, CANMORE AB
CONTROL AQUA = PI BMS = BLI ES = END ET = LINE FA = FIRE FAP = FIR FS = FLOV GS = GAS H = HUMIE I = INTERL LIGHT = W LS = LEVE OS = OCC PS = PRES R. STAT = TC = TIME	DEVICE CODES: UMP CONTROLLED BY AQUASTAT DG MANAGEMENT SYSTEM SWITCH VOLTAGE T'STAT ALARM E ALARM PANEL W SWITCH SENSOR DITY SENSOR LOCK, SEE NOTES VIRED TO LIGHT SWITCH EL SWITCH SUPANT SENSOR SSURE SWITCH REVERSE ACTING THERMOSTAT CLOCK	ELECTRICAL LOAD CODES:GENERABHP = BRAKE HORSEPOWERA. ALL FFLA = UNIT FULL LOAD AMPSB. CONTHP = UNIT OR MOTOR HORSE POWERC. PCS EPH = POWER PHASENOTIMCA = MINIMUM CIRCUIT AMPSD. CP, VVOLT = REQUIRED SUPPLY VOLTAGETO CMISCELLANEOUS CODES:NOTES:FFCP = FIRE FIGHTERS CONTROL PANEL1FRAC = FRACTIONAL HORSEPOWER2INT = INTEGRAL PART OF UNIT3	AL NOTES: FIRE ALARM DEVICES WIRED BY ELECTRICAL TROL PANELS ARE SHIPPED LOSS & REQUIRE FIELD WIRING EQUIPMENT REQUIRES SINGLE SOURCE POWER CONNECTION, UNLE TED OTHERWISE VFD EQUIPMENT REQUIRES POWER WIRING TO AND FROM CONTROL CONTROLLED EQUIPMENT	ESS PANEL ED BY THE FIRE ALARM SYSTEM.	DRAWN BY HA/NR CHECKED BY BL SCALE NTS DATE 07-09-2024 DRAWING TITLE: GENERAL NOTES, LEGENDS & MECHANICAL SCHEDULES
					DRAWING NO. 000c-1442-23 M001

1	GALVANIZED STEEL HOUSING
2	FLANGED INLET & OUTLET

DIFFUSE	RS AND GRILLES
EQUIPMENT	DESCRIPTION/TYPE
TAG	
S-1	ROUND CONE DIFFUSER
R-1	GRILLE
T-1	LOUVERED GRILLE RETURN
T-2	LOUVERED GRILLE SUPPLY
NOTES:	
1	VERTICAL AIR PATTERN
2	PROVIDE WITH BORDER STYLES THAT ARE COMPATIBLE WI

		MECHANICAL ABBREVIATIONS		SYMBOL SCHEDULE			
C RAILWAY	OF WORK	MECHANICAL ABBREVIATIONS AD AREA DRAIN AFF ABOVE FINISHED FLOOR AHL AIR HADLING UNIT ARCH ARCHARCHURAL BB BASEBOARD HEATER BDD BACKDRAFT DAMPER BF BOTTLE FILLER BFP BACKLOW PREVENTER BHP BREAK HORSEPOWER BMS BUILDING MANAGEMENT SYSTEM BT BATH TUB CB CATCH BASIN CM COBIN CETET PER MINUTE CLG CELING CON CONNECTION CONN CONNECTION CON CONNECTION CON CONNECTION CON CONNECTION CON CONNECTION CON CONNECTION CON CONNECTION DCVA DOUBLE OHECK VALVE DCVA DOUBLE OHECK VALVE DCO DIRNENNE FOUNTAIN DIA DIAMETER DIA DIAMETER DIA DIAMETER DIA DIAMETER DIA <td< td=""><td>KW KILOWATT KS KITCHEN SINK LV LAAVIORY LAT LEAVING VATER TEMPERATURE MAU MAKE-UP ALR UNIT MAX MAXIMUM MH MANHOLE MBH 1000 BRITISH THERMAL UNITSHOUR MD MOTORIZED DAMPER MECH MCOT MECHANCAL MIN MINMUM NHB NON REEZE HOSE BIB NIC NOT NOT COTRACT NC NORMALY OPEN NO NOT TO SCALE O/A OUTODOR AIR OBD OPPOSED BLADE DAMPER OED OPEN ENDED DUCT OD OUTSIDE DIAMETER PCC POINT OF CONNECTION PRY PRESSURE REDUCING VALVE PSI POINT OF CONNECTION PRW PRESSURE REDUCING VALVE PSI POINT OF CONNECTION RM RGOM RPM RETURN FAN RM ROOM RM RETURN FAN SK SINK SS STATIC PRESSURE</td><td>SYMBOL SCHEDULE PIPING SYSTEMS OMESTIC COLD WATER (DCW) DOMESTIC HOT WATER (DWW) DOMESTIC HOT WATER (DWW) SANTTARY SEWER ABOVE GRADE SANTTARY SEWER BELOW GRADE SST ST ST <tr< td=""><td>SYSTEM MONITORING AND CONTROLS Image: Control of the sensor of</td><td>CONSULTANT:</td><td>Sroup and a second seco</td></tr<></td></td<>	KW KILOWATT KS KITCHEN SINK LV LAAVIORY LAT LEAVING VATER TEMPERATURE MAU MAKE-UP ALR UNIT MAX MAXIMUM MH MANHOLE MBH 1000 BRITISH THERMAL UNITSHOUR MD MOTORIZED DAMPER MECH MCOT MECHANCAL MIN MINMUM NHB NON REEZE HOSE BIB NIC NOT NOT COTRACT NC NORMALY OPEN NO NOT TO SCALE O/A OUTODOR AIR OBD OPPOSED BLADE DAMPER OED OPEN ENDED DUCT OD OUTSIDE DIAMETER PCC POINT OF CONNECTION PRY PRESSURE REDUCING VALVE PSI POINT OF CONNECTION PRW PRESSURE REDUCING VALVE PSI POINT OF CONNECTION RM RGOM RPM RETURN FAN RM ROOM RM RETURN FAN SK SINK SS STATIC PRESSURE	SYMBOL SCHEDULE PIPING SYSTEMS OMESTIC COLD WATER (DCW) DOMESTIC HOT WATER (DWW) DOMESTIC HOT WATER (DWW) SANTTARY SEWER ABOVE GRADE SANTTARY SEWER BELOW GRADE SST ST ST <tr< td=""><td>SYSTEM MONITORING AND CONTROLS Image: Control of the sensor of</td><td>CONSULTANT:</td><td>Sroup and a second seco</td></tr<>	SYSTEM MONITORING AND CONTROLS Image: Control of the sensor of	CONSULTANT:	Sroup and a second seco
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	2 FLANGED INLET & OUTLET 3 COMPLETE WITH VFD CON	T NTROLS DIFFUSERS AN EQUIPMENT TAG S-1 R-1 T-1 T-2 NOTES: 1 VERTIC/ 2 PROVID 3 VALUE O	ND GRILLES DESCRIPTION/TYPE ROUND CONE DIFFUSER GRILLE LOUVERED GRILLE RETURN LOUVERED GRILLE SUPPLY AL AIR PATTERN E WITH BORDER STYLES THAT ARE COMPATIBLE WITH ADJACE DF NC LEVELS BASED ON OCTAVE BANDS 2-7 SOUND POWER LE	MANUFACTURER SERVIO EH PRICE SUPPLY EH PRICE RETURN EH PRICE TRANSFE EH PRICE TRANSFE NT WALLS AND CEILING SYSTEMS SVELS MINUS A ROOM ABSORPTION OF 10 DB, MEASURED PER ASI	CE MODEL NUMBER NOTES AIR RCDA 1,2,3,4 I AIR 80 2,3,4 R AIR 510Z 2,3,4 R AIR 510 2,3,4 HRAE 70-91. HRAE 70-91. HRAE 70-91.	SEAL: SEAL:	OP 1507 PLACE
MECHANICAL MOTORLIST		4 CUSTON	M COLOUR FOR THE PRODUCT TO MATCH THE EXISTING ARCHIT	recture.		COOLING	AENT,
UNIT NUMBER QTY UNIT DESCRIPTION	UNIT LOCATION	ELECTRICAL LOAD VOI MCA FLA KW HP	LT PH EQUIPMENT STARTER	C TYPE S I C S	EMERGENCY NOTES POWER	CANMORE,	AB
UNIT TAG DESCRIPTION FT-1 1 FAN FT-2 1 FAN	SECOND FLOOR / SERVING GYM	12 5 20 OM 8 2 20	8 3 MECH MECH ELEC MECH MECH 8 3 MECH MECH ELEC MECH MECH	MECH ELEC ELEC ELEC MECH MECH MECH ELEC ELEC ELEC MECH M	IECH MECH NO	PROJECT ADDRESS: 700 RAILWAY AVE #10 AB)0, CANMORE
SUPPLIER / INSTALL / WIRE CODES: MECH = MECHANICAL FLFC = FLFCTRICAL	CONTROL DEVICE CODES: AQUA = PUMP CONTROLLED BY AQUAS BMS = BLDG MANAGEMENT SYSTEM	ELECTRICAL LOAD CODE STAT BHP = BRAKE HORSEPOW FLA = UNIT FULL LOAD AND	S: <u>GENERAL NOTES:</u> VER A. ALL FIRE ALARM D MPS B. CONTROL DANELS	EVICES WIRED BY ELECTRICAL		T1W1P4	HA/NR
G = GENERAL CONTRACTOR S = SUPPLIED BY I = INSTALLED BY	ES = END SWITCH ET = LINE VOLTAGE T'STAT FA = FIRE ALARM	HP = UNIT OR MOTOR HO PH = POWER PHASE MCA = MINIMUM CIRCUIT	RSE POWER C. PCS EQUIPMENT F NOTED OTHERWI AMPS D. CP, VFD EQUIPME	REQUIRES SINGLE SOURCE POWER CONNECTION, UNLESS SE NT REQUIRES POWER WIRING TO AND FROM CONTROL PANEL		CHECKED BY B SCALE	st state
C = CONNECTED BY <u>STARTER CODES:</u>	FAP = FIRE ALARM PANEL FS = FLOW SWITCH GS = GAS SENSOR	VOLT = REQUIRED SUPPL MISCELLANEOUS CODES:	Y VOLTAGE TO CONTROLLED			DATE 0	17-09-2024
MAN = MANUAL STARTER HOA = MAGNETIC STARTER W/ HAND/OFF SWITCH W/ AUX. CONTACTS MAG = MAGNETIC STARTER C/W AUX STA MRR = MOTOR RATED RELAY, 24 VAC CO & MOTOR PROTECTION SWITCH PCS = PACKAGED CONTROL SYSTEM VFD = VARIABLE FREQUENCY DRIVE	H = HUMIDITY SENSOR AUTO I = INTERLOCK, SEE NOTES LIGHT = WIRED TO LIGHT SWITCH LS = LEVEL SWITCH COS = OCCUPANT SENSOR PS = PRESSURE SWITCH R. STAT = REVERSE ACTING THERMOS TC = TIME CLOCK	FFCP = FIRE FIGHTERS CO FRAC = FRACTIONAL HOR INT = INTEGRAL PART OF	UNITROL PANEL 1. SINGLE PO RSEPOWER 2. SPRINKLE UNIT 3. FIRE ALAR 4. MONITOR 5. PROVIDE 3 6. FFCP TO E 7. FFCP TO E	DINT POWER CONNECTION (EXCEPT FOR LIGHTS). R ZONE VALVES AND FLOW SWITCHES TO BE MONITORED BY THE RM PANEL TO HAVE DRY CONTACT FOR BMS STATUS AT FFCP SWTICH AT FFCP ENABLE DURING ALARM DISABLE DURING ALARM	FIRE ALARM SYSTEM.	GENERAL NOT & MECHANICA SCHEDULES	ES, LEGENDS AL DRAWING NO.
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AME Group 710 - 1122 4th Street SW Calgary AB, T2R 1M1 T. 403-252-2333 amegroup.ca

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COMMON WORKS

GENERAL

1.1. GENERAL SCOPE 'PROVIDE' SHALL MEAN SUPPLY AND INSTALL.

CONSULTANT' SHALL MEAN AME GROUP CONSULTING PROFESSIONAL ENGINEERS

PROVIDE COMPLETE, FULLY TESTED AND OPERATIONAL SYSTEMS TO MEET THE REQUIREMENTS DESCRIBED HEREIN AND IN COMPLETE ACCORD WITH APPLICABLE CODES AND ORDINANCES.

CONTRACT DOCUMENTS AND DRAWINGS ARE DIAGRAMMATIC. THEY ESTABLISH SCOPE, MATERIAL AND INSTALLATION QUALITY BUT ARE NOT DETAILED INSTALLATION INSTRUCTIONS.

FOLLOW MANUFACTURERS' RECOMMENDED INSTALLATION INSTRUCTIONS, DETAILS AND PROCEDURES FOR EQUIPMENT, SUPPLEMENTED BY REQUIREMENTS OF THE CONTRACT DOCUMENTS. BEFORE SUBMITTING TENDER, VISIT AND EXAMINE THE SITE AND NOTE ALL CHARACTERISTICS AND FEATURES AFFECTING THE WORK. NO ALLOWANCES WILL BE MADE FOR ANY DIFFICULTIES ENCOUNTERED OR ANY

EXPENSES INCURRED BECAUSE OF ANY CONDITIONS OF THE SITE OR ITEM EXISTING THEREON, WHICH IS VISIBLE OR KNOWN TO EXIST AT THE TIME OF TENDER. CLARIFICATIONS OR REQUESTS FOR ALTERNATE MATERIALS OR EQUIPMENT MUST BE SUBMITTED IN WRITING TO

THE CONSULTANT NO LATER THAN SEVEN (7) WORKING DAYS PRIOR TO THE MECHANICAL TRADES' CLOSING TENDER DATE. APPROVAL OF REQUESTS SHALL ONLY BE GIVEN BY ADDENDUM. MAKE REFERENCE TO ELECTRICAL, MECHANICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS WHEN SETTING THE APPROVED BALANCING AGENCIES ARE: BIG SKY BALANCING CO., ENVIRO-METRICS TECHNICAL SERVIC

AND PIPING, SO THAT CONFLICTS ARE AVOIDED AND SYMMETRICAL EVEN SPACING IS MAINTAINED. JOINTLY WORK OUT ALL CONFLICTS ON SITE BEFORE FABRICATING OR INSTALLING ANY MATERIALS OR EQUIPMENT. 1.2. CODE COMPLIANCE, PERMITS AND FEES

ALL WORK SHALL COMPLY WITH CURRENT EDITIONS OF THE NATIONAL, PROVINCIAL AND MUNICIPAL CODES, STANDARDS, ACTS AND BYLAWS AND WILL MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. SUBSTANTIAL COMPLETION. FAILURE TO SUBMIT THE REPORT WITHIN THE SPECIFIED TIME WILL RESULT IN OBTAIN ALL PERMITS AND PAY ALL FEES APPLICABLE TO THE SCOPE OF WORK. CONTRACTOR SHALL ARRANGE WORK BEING DONE BY THE OWNER AND THE COSTS DEDUCTED FROM FINAL PAYMENT. FOR INSPECTIONS OF THE WORK BY THE AUTHORITIES HAVING JURISDICTION AND SHALL PROVIDE CERTIFICATES BALANCING SHALL BE PERFORMED TO THE FOLLOWING: INDICATING FINAL APPROVAL.

1.3 TENDER PRICE BREAKDOWN

SUBMIT A TENDER PRICE BREAKDOWN WITHIN THIRTY (30) DAYS OF TENDER CLOSING AND BEFORE FIRST PROGRESS CLAIM, IN A FORMAT AGREED TO WITH THE CONSULTANT. AS A MINIMUM INCLUDE EQUIPMENT, MATERIALS AND LABOUR FOR MECHANICAL, PLUMBING, SHEET METAL, FIRE PROTECTION AND CONTROLS.

1.4 SUBMITTALS

COMPLY WITH DIVISION 1 - SUBMISSION AND CLOSEOUT PROCEDURES AND IN ADDITION THE FOLLOWING:

SHOP DRAWINGS: PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT AS ELECTRONIC FILES (FILE FORMAT: .DWG, DXF, PDF, OR COMPARABLE). WHEN MANUFACTURER'S CUT SHEETS APPLY TO A PRODUCT SERIES RATHER THAN SPECIFIC PRODUCT. THE DATA SPECIFICALLY APPLICABLE TO THE PROJECT SHALL BE HIGHLIGHTED OR CLEARLY INDICATED BY OTHER MEANS. EACH SUBMITTED PIECE OF LITERATURE AND DRAWINGS SHALL CLEARLY BE RESPONSIBLE FOR THE PERFORMANCE AND COMMISSIONING OF ALL EQUIPMENT SUPPLIED AND RE-USE REFERENCE THE SPECIFICATION AND/OR DRAWING THAT THE SUBMITTAL IS TO COVER. GENERAL CATALOGS

SHALL NOT BE ACCEPTED AS CUT SHEETS TO FULFILL SUBMITTAL REQUIREMENTS. CLOSEOUT SUBMITTALS: PROVIDE A MINIMUM OF TWO (2) MECHANICAL OPERATION AND MAINTENANCE MANUALS CONFIRM OPERATION AND REVIEW CONDITION OF ALL EXISTING [AIR VALVES] [FAN-COIL UNITS,] [HEAT PUMI AND ONE DIGITAL COPY, PREPARED BY THE TAB CONTRACTOR.

OPERATION AND MAINTENANCE MANUAL APPROVED BY, AND FINAL COPIES DEPOSITED WITH THE CONSULTANT A REQUIRED. **/INIMUM OF 7-DAYS BEFORE FINAL INSPECTION**

OPERATION AND MAINTENANCE MANUAL TO INCLUDE BUT NOT LIMITED TO: LAYMAN'S DESCRIPTION OF THE SYSTEMS AND ASSOCIATED CONTROLS: OPERATIONAL INSTRUCTIONS, SERVICING, MAINTENANCE, OPERATION AND TROUBLE-SHOOTING INSTRUCTIONS FOR EACH ITEM OF EQUIPMENT: WARRANTIES: EQUIPMENT MANUFACTURER'S PERFORMANCE DATASHEETS INDICATING POINT OF OPERATION AS LEFT AFTER

COMMISSIONING IS COMPLETE: TESTING. ADJUSTING AND BALANCING REPORTS. SITE RECORDS: CONTRACTOR SHALL MAINTAIN 1 SET OF WHITE PRINTS AT CONTRACTORS COST TO MARK CHANGES AS WORK PROGRESSES AND AS CHANGES OCCUR. USE DIFFERENT COLOUR WATERPROOF INK FOR

EACH SERVICE. DO NOT USE PENCIL OR BLACK INK. TRANSFER INFORMATION WEEKLY TO SHOW WORK AS ACTUALLY INSTALLED. DRAWINGS SHALL BE AVAILABLE FOR REFERENCE PURPOSES AND REVIEW. RECORD DRAWINGS: PRIOR TO START OF TESTING, ADJUSTING AND BALANCING FOR MECHANICAL FINALIZE

PRODUCTION OF RECORD DRAWINGS

4 "RECORD DRAWING" SET. IDENTIFY EACH DRAWING IN LOWER RIGHT HAND CORNER IN LETTERS AT LEAST 12 MM SPRING ISOLATORS MAY BE USED IN LIEU PROVIDED THAT THEY MEET THIS PROJECT'S REQUIREMENTS FOR HIGH AS FOLLOWS: - "RECORD DRAWINGS: THIS DRAWING HAS BEEN REVISED TO SHOW MECHANICAL SYSTEMS SEISMIC RESTRAINT. AS INSTALLED" (SIGNATURE OF CONTRACTOR) (DATE). PERFORM TESTING, ADJUSTING AND BALANCING FOR HVAC JSING RECORD DRAWINGS. SUBMIT RECORD DRAWINGS TO CONSULTANT FOR APPROVAL AND MAKE

CORRECTIONS AS DIRECTED. PERFORM TESTING, ADJUSTING, AND BALANCING FOR HVAC USING RECORD RAWINGS. PROVIDE COMPLETED REPRODUCIBLE RECORD DRAWINGS WITH FINAL OPERATING AND AINTENANCE MANUALS WITHIN TWO (2) WEEKS OF SUBSTANTIAL COMPLETION. FAILURE TO SUBMIT DRAWINGS

WILL RESULT IN THE WORK BEING UNDERTAKEN BY THE OWNER AND DEDUCTED FROM THE CONTRACTOR'S HOLD 1.22 SUBSTANTIAL AND TOTAL PERFORMANCE ARE THIS CONTRACTOR'S RESPONSIBILITY. CONSULTANT WILL RELEASE CAD DRAWINGS TO CONTRACTOR AFTER BACK AMOUNT. COST TO TRANSFER RECORD INFORMATION ONTO REPRODUCIBLE MEDIA & AUTO-CAD OR REVIT SIGNING A COPYRIGHT FORM. SHOULD THE CONTRACTOR CHOOSE TO UTILIZE THIS CONSULTANT FOR

CONSTRUCTION SET. THIS WILL COVER COSTS FOR DRAFTING TIME & PRINTING COSTS. **1.5 QUALITY OF WORK**

ALL WORK SHALL BE BY QUALIFIED TRADESMEN WITH VALID PROVINCIAL TRADE QUALIFICATION CERTIFICATES. SPOT CHECKS WILL BE MADE BY THE CONSULTANT. WORK WHICH DOES NOT CONFORM TO STANDARDS MAY BE REJECTED BY THE CONSULTANT. THE CONTRACTOR SHALL REDO REJECTED WORK TO THE ACCEPTED STANDARD AT NO COST TO THE OWNER.

1.6 METRIC CONVERSION

ALL UNITS ARE EXPRESSED IN SI UNITS. ON ALL SUBMITTALS (SHOP DRAWINGS ETC.) USE THE SAME SI UNITS AS RECORD DRAWINGS HAVE BEEN SUBMITTED. STATED IN THE SPECIFICATION

WHERE PIPES ARE SPECIFIED WITH METRIC DIMENSIONS AND IMPERIAL SIZED PIPES ARE AVAILABLE, PROVIDE EQUIVALENT NOMINAL IMPERIAL SIZED PIPE AS INDICATED IN THE TABLE, AND PROVIDE AT NO EXTRA COST ADAPTERS TO ENSURE COMPATIBLE CONNECTIONS TO ALL METRIC SIZED FITTINGS, EQUIPMENT AND PIPING. WHEN CSA APPROVED SI METRIC PIPES ARE PROVIDED, THE CONTRACTOR SHALL PROVIDE AT NO EXTRA COST ADAPTERS TO ENSURE COMPATIBLE CONNECTIONS BETWEEN THE SI METRIC PIPES AND ALL NEW AND EXISTING PIPES, FITTINGS, AND EQUIPMENT.

EQUIVALENT NOMINAL DIAMETER OF PIPES

15MM = NPS 1/2 20MM = NPS 3/4

25MM = NPS 1

30MM = NPS 1-1/4

40MM = NPS 1-1/2 50MM = NPS 2

65MM = NPS 2-1/2

75MM = NPS 3

100MM = NPS 4

150MM = NPS 6

200MM = NPS 8

THE METRIC DUCT SIZES ARE EXPRESSED AS 25 MM = 1 INCH.

.7 DRAWINGS AND SPECIFICATIONS

SHOULD ANY DISCREPANCY APPEAR BETWEEN DRAWINGS AND SPECIFICATIONS OBTAIN WRITTEN CLARIFICATION FROM THE CONSULTANT DURING THE TENDER PERIOD. WITHOUT A WRITTEN CLARIFICATION THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK OR MATERIALS SHALL BE ESTIMATED, PERFORMED AND FURNISHED WITHIN THE TENDERED PRICE.

1.8 CUTTING, PATCHING AND CORING

PROVIDE HOLES AND SLEEVES, CUTTING AND FITTING REQUIRED FOR MECHANICAL WORK. RELOCATE IMPROPERLY LOCATED HOLES AND SLEEVES. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES. OBTAIN WRITTEN APPROVAL FROM THE STRUCTURAL CONSULTANT BEFORE CUTTING OR BURNING STRUCTURAL

MEMBERS. 1.9 COMPLIANCE WITH ENERGY BY-LAW

ALL EQUIPMENT INSTALLED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ENERGY CODE OF CANADA FOR BUILDINGS - 2015, ASHRAE STANDARD 90.1 - 2016 AND THE CITY OF VANCOUVER BUILDING BY-LAW ENERGY UTILIZATION REQUIREMENTS.

1.10 INSTALLATION OF EQUIPMENT

PIPE ALL EQUIPMENT DRAINS TO BUILDING DRAINS EXCEPT SYSTEMS CONTAINING GLYCOL. UNIONS AND FLANGES SHALL BE PROVIDED IN PIPING OR DUCTWORK TO PERMIT EASY REMOVAL OF EQUIPMENT. LATCH, #4 SATIN STAINLESS STEEL FINISH.

MAINTAIN PERMANENT ACCESS TO EQUIPMENT FOR MAINTENANCE.

1.11 CONNECTIONS TO EXISTING SERVICES

MAINTAIN LIAISON WITH THE OWNER AND PROVIDE A MUTUALLY ACCEPTABLE SCHEDULE TO INTERRUPT, REROUTE, OR CONNECT TO EXISTING BUILDING SERVICES WITH THE MINIMUM OF INTERRUPTION OF THOSE SERVICES.

1.12 SELECTIVE DEMOLITION

REMOVE FROM SITE ALL EQUIPMENT, DUCTING OR PIPING WHICH IS NO LONGER REQUIRED BECAUSE OF WORK FIRE RATED WALLS COMBUSTIBLE CONSTRUCTION: INSULATED STEEL DOOR (20GA) FOR MAXIMUM 250°C RI UNDER THIS CONTRACT. EXCEPT AS OTHERWISE STATED, SALVAGEABLE MATERIALS FROM AREA OF DEMOLITION AFTER 30 MINUTES AND STEEL FRAME (16GA), DOOR FLUSH TO FRAME EDGE, 25MM MOUNTING FRAME WITI SHALL BECOME THE PROPERTY OF THE OWNER AT HIS DISCRETION.

THE INTENT IS FOR A HAZ-MAT CONTRACTOR TO REMOVE ALL ASBESTOS CONTAINING MATERIAL PRIOR TO THE PROPOSED PROJECT WORK TAKING PLACE. NOTIFY THE CONSULTANT IF ASBESTOS CONTAINING MATERIAL IS SUSPECTED TO REMAIN ON SITE.

1.13 EQUIPMENT AND MATERIALS

WHERE TWO OR MORE PRODUCTS OF THE SAME TYPE ARE REQUIRED, PRODUCTS SHALL BE OF THE SAME MANUFACTURER.

NOTIFY THE CONSULTANT IN WRITING TEN (10) DAYS PRIOR TO THE TENDER CLOSE. ANY MATERIALS OR EQUIPMENT SPECIFIED WHICH IS NOT CURRENTLY AVAILABLE OR WILL NOT BE AVAILABLE FOR USE AS CALLED

FOR HEREIN. FAILING THIS, THE CONTRACT WILL ASSUME THAT THE MOST EXPENSIVE ALTERNATE HAS BEEN NCLUDED IN THE TENDER PRICE.

APPROVED EQUIVALENTS AND/OR ALTERNATIVES TO SPECIFIED PRODUCTS SHALL BE EQUAL TO THE SPECIFIED PRODUCT IN EVERY RESPECT, OPERATE AS INTENDED, AND MEET THE SPACE, CAPACITY, AND NOISE REQUIREMENTS OUTLINED.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY ADDITIONAL LABOUR AND MATERIALS REQUIRED BY ANY TRADES OR OTHER CONTRACTORS TO ACCOMMODATE THE USE OF OTHER THAN SPECIFIED MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL BEAR ANY AND ALL COSTS FOR DESIGN/SYSTEM MODIFICATIONS TO ACCOMMODATE THE "ALTERNATE" EQUIPMENT. EXTRAS WILL NOT BE APPROVED TO COVER SUCH WORK.

1.14 DELIVERY, STORAGE AND HANDLING

STORE MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS IN A CLEAN, DRY, WELL-VENTILATED AREA. REPLACE DEFECTIVE OR DAMAGED MATERIALS WITH NEW.

1.15 FIRESTOPPING AND SMOKE SEAL

PROVIDE FIRESTOPPING SYSTEM(S) TO PROVIDE AND MAINTAIN A FIRE RESISTANCE RATING, AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH UL, WH, ULC, CUL OR FM DESIGN DETAILS FOR ALL MECHANICAL WORK IN DIVISIONS 21, 22, 23 AND 25

FOR RENOVATION PROJECTS, IN ADDITION TO THE NECESSARY NEW PENETRATIONS, PROVIDE THE FIRESTOPPING DEFLECTION 2.5 MM (0.1") OR GREATER. ACCEPTABLE MANUFACTURER: MASON WMSW OR EQUAL FOR ALL EXISTING MECHANICAL ASSEMBLIES WHERE FIRESTOPPING IS DAMAGED, DISCONTINUED OR ABSENT WITHIN THE CONSTRUCTION AREA.

IS DIFFICULT.

1.18 GUARANTEE / WARRANTY

1.19 BALANCING

OUT WORK. CONSULT WITH RESPECTIVE DIVISIONS IN SETTING OUT LOCATIONS FOR DUCTWORK, EQUIPMENT, LTD., HYDRO-AIR TECHNICAL SERVICES, PERFECTION-AIRE LTD., AND TABTEK AIR & HYDRONICS LTD. BALANCE FAN-COIL UNITS, HEAT PUMPS, EXHAUST FANS AND AIR OUTLETS TO AIR QUANTITIES INDICATED C DRAWINGS AND IN THIS SPECIFICATION. WHERE OUTLET QUANTITIES ARE NOT INDICATED, DIVIDE FAN-COIL PUMP CAPACITY EQUALLY AMONG ALL OUTLETS.

HYDRONIC-PUMPS AND CENTRAL EQUIPMENT ±5%

1.20 COMMISSIONING AND DEMONSTRATION

PROVIDE ADJUSTABLE LIMIT STOPS FOR SPRING ISOLATION MOUNTS ON EQUIPMENT WITH OPERATING WEI SUBSTANTIALLY DIFFERENT FROM THE INSTALLED WEIGHTS RECORD DRAWINGS: USE FINAL SITE RECORD TO ELECTRONICALLY PRODUCE CAD AND PDF FILES THUS FORMING ALL SPRING ISOLATORS SHALL BE "OPEN SPRING" UNLESS OTHERWISE STATED. SEISMICALLY RATED HOUS

WHICH ARE DEFICIENT. TRANSFERRING AS BUILT INFORMATION TO RECORD DRAWINGS, ALLOW \$400 / SHEET FOR ALL DRAWINGS IN THE A CERTIFICATE OF SUBSTANTIAL PERFORMANCE WILL NOT BE GRANTED UNLESS THE FOLLOWING ITEMS AF

2. PRODUCTS

SOUND TRANSMISSION COEFFICIENT (STC) RATINGS TESTED TO ASTM E90-09 TO ACHIEVE STC RATINGS AS REQUIRED BY ARCHITECTURAL DRAWINGS.	OR GREATER AND ALL DIRECTIONAL SEISMIC CAPABILITY. ACCEPTABLE MANUFACTURER: MASON RAA OR ND OR EQUAL	2.7 GRILLES, LOUVERS AND DIFFUSERS	1.4 EXAMINATION OF EXISTING SYSTEM THIS PROJECT INVOLVES RENOVATION TO AN EXISTING CONTROL SYSTEM. THE CONTRACTOR SHALL INSPECT	
ALL FIRESTOP SYSTEM INSTALLATIONS MUST MEET THE REQUIREMENTS OF CAN4-S115-M OR ULC S-115-M TESTED ASSEMBLIES THAT PROVIDE A FIRE RATING	SPRING FLOOR MOUNTS: SPRING ISOLATORS BUILT INTO A DUCTILE IRON OR STEEL HOUSING TO PROVIDE ALL DIRECTIONAL SEISMIC SNUBBING. THE SNUBBER SHALL BE ADJUSTABLE VERTICALLY AND ALLOW A MAXIMUM OF AMM (1/4") TRAVEL IN ALL DIRECTIONS RECORD CONTACTING THE RESULTS SNUBBING. COLLARS, MOUDED.	ACCEPTABLE MANUFACTURES FOR AIR TERMINALS. E.H. FRICE, TITUS, ANEMOSTAT, NAILOR. ACCEPTABLE MANUFACTURERS FOR LOUVERS: AIROLITE, PENN, AIRSTREAM, WEST VENT, NAILOR, RUSKIN.	THE SYSTEM PRIOR TO TENDER CLOSE AND INCLUDE IN HIS BID ALL CONTROL COMPONENTS REQUIRED TO PROVIDE A FULLY OPERATIONAL SYSTEM INCLUDING REPLACEMENT OF EXISTING DEFECTIVE COMPONENTS	AMEGroup
1.16 ACCESS DOORS PROVIDE ACCESS DOORS FOR MAINTENANCE OR ADJUSTMENT OF ALL PARTS OF THE MECHANICAL SYSTEM.	NEOPRENE CUP OR 1/4" (6MM) NEOPRENE ACOUSTICAL FRICTION PAD BETWEEN THE BASEPLATE AND THE SUPPORT. SPRING DIAMETERS SHALL BE NO LESS THAN 0.8 OF THE COPRESSED HEIGHT OF THE SPRING AT	PROVIDE BAFFLES TO DIRECT AIR AWAY FROM WALLS, COLUMNS OR OTHER OBSTRUCTIONS WITHIN THE RADIUS OF DIFFUSER OPERATION.	WHERE NOTED IN THE PROJECT DOCUMENTS.	710 - 1122 4th Street SW Calgary AB, T2R 1M1
PROVIDE 300 MM X 300 MM MINIMUM SIZE FOR INSPECTION AND HAND ACCESS. 600 MM X 600 MM MINIMUM SIZE, LARGER IF INDICATED ON DRAWINGS, WHERE ENTRY IS REQUIRED AND ACCESS	RATED LOAD. SPRINGS SHALL HAVE A MINIMUM ADDITIONAL TRAVEL TO SOLID EQUAL TO 50% OF THE RATED DEFLECTION.	PROVIDE PLASTER FRAME FOR DIFFUSERS LOCATED IN PLASTER SURFACES AND ANTI-SMUDGE FRAMES OR PLAQUES ON DIFFUSERS LOCATED IN ROUGH TEXTURED SURFACES SUCH AS ACOUSTICAL PLASTER.	DESIGN AND PROVIDE CONDUIT AND WIRING LINKING ELEMENTS OF SYSTEM TO THE EXISTING BUILDING ENERGY MONITORING AND CONTROL SYSTEM EMCS.	T. 403-252-2333 amegroup.ca
1.17 ESCUTCHEONS AND PLATES	SPRING HANGERS: HANGERS SHALL CONSIST OF RIGID STEEL FRAMES CONTAINING MINIMUM 32MM (1 1/4") THICK NEOPRENE ELEMENTS AT THE TOP AND A STEEL SPRING SEATED IN A STEEL WASHER REINFORCED NEOPRENE	PROVIDE 30 MM MARGIN FRAME ON GRILLES WITH [COUNTERSUNK SCREW HOLES] [CONCEALED FASTENING]. PROVIDE OPPOSED BLADE BALANCE DAMPER, ACCESSIBLE FROM GRILLE FACE ON ALL GRILLES LOCATED IN	SUPPLY SUFFICIENT PROGRAMMABLE CONTROLLERS OF TYPES TO MEET PROJECT REQUIREMENTS. QUANTITY AND POINTS CONTENTS AS REVIEWED BY CONSULTANT PRIOR TO INSTALLATION.	COPYRIGHT RESERVED
PROVIDE ESCUTCHEONS AND PLATES ON ALL PIPING AND DUCTWORK PASSING THROUGH FINISHED WALLS, FLOORS, AND CEILINGS.	CUP ON THE BOTTOM. PROVIDE A COMBINATION RUBBER AND STEEL REBOUND WASHER AS THE SEISMIC UPSTO FOR SUSPENDED PIPING, DUCTWORK AND EQUIPMENT. RUBBER THICKNESS SHALL BE A MINIMUM OF 6MM (1/4"). COLOUR CODED SPRINGS. RUST RESISTANT. PAINTED BOX TYPE HANGERS. TO MAINTAIN STABILITY THE BOXES	P DRYWALL CEILINGS OR BULKHEADS. ALL GRILLES AND DAMPERS SHALL BE ALUMINUM IN WET AREAS (I.E. SHOWERS, AQUATIC AREAS, DISHWASHING	PROVIDE UTILITY POWER TO EMCS AS INDICATED.	for the project named below. This page or any portion thereof shall only be reproduced with express written permission.
1.18 GUARANTEE / WARRANTY FURNISH A WRITTEN GUARANTEE STATING THAT ALL WORK EXECUTED IN THIS CONTRACT WILL BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL	SHALL NOT BE ARTICULATED AS CLEVIS HANGERS NOR THE NEOPRENE ELEMENT STACKED ON TOP OF THE SPRING.	ETC.) IN GYMNASIUM, AQUATIC CENTRES, FRONT BLADES SHALL BE FRONT PIVOTED, WELDED IN PLACE OR SECURELY	2. PRODUCTS 2.1 CONTROL	REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK.
PERFORMANCE.	ACCEPTABLE MANUFACTURER: MASON HD, HS OR EQUAL ALTERNATE VIBRATION ISOLATION ACCEPTABLE MANUFACTURERS, KORFUND, VIBRO-ACOUSTICS	FASTENED TO BE IMMOBILE. FABRICATE GOOSENECKS OF MINIMUM 1.3 MM (18 GA.) GALVANIZED STEEL. MOUNT ON MINIMUM 300 MM (12 IN.)	PROVIDE NEW CONTROL WHERE INDICATED OF BUILDING STANDARD TYPE. ENSURE OPERATING CHARACTERISTICS ARE COMPATIBLE WITH CONTROL COMPONENTS.	THESE DRAWINGS ARE NOT TO BE SCALED.
THE APPROVED BALANCING AGENCIES ARE: BIG SKY BALANCING CO., ENVIRO-METRICS TECHNICAL SERVICES LTD., HYDRO-AIR TECHNICAL SERVICES, PERFECTION-AIRE LTD., AND TABTEK AIR & HYDRONICS LTD.	3. EXECUTION 3.1 PAINTING REPAIRS AND RESTORATION	HIGH CURB BASE WHERE SIZE EXCEEDS 225 MM X 225 MM (9 IN. X 9 IN). REFER TO GRILLES AND DIFFUSER SCHEDULE FOR TYPES AND CAPACITIES.	ALL CONTROL TO BE WALL OR COLUMN MOUNTED TO MATCH EXISTING BASE BUILDING MOUNTING HEIGHT UNLESS SPECIFICALLY NOTED OTHERWISE.	1. 2024.01.02 ISSUED FOR 50% REVIEW
BALANCE FAN-COIL UNITS, HEAT PUMPS, EXHAUST FANS AND AIR OUTLETS TO AIR QUANTITIES INDICATED ON THE DRAWINGS AND IN THIS SPECIFICATION. WHERE OUTLET QUANTITIES ARE NOT INDICATED, DIVIDE FAN-COIL HEAT	DO PAINTING IN ACCORDANCE WITH DIVISION 09 - INTERIOR PAINTING. PRIME AND TOUCH UP MARRED FINISHED PAINTWORK TO MATCH ORIGINAL. RESTORE TO NEW CONDITION, FINISHES WHICH HAVE BEEN DAMAGED.	2.14 EQUIPMENT ALL EQUIPMENT SHALL BE CSA APPROVED FOR ITS INTENDED USE.	ALL CONTROL, EXISTING AND NEW, ARE TO BE CALIBRATED PRIOR TO AIR BALANCING. CONTACT BUILDING OWNER IF AN EXISTING CONTROL NEEDS REPLACING.	2. 2024.01.22 ISSUED FOR 80% REVIEW 3. 2024.03.07 ISSUED FOR TENDER
SUBMIT [TWO (2) COPIES] [A PDF COPY] OF THE REPORT TO THE CONSULTANT WITHIN TWO (2) WEEKS AFTER SUBSTANTIAL COMPLETION FAILURE TO SUBMIT THE REPORT WITHIN THE SPECIFIED TIME WILL RESULT IN THE	CLEAN EXPOSED BARE METAL SURFACES SUPPLIED UNDER DIVISIONS 21, 22, 23 AND 25. APPLY AT LEAST ONE COAT OF CORROSION RESISTANT PRIMER PAINT TO ALL SUPPORTS AND EQUIPMENT FABRICATED FROM FERROU	NLINE BELT DRIVEN EXHAUST FAN: WHEEL STATICALLY AND DYNAMICALLY BALANCED TO AMCA STANDARD, TEFC MOTORS, PERMANENTLY LUBRICATED, HEAVY DUTY BEARINGS OR PILLOW BLOCK BALL BEARINGS, BEARING	2.2 CONTROL COMPONENT PROVIDE CONTROL VALVES AND DAMPER ACTUATORS AS REQUIRED TO MEET THE SEQUENCE OF OPERATION	4. 2024.07.09 REISSUED FOR TENDER
WORK BEING DONE BY THE OWNER AND THE COSTS DEDUCTED FROM FINAL PAYMENT. BALANCING SHALL BE PERFORMED TO THE FOLLOWING:	METAL. 3.2 DEMONSTRATION	SHALL BE SELECTED FOR A MINIMUM L10 LIFE IN EXCESS OF 100,000 HOURS. (EQUIVALENT TO L50 AVERAGE LIFE OF 500,000 HOURS). HEAVY GAUGE GALVANIZED STEEL HOUSING. RECTANGULAR CONSTRUCTION INCLUDING	AND MEET THE DESIGN INTENT. VALVES AND ACTUATORS SHALL MATCH THE BASE BUILDING STANDARD UNLESS NOTED OTHERWISE.	
AIR-TERMINAL OUTLETS±10%AIR-CENTRAL EQUIPMENT±5%	SUPPLY TOOLS, EQUIPMENT, PERSONNEL TO DEMONSTRATE AND INSTRUCT THE OPERATING, AND MAINTENANCE PERSONNEL IN OPERATING, CONTROLLING, ADJUSTING, TROUBLE-SHOOTING, AND SERVICING OF ALL SYSTEMS AND FOURPMENT DURING REGULAR WORK HOURS, PRIOR TO ACCEPTANCE	RECTANGULAR DUCT MOUNTING COLLARS. DRIVE FRAME ASSEMBLIES SHALL BE CONSTRUCTED OF HEAVY GAUGE STEEL AND MOUNTED ON VIBRATION ISOLATORS. ADJUSTABLE BELT DRIVE, PULLEYS, AND KEYS	CONTROL VALVES FOR NEW MECHANICAL EQUIPMENT SHALL BE PROVIDED BY CONTROLS CONTRACTOR FOR INSTALLATION BY THE MECHANICAL CONTRACTOR.	
HYDRONIC-PUMPS AND CENTRAL EQUIPMENT ±5% PROVIDE A DROP TEST OF ALL FIRE DAMPERS AND A LETTER/CERTIFICATE CONFIRMING THIS WORK	3.3 ACCESS DOORS	OVERSIZED FOR A MINIMUM OF 150 PERCENT OF DRIVEN HORSEPOWER. PROVIDE A MOTORIZED DAMPER TO PREVENT OUTSIDE AIR FROM ENTERING BACK INTO THE BUILDING WHEN FAN IS OFF. PROVIDE A NEMA 4	WHERE EXISTING DEVICES ARE RE-USED, VERIFY OPERATION AND RE-CALIBRATE AS REQUIRED.	
COOPERATE WITH THE BALANCING AGENCY AND MAKE ANY CORRECTIONS AS REQUIRED BY BALANCING AGENCY. PROVIDE BALANCING VALVES AND DAMPERS, PULLEYS, SHEAVES FTC, AS REQUESTED BY THE BALANCING	RESPONSIBLE FOR COORDINATING LOCATIONS, CUTTING OPENING AND INSTALLING PANELS. ANY SECONDARY SUPPORTS, BLOCKING ETC. WILL BE BY THE CEILING OR WALL CONTRACTOR. ENSURE THAT EQUIPMENT IS WITHIN	ACCEPTABLE MANUFACTURERS: COOK, GREENHECK	CONTROL VALVES AND ACTUATORS TO BE COMPATIBLE WITH BASE BUILDING STANDARD UNLESS NOTED	
AGENCY AND/OR NECESSARY TO PROPERLY ADJUST OR CORRECT THE SYSTEMS TO DESIGN FLOWS, WITHOUT ADDITIONAL COST TO OWNER.	VIEW AND ACCESSIBLE FOR OPERATING, INSPECTING, ADJUSTING, SERVICING WITHOUT USING SPECIAL TOOLS. 3.4 VIBRATION ISOLATION	CAPACITY AS SCHEDULED. EXHAUST FAN: CEILING MOUNT, ENERGY STAR® RATED WITH BUILT-IN SPEED SELECTOR. THE MOTOR SHALL BE	REPORT ANY EXISTING CONTROL VALVE OPERATION TO BE COMPATIBLE WITH EXISTING.	
1.20 COMMISSIONING AND DEMONSTRATION BE RESPONSIBLE FOR THE PERFORMANCE AND COMMISSIONING OF ALL EQUIPMENT SUPPLIED AND RE-USED	NEOPRENE WASHER/BUSHING: ISOLATE VARIABLE FREQUENCY DRIVE CONTROLLER USING NEOPRENE WASHER/BUSHING ISOLATORS OR SOFT GROMMETS SUCH THAT STRUCTURE BORNE NOISE TRANSMISSION TO	TOTALLY ENCLOSED, FOUR POLE CONDENSER TYPE ENGINEERED TO RUN CONTINUOUSLY. POWER RATING SHALL BE 120V/60HZ. HOUSING MATERIAL SHALL BE NO LESS THAN 26 GAUGE GALVANIZED STEEL WITH RUST	MANAGEMENT OR VIA CHANGE ORDER, AT THE DISCRETION OF THE OWNER.3. CONTROLS	
UNDER DIVISIONS 22 AND 23 [INCLUDING [AIR VALVES] [FAN-COIL UNITS,] [HEAT PUMPS,] [PLUMBING FIXTURES,] [AND TANKS]].	RUBBER FLOOR MOUNTS: MOUNT IN-LINE PUMPS ON TWO (2) RUBBER FLOOR MOUNT ISOLATORS UNDER EACH SUPPORT FOOT, FOR EQUIPMENT MOUNTED ON A SLAB ON GRADE MOUNT ON RUBBER FLOOR MOUNT ISOLATORS	PROOF EPOXY AND FORWARD CURVED CENTRIFUGAL WHEEL, GALVANIZED STEEL OR CALCIUM CARBONATE FILLED POLYPROPYLENE,	TRANSFER AIR FANS WILL BE BMS CONTROLLED. FANS TF-1, TF-2 TO OPERATE WHEN BUILDING IS IN OCCUPIED MODE.	
AND ASSOCIATED CONTROL DEVICES IN THE RENOVATED AREA. SUBMIT REPORT NOTING ANY REMEDIAL WORK REQUIRED.	UNLESS OTHERWISE SPECIFIED. PROVIDE PROTECTION OF THE RUBBER ELEMENT FROM CONTACT WITH OIL IN THE MECHANICAL ROOM.	STATICALLY AND DYNAMICALLY BALANCED TO AMCA STANDARDS. ACCEPTABLE MANUFACTURERS: PANASONIC	BMS TO MODULATE TRANSFER AIR FAN TO MAINTAIN A STATIC AIR PRESSURE AT PRESSURE SENSOR P-2 OF -25 PA IN RELATION TO PRESSURE SENSOR P-1.	
AT THE CONCLUSION OF COMMISSIONING, DEMONSTRATE THE OPERATION OF THE SYSTEMS TO THE CONSULTANT AND THEN TO THE OWNER'S OPERATING STAFF.	SPRING FLOOR MOUNTS: ISOLATE ALL FLOOR OR PIER MOUNTED EQUIPMENT ON SPRING FLOOR MOUNT ISOLATORS, UNLESS OTHERWISE SPECIFIED.	CAPACITY AS SCHEDULED.	BMS TO MODULATE TRANSFER AIR FAN TO MAINTAIN A STATIC AIR PRESSURE AT PRESSURE SENSOR P-3 OF -25 PA IN RELATION TO PRESSURE SENSOR P-1.	
AT THE COMPLETION OF THE COMMISSIONING, TESTING, BALANCING AND DEMONSTRATION SUBMIT TO THE CONSULTANT A LETTER CERTIFYING THAT ALL WORK SPECIFIED UNDER THIS CONTRACT IS COMPLETE, CLEAN AND OPERATIONAL IN ACCORDANCE WITH THE SPECIFICATION AND DRAWINGS.	POSSIBLE. INSTALLATION SHALL PERMIT HANGER BOX OR ROD TO MOVE THROUGH A 30 DEGREES ARC WITHOUT METAL TO METAL CONTACT. ALL DISCHARGE DUCTWORK RUNS FOR A DISTANCE OF 15M (50') FROM THE	3. EXECUTION 3.1 DUCTWORK AND ACCESSORIES		
1.21 VIBRATION ISOLATION PROVIDE NEOPRENE ISOLATORS FOR DEFLECTIONS 6MM (1/4") AND UNDER.	CONNECTED EQUIPMENT SHALL BE ISOLATED FROM THE BUILDING STRUCTURE BY MEANS OF SPRING HANGERS. SPRING DEFLECTION SHALL BE A MINIMUM OF 19MM (0.75").	FABRICATE DUCTWORK IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE, NFPA 90A STANDARD FOR THE INSTALLATION OF AIR-CONDITIONING AND VENTILATING SYSTEMS, AND		
PROVIDE EITHER NEOPRENE OR STEEL SPRING ISOLATORS FOR DEFLECTIONS BETWEEN 6MM AND 12MM (½"). PROVIDE STEEL SPRING ISOLATORS FOR DEFLECTIONS OF 12MM (½") AND OVER.	DIVISION 23 HVAC	NFPA 90B STANDARD FOR THE INSTALLATION OF WARM AIR HEATING AND AIR-CONDITIONING SYSTEMS PRIOR TO FABRICATION OF DUCTWORK, CHECK ALL CEILING SPACES AND HEIGHTS AND CONFLICTS WITH OTHER		
PROVIDE ADJUSTABLE LIMIT STOPS FOR SPRING ISOLATION MOUNTS ON EQUIPMENT WITH OPERATING WEIGHTS SUBSTANTIALLY DIFFERENT FROM THE INSTALLED WEIGHTS	1. GENERAL 1.1 GRILLES LOUVERS AND DIFFUSERS	TRADES. DUCT SIZES INDICATED ARE INSIDE CLEAR DIMENSIONS. FOR ACOUSTICALLY LINED OR INTERNALLY INSULATED		
ALL SPRING ISOLATORS SHALL BE "OPEN SPRING" UNLESS OTHERWISE STATED. SEISMICALLY RATED HOUSED SPRING ISOLATORS MAY BE USED IN LIEU PROVIDED THAT THEY MEET THIS PROJECT'S REQUIREMENTS FOR	AIRFLOW TESTS AND SOUND LEVEL MEASUREMENT SHALL BE MADE IN ACCORDANCE WITH APPLICABLE ADC	DUCTS ALLOW FOR INSULATION THICKNESS AND MAINTAIN INTERIOR CLEAR DIMENSIONS INDICATED. CONNECT OUTLET TERMINALS TO LOW PRESSURE DUCTS WITH 900MM (36") MAXIMUM LENGTH OF STRETCHED		
SEISMIC RESTRAINT. SELECT ISOLATORS IN ACCORDANCE WITH EQUIPMENT WEIGHT DISTRIBUTION TO ALLOW FOR AN AVERAGE DEELECTION MEETING OR EXCEEDING THE SPECIFIED DEELECTION REQUIREMENTS AND SO THAT NO ISOLATOR	MANUFACTURER SHALL CERTIFY CATALOGUED PERFORMANCE AND ENSURE CORRECT APPLICATION OF AIR	FLEXIBLE DUCT. HOLD IN PLACE WITH STRAP OR CLAMP, CAULK SEALED. DO NOT USE FLEXIBLE DUCT TO CHANGE DIRECTIONS.		
HAS A DEFLECTION LESS THAN 80% OF THE STATIC DEFLECTION SPECIFIED. A MINIMUM OF 4 ISOLATORS ARE REQUIRED FOR EACH PIECE OF EQUIPMENT, UNLESS SPECIFIED OTHERWISE.	OUTSIDE LOUVERS SHALL BEAR AMCA SEAL FOR FREE AREA AND WATER PENETRATION.	PROVIDE A FLEXIBLE CONNECTION WHERE LOW PRESSURE DUCTS ARE CONNECTED TO FAN EQUIPMENT, TERMINAL BOXES OR ANY OTHER APPARATUS. JOINT SHALL BE SCREWED OR BOLTED FLEXIBLE GASKETED JOINT,		
1.22 SUBSTANTIAL AND TOTAL PERFORMANCE PRIOR TO REQUESTING AN INSPECTION FOR SUBSTANTIAL PERFORMANCE, PROVIDE A COMPLETE LIST OF ITEMS,	PROJECT CONDITIONS: REVIEW REQUIREMENTS OF OUTLETS AS TO SIZE, FINISH AND TYPE OF MOUNTING PRIOR TO SUBMITTING SHOP DRAWINGS AND SCHEDULES OF OUTLETS. POSITIONS INDICATED ARE APPROXIMATE ONLY	MINIMUM 50MM (2") WIDE. . PROVIDE FIRE DAMPERS WHERE DUCTS CROSS FIRE SEPARATIONS. FIRE DAMPERS SHALL BE ULC LISTED AND		
WHICH ARE DEFICIENT. A CERTIFICATE OF SUBSTANTIAL PERFORMANCE WILL NOT BE GRANTED UNLESS THE FOLLOWING ITEMS ARE	ARCHITECTURAL FEATURES, SYMMETRY, AND LIGHTING ARRANGEMENT.	"DYNAMIC"; RATED TO CLOSE UNDER AIRFLOW. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATION RATINGS AND LOCATIONS.		
COMPLETED AND AVAILABLE TO THE OWNER'S CONSULTANT: FINAL GAS INSPECTION CERTIFICATE FROM THE AUTHORITY HAVING JURISDICTION.	2. PRODUCTS 2.1 DUCTWORK AND ACCESSORIES	PROVIDE BALANCING DAMPERS WHERE INDICATED ON DRAWINGS AND AT POINTS ON LOW PRESSURE SUPPLY, RETURN AND EXHAUST DUCTS WHERE BRANCHES ARE TAKEN FROM LARGER DUCTS.		
DRAFT OPERATING/MAINTENANCE MANUALS HAVE BEEN SUBMITTED FOR REVIEW. ALL MECHANICAL SYSTEMS HAVE BEEN COMMISSIONED AND ARE CAPABLE OF OPERATION WITH ALARM	PROVIDE DUCTWORK CONSTRUCTED, REINFORCED, SEALED, AND INSTALLED TO WITHSTAND 1-½ TIMES THE WORKING STATIC PRESSURE.	MODIFY CEILING SYSTEM WHERE REQUIRED TO ACCOMMODATE GRILLES AND DIFFUSERS. SIZE ROUND DUCTS, INSTALLED IN PLACE OF RECTANGULAR DUCTS, FROM ASHRAE TABLE OF EQUIVALENT		
AIR AND WATER SYSTEMS HAVE BEEN BALANCED WITH DRAFT REPORT SUBMITTED TO THE CONSULTANT.	PROVIDE LOW PRESSURE DUCTWORK 500 PA (2" W.G.) FOR SUPPLY DUCTWORK AND PLENUMS ON SYSTEMS WITHOUT TERMINAL MIXING BOXES OR AIR VALVES, SUPPLY DUCTWORK DOWNSTREAM FROM TERMINAL MIXING	RECTANGULAR AND ROUND DUCTS. NO VARIATION OF DUCT CONFIGURATION OR SIZES PERMITTED EXCEPT BY PERMISSION FROM THE CONSULTANT.		
RECORD DRAWINGS HAVE BEEN SUBMITTED.	BOXES OR AIR VALVES, OUTDOOR AIR DUCTWORK AND PLENUMS, RETURN AIR DUCTWORK AND PLENUMS, EXHAUST AND RELIEF AIR DUCTWORK AND PLENUMS, UNLESS NOTED OTHERWISE.	EXPOSED ROUND DUCTWORK TO BE SPIRAL LOCK SEAM TYPE ONLY. PROVIDE DUCT HANGERS AND SUPPORTS IN ACCORDANCE WITH SMACNA MANUALS.		
ALL PREVIOUSLY IDENTIFIED DEFICIENCIES HAVE BEEN CORRECTED AND ACCEPTED. PRIOR TO A TOTAL PERFORMANCE INSPECTION PROVIDE DECLARATION IN WRITING THAT SUBSTANTIAL PERFORMANCE DEFICIENCIES HAVE BEEN CORRECTED AND FINAL TAB REPORTS AND 0.8M MANUALS HAVE BEEN	LOW PRESSURE INSULATED FLEXIBLE DUCTWORK SHALL BE EQUAL TO THERMAFLEX TYPE M-KC. PROVIDE MEDIUM PRESSURE DUCTWORK TO 1000 PA (4"W.G.) FOR SUPPLY AIR DUCTWORK DOWNSTREAM FROM	CONFIRM THE EXISTING BASE BUILDING STANDARDS PRIOR TO SUBMITTING TENDER.		
SUBMITTED. THE CONSULTANT SHALL PROVIDE ONE (1) VISITATION FOR THE PURPOSE OF TOTAL PERFORMANCE INSPECTION.	SUPPLY AIR HANDLING UNITS DISCHARGE, TO TERMINAL MIXING BOXES OR AIR VALVES, EXHAUST AND RETURN AIR DUCTWORK DOWNSTREAM OF RETURN/EXHAUST AIR VALVES TO THE RETURN/EXHAUST FANS AND	3.2 DUCT HANGERS AND SUPPORTS		
SUBSEQUENT VISITATIONS IF REQUIRED SHALL BE AT THE EXPENSE OF THE CONTRACTOR.	DISCHARGE DUCTWORK FROM THE RETURN/EXHAUST FANS TO THE AIR HANDLING UNITS AND/OR RELIEF OPENING.	DUCT SUPPORT SHALL BE: UP TO 750MM DUCT SIZE: ANGLE SIZE 25X25X3 MM WITH 6MM ROD SIZE		
2.1 ACCEPTABLE MANUFACTURERS	WHERE FLEXIBLE AIR DUCTS ARE USED TO CONNECT TERMINAL MIXING BOXES OR AIR VALVES TO METAL DUCTS, THE FLEXIBLE AIR DUCTS SHALL BE RATED FOR 30.5 M/S (6000 FPM) VELOCITY AND 2500 PA (10" W.G.). MAXIMUM	751 TO 1050MM DUCT SIZE: ANGLE SIZE 40X40X3 MM WITH 6MM ROD SIZE		
AND PERFORMANCE CHARACTERISTICS OF THE SPECIFIED PRODUCT. THE LIST DOES NOT ENDORSE THE ACCEPTABILITY OF ALL PRODUCTS AVAILABLE FROM THE LISTED MANUFACTURERS/SUPPLIERS.	STRETCHED LENGTH OF FLEXIBLE AIR DUCT SHALL BE 300 MM (12"). DO NOT USE FLEXIBLE DUCT TO CHANGE DIRECTION. WHERE FLEXIBLE AIR DUCTS ARE ATTACHED TO METAL INSULATED DUCT, FURNISH FLEXIBLE AIR DUCTS WITH FIBERGLASS WOOL INSULATION AND METALIZED. JACKET. THERMAFLEX M.KC. OR FOLIAL	1501 TO 2100MM DUCT SIZE: ANGLE SIZE 50X50X3 MM WITH 10MM ROD SIZE		CONSULTANT
IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PRODUCTS SUPPLIED ARE EQUAL TO THE SPECIFIED PRODUCTS IN EVERY RESPECT, OPERATE AS INTENDED, AND MEET THE PERFORMANCE SPECIFICATIONS AND PHYSICAL DIMENSIONS OF THE SPECIFIED PRODUCT.	2.2 DUCT SEALING	2101 TO 2400MM DUCT SIZE: ANGLE SIZE 50X50X5 MM WITH 10MM ROD SIZE 2401 AND OVER DUCT SIZE: ANGLE SIZE 50X50X6 MM WITH 10MM ROD SIZE		CONSULIANI.
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY ADDITIONAL WORK OR MATERIALS, TO ACCOMMODATE THE USE OF EQUIPMENT FROM THE ACCEPTABLE MANUFACTURERS AND SUPPLIERS LISTED.	DUCT SEALING LOW PRESSURE DUCTWORK 500 PA (2" W.G.) AND UNDER SHALL BE SMACNA SEAL CLASS A. SEAL ALL SUPPLY, RETURN AND EXHAUST DUCT JOINTS, LONGITUDINAL AS WELL AS TRANSVERSE JOINTS AS FOLLOWS	UPPER HANGER ATTACHMENTS SHALL BE: 5: FOR CONCRETE: MANUFACTURED CONCRETE INSERTS.		
2.2 FIRESTOPPING AND SMOKE SEALS USE THE SAME MANUFACTURER THROUGHOUT THE PROJECT AND COMPATIBLE MATERIALS FOR RESTORATION	SLIP JOINTS: APPLY HEAVY BRUSH-ON HIGH PRESSURE DUCT SEALANT. APPLY SECOND APPLICATION AFTER THI FIRST APPLICATION HAS COMPLETELY DRIED OUT. WHERE METAL CLEARANCE EXCEEDS 1.5 MM (1/16") USE	E FOR STEEL JOIST: MANUFACTURED JOIST CLAMP.		
WORK. PROVIDE FILL MATERIAL COMPONENTS FOR EACH FIRESTOPPING SYSTEM AS NEEDED. USE ONLY COMPONENTS	FLANGED JOINTS: SOFT ELASTOMER BUTYL OR EXTRUDED FORM OF SEALANT BETWEEN FLANGES FOLLOWED BY	7 3.5 DUCT AND PLENUM INSULATION		PERMIT to PRACTICE
SPECIFIED BY THE FIRESTOPPING MANUFACTURER FOR THE DESIGNATED FIRE-RESISTANCE-RATED SYSTEMS. ACCEPTABLE MANUFACTURERS: 3M, HILTI, AD FIREBARRIER, TREMCO	AN APPLICATION OF HEAVY BRUSH-ON HIGH PRESSURE DUCT SEALANT. OTHER JOINTS: HEAVY MASTIC TYPE SEALANT.	INSTALL ALL DUCTWORK INSULATION TO THE THERMAL INSULATION ASSOCIATION OF CANADA BEST PRACTICES GUIDE.		Paul Paul
2.3 PIPE HANGERS AND SUPPORTS PROVIDE HANGERS AND SUPPORTS TO SECURE EQUIPMENT IN PLACE, PREVENT VIBRATION, PROTECT AGAINST	DUCT SEALING MEDIUM PRESSURE DUCTWORK TO 1000 PA (4"W.G.) SHALL BE THE SAME AS 500 PA DUCTWORK EXCEPT PROVIDE A COMBINATION OF WOVEN FABRICS AND SEALING COMPOUND FOLLOWED BY AN APPLICATION	DUCT INSULATION MINIMUM THICKNESS TABLE (ASHRAE 90.1 ZONE 7)		SIGNATURE: DATE: 2024-07-09 Group Ltd.
DAMAGE FROM EARTHQUAKE, MAINTAIN GRADE, PROVIDE FOR EXPANSION AND CONTRACTION, AND ACCOMMODATE INSULATION.	OF HIGH PRESSURE DUCT SEALANT. DUCT TAPES AS A SEALING METHOD ARE NOT PERMITTED, EXCEPT ON RESIDENTIAL DUCTWORK - MINIMUM 2	Rigid Exterior Duct Insulation		PERMIT Nº: 141623
COPPER PLATED OR EPOXY COATED FOR COPPER PIPING.	WRAPS OF 2" WIDE (50MM) FOIL DUCT TAPE IS ACCEPTABLE. DO NOT INSULATE ANY SECTION OF THE DUCTWORK UNTIL IT HAS BEEN INSPECTED AND APPROVED OF DUCT	Duty Plenum(4) Duct Location Exterior		
POWER ACTUATED FASTENERS AND "DROP-IN" ANCHORS SHALL NOT BE USED.	SEALANT APPLICATION, BY THE CONSULTANT. 2.3 DUCT HANGERS AND SUPPORTS	Conditioned Unconditioned Space Space		SEAL:
2.4 ACCESS DOORS	HANGERS AND SUPPORTS TO SMACNA STANDARDS. STRAP HANGERS: OF SAME MATERIAL AS DUCT BUT NEXT SHEET METAL THICKNESS HEAVIER THAN DUCT.	Minimum Insulation Thickness in mm (in.) Cooling Only Air Supply 25 (1") 25 (1") 50 (2")		ASET REAL
ELEMENTS. HINGE TO BE CONCEALED 2-POINT HINGE, NON-CORRODING WITH SCREWDRIVER OPERATED CAM LATCH.	MAXIMUM SIZE DUCT SUPPORTED BY STRAP HANGER: 500 MM.	Return Air 0 0 40 (1-1/2") 75 (3") Tempered Air Supply or 0 0 40 (1-1/2") 75 (3") Makeup Air 75 (3") 75 (3") 75 (3")		SE PARDEEP SHARMA BE Tandufe O
TILE SURFACE: UNIVERSAL DESIGN, STAINLESS STEEL DOOR (16GA) AND STAINLESS STEEL FRAME (18GA), DOOR FLUSH TO FRAME, ROUNDED SAFETY CORNERS, CONTINUOUS CONCEALED HINGE, SCREWDRIVER OPERATED CAN	HANGERS: GALVANIZED STEEL ANGLE WITH GALVANIZED STEEL RODS TO SMACNA. 1 TOGGLE HANGERS AND/OR STRAP HANGERS SHALL NOT BE USED.	Flexible Exterior Duct Insulation Duty Plenum(4)		ALBERTA 2024.07.00
LATCH, #4 SATIN STAINLESS STEEL FINISH. PLASTER WALLS AND CEILING: STEEL DOOR (14GA) AND STEEL FRAME (14GA), DOOR FLUSH TO FRAME EDGE, EXPANSION CASING BEAD AND 75 MM WIDE GAI VANIZED LATH SURROUND RECESSED 18 MM TO RECEIVE	POWER ACTUATED FASTENERS AND "DROP-IN" ANCHORS SHALL NOT BE USED. 2.4 DUCT AND BREECHING INSULATION	Interior Exterior		ASET ID - 131507
PLASTER, CONTINUOUS CONCEALED HINGE, SCREWDRIVER OPERATED CAM LATCH, PRIME COAT GREY PAINTED FINISH.	EXPOSED RECTANGULAR DUCTS: EXTERNAL RIGID INSULATION, SERVICE TEMPERATURE 5°C TO 232°C (41°F TO 450°F), MINERAL FIBER BOARD FOR LOW AND MEDIUM TEMPERATURE APPLICATIONS, ALL SERVICE ALUMINUM	Space Space Minimum Insulation Thickness mm (in.)		
FIRE RATED WALLS NON-COMBUSTIBLE CONSTRUCTION: UNINSULATED STEEL DOOR (16GA) AND STEEL FRAME (16GA), DOOR FLUSH TO FRAME EDGE, 25MM MOUNTING FRAME WITH MASONRY ANCHOR STRAPS, CONCEALED SELE-CLOSING HINGE, FLUSH KEY LATCH, PRIME COAT GREY PAINTED FINISH, ULC RATED 2 HOUR 'B' LABEL	FOIL-SCRIM KRAFT (FSK) VAPOUR BARRIER JACKET WITH GLASS FIBRE REINFORCEMENT, FACTORY APPLIED. DENSITY 36KG/M3 (2.25 PCF), MINIMUM RSI 0.76/25MM (R 4.3/IN)	Cooling Only Air Supply 25 (1") 25 (1") 40 (1-1/2") 75 (3") Return Air 0 0 56 (2-3/16") 115 (4.5")		ELEVATION PLACE
FIRE RATED WALLS COMBUSTIBLE CONSTRUCTION: INSULATED STEEL DOOR (20GA) FOR MAXIMUM 250°C RISE AFTER 30 MINUTES AND STEEL FRAME (16GA), DOOR FLUSH TO FRAME EDGE, 25MM MOUNTING FRAME WITH	ROUND DUCTS AND CONCEALED RECTANGULAR DUCTS: EXTERNAL FLEXIBLE INSULATION, SERVICE TEMPERATURE 5°C TO 232°C (41°F TO 450°F), GLASS FIBER OR MINERAL FIBER FLEXIBLE BLANKET FOR LOW AND	Tempered Air Supply or 0 0 56 (2-3/16") 115 (4.5") Makeup Air		
MASONRY ANCHOR STRAPS, CONCEALED SELF-CLOSING HINGE, FLUSH KEY LATCH, PRIME COAT GREY PAINTED FINISH, ULC RATED 1-1/2 HOUR 'B' LABEL.	MEDIUM TEMPERATURE APPLICATIONS, ALL SERVICE ALUMINUM FOIL-SCRIM KRAFT (FSK) VAPOUR BARRIER JACKET WITH GLASS FIBRE REINFORCEMENT, FACTORY APPLIED. DENSITY 12KG/M3 (0.75PCF), MINIMUM RSI			CANAAODE AD
EDGE, 25MM MOUNTING FRAME WITH MASONRY ANCHOR STRAPS, CONCEALED UPSWING SELF-CLOSING HINGE, L HANDLE LATCH, WHITE BAKED ENAMEL FINISH, SIZE 600MM X 600MM (24" X 24") ULC RATED 2 HOUR 'B' LABEL.	ACOUSTIC LINING DUCTS: INTERNAL FLEXIBLE DUCT LINER, FLEXIBLE MINERAL FIBER BLANKET, FOR LOW AND	3.6 GRILLES, LOUVERS AND DIFFUSERS		
DUCTWORK: ULTRA LOW LEAKAGE TYPE, FLAT OVAL DESIGN, GALVANIZED STEEL FRAME (22GA), DOUBLE SKIN GALVANIZED STEEL DOOR (22 GA) WITH 25MM INSULATION FULLY ENCLOSED IN PANEL, BULB TYPE SEAL INTEGRALLY FASTENED TO DOOR JEVER CAM LOCKS, PROVIDE STAINLESS STEEL IN LIEU OF GALVANIZED STEEL	THE FIBREGLASS SUBSTRATE, AIR VELOCITY RATING 25.4 M/S (5,000 FT/MIN). DENSITY 24KG/M3 (1.5 PCF), MINIMUN RSI 0.74/25MM (R 4.2/IN)	A PAINT DUCTWORK VISIBLE BEHIND AIR OUTLETS MATTE BLACK. ALL AIR OUTLETS MOUNTED IN A T-BAR CEILING SHALL BE SEISMICALLY RESTRAINED BY EITHER SECURE		PROJECT ADDRESS: 700 RAILWAY AVE #100, CANMORE
IN STAINLESS STEEL DUCTWORK. ACCEPTABLE MANUFACTURERS: MAXAM, ACUDOR, MILCOR, CAN.AQUA, MIFAB, BILCO, BAUCOPLUS	ACOUSTIC LINING PLENUMS: INTERNAL RIGID DUCT LINER, RIGID MINERAL FIBER BOARD, FOR LOW AND MEDIUM TEMPERATURE ACOUSTICAL APPLICATIONS, AIRSTREAM SURFACE FACED WITH A BLACK MAT BONDED TO THE	ATTACHMENT TO SOLID DUCTWORK, WHICH IS BRACED AT THE OUTLET OR WIRE HANGERS ATTACHED TO STRUCTURE. WIRE HANGERS SHALL BE A MINIMUM OF TWO (2) PER OUTLET AND ONE PER 1200 MM LENGTH.		AB T1W1P4
2.5 IDENTIFICATION	FIBREGLASS SUBSTRATE, AIR VELOCITY RATING 25.4 M/S (5,000 FT/MIN). DENSITY 48KG/M3 (3 PCF), MINIMUM RSI 0.76/25MM (R 4.3/IN)	AIR OUTLETS OTHER THAN T-BAR MOUNTING MUST BE SECURELY ATTACHED TO THE BUILDING ELEMENTS.		
BEFORE AND AFTER PIPES PASSING THROUGH WALLS, AT ALL SIDES OF TEES, BEHIND ACCESS DOORS. USE BRADY B-500 VINYL CLOTH LABELS FOR NON INSULATED PIPES AND B-350 FOR INSULATED PIPES.	, BREECHING INSULATION: EXTERNAL SEMI-RIGID INSULATION, SERVICE TEMPERATURE UP TO 538°C (1000°F), GLASS FIBER OR MINERAL FIBER FLEXIBLE BLANKET FOR HIGH TEMPERATURE APPLICATIONS. DENSITY 25KG/M3	DIVISION 25 INTEGRATED AUTOMATION		DRAWN BY HA/NR CHECKED BY BL
PROVIDE 20MM (3/4") DIAMETER BRASS TAGS, SECURE TO VALVE STEMS WITH KEY CHAIN. PROVIDE A VALVE DIRECTORY AT ALL MECHANICAL ROOMS, IN THE O&M MANUALS AND A DIGITAL COPY CROSS REFERENCED WITH ANY ASSOCIATED CONTROL & NOMENCI AT URE	(1.6PCF), MINIMUM RSI 0.25/25MM (R 1.4/IN) 2.5 DUCTWORK FINISH JACKETS	1. GENERAL 1.1 SECTION SCOPE		SCALE NTS
EACH PIECE OF EQUIPMENT SHALL BE IDENTIFIED WITH ITS EQUIPMENT SCHEDULE IDENTIFICATION, E.G. SUPPLY FAN SF-1, COOLING COIL CC-1, PUMP P-1 WITH LAMACOID PLATES HAVING 6MM (1/4") MINIMUM LETTER SIZE.	THERMOCANVAS JACKET: FIRE RATED, 170G (6 OZ) FIRE RETARDANT CANVAS JACKET FOR COVERING MECHANICAL INSULATION INDOORS, 25/50 FIRE CLASS, PLAIN WAVE COTTON. NO DYES.	PROVIDE A COMPLETE SYSTEM OF AUTOMATIC CONTROLS TO MATCH THE BASE BUILDING STANDARD WITH REGARD TO CONTROL DEVICES, COMPONENTS, WIRING AND MATERIALS. ALL CONTROL WORK ASSOCIATED WITH		DATE 07-09-2024
ACCEPTABLE MANUFACTURERS: BRADY	UTILITY FINISH: OVER RIGID INSULATION FOR RECTANGULAR DUCTWORK AND FLEXIBLE INSULATION FOR ROUND DUCTWORK. APPLY CONTINUOUS METAL CORNER BEAD TO ALL CORNERS. ADHERF VAPOR RETARDER TAPE	THE WORK OF DIVISIONS 22 AND 23.		MECHANICAL
NEOPRENE WASHER/BUSHING: A ONE PIECE MOLDED BRIDGE BEARING NEOPRENE WASHER/BUSHING. THE BUSHING SHALL SURROUND THE ANCHOR BOLT AND HAVE A FLAT WASHER FACE TO AVOID METAL TO METAL	OVER ALL JOINTS AND BREAKS IN VAPOR RETARDER, AND AT ALL CORNERS. ALUMINUM JACKET: 51 MIL (22 GA.) THICK STUCCO OR SMOOTH ALUMINUM JACKETING WITH LONGITUDINAL SUP	THIS SECTION OF THE SPECIFICATION FORMS PART OF THE CONTRACT DOCUMENTS AND IS TO BE READ, INTERPRETED AND COORDINATED WITH ALL OTHER PARTS. FOR GENERAL CONDITIONS REFER TO HEATING.		SPECIFICATIONS I
CONTACT. USE WASHER/BUSHING ONLY ON LIGHT-WEIGHT EQUIPMENT. ACCEPTABLE MANUFACTURER: MASON HG HEMI GROMMET OR EQUAL	JOINTS AND 50MM (2") END LAPS WITH FACTORY APPLIED PROTECTIVE LINER ON INTERIOR SURFACE.	VENTILATION AND AIR CONDITIONING (HVAC) SECTION.		
NEOPRENE PAD ISOLATORS: NEOPRENE OR NEOPRENE / STEEL / NEOPRENE PAD ISOLATORS. MINIMUM STATIC DEFLECTION 2.5 MM (0.1") OR GREATER.	FLEXIBLE, NON-COMBUSTIBLE, BLANKET TYPE MINERAL FIBRE DUCT WRAP COMPLETELY ENCAPSULATED I REINFORCED FOIL. ULC TESTED AND LISTED ULD DESIGN FRD-19 FOR KITCHEN EXHAUST/ GREASE DUCT. U	N ALL WORK SHALL COMPLY WITH CURRENT EDITIONS OF THE NATIONAL, PROVINCIAL AND MUNICIPAL CODES, C STANDARDS, ACTS AND BYLAWS AND WILL MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION		PROJECT NO. DRAWING NO.
AUGEPTABLE MANUFACTURER: MASON WMSW OR EQUAL RUBBER FLOOR MOUNTS: BRIDGE BEARING NEOPRENE MOUNTINGS. MINIMUM STATIC DEFLECTION OF 5MM (0.2")	DESIGNS FRD -17 &23 FOR VENTILATION DUCTS. COMPLY WITH ASTM E2336 STANDARD TEST METHODS FOR FIR RESISTIVE GREASE DUCT ENCLOSURE SYSTEMS. TWO (2) HOUR FIRE RESISTANCE.	E		000c-1442-23 M901

		n.:	PAN	EL 10 20	<u>S2C</u>) AM	
Location	n: STORAGE 205	FI	120	/ 20	08 V	Bus Ra	tina: 225 A
2004101	Existing Panel		84	, –	uits		
Mounting	: Surface		3 Phas	se /	4 Wire	9	
No. Type	Load Description	kVA	BKR	ø	Туре	Load Description	kVA
1	STORAGE 205		15	A		MULTI PURPOSE 207	
3	STORAGE 205		20	В		MULTI PURPOSE 207	
5	HOUSEKEPING		20	С		PROJECTOR	
7	JANITOR 204		15	Α		MULTI PURPOSE 207	
9	ELEVATOR MACHINE RM		15	В		MULTI PURPOSE 207	
11	ELEVATOR CAB LIGHTS		15	С		MULTI PURPOSE 207	
13	MULTI PURPOSE 212		15	Α		MULTI PURPOSE 208	
15	MULTI PURPOSE 212		15	В		MULTI PURPOSE 208	
17	MULTI PURPOSE 212		15	С		PROJECTOR	
19	MULTI PURPOSE 212		15	Α		MULTI PURPOSE 208	
21	MULTI PURPOSE 212		15	В		MULTI PURPOSE 209	
23	CF-4		15	С		MULTI PURPOSE 209	
25	CF-5		15	Α		PROJECTOR	
27	CF-6		15	В		MULTI PURPOSE 209	
29	COUNTER		20	С		MOTORIZED BLINDS	
31	GARBURATOR		15	Α		MULTI PURPOSE 209	
33	COUNTER		20	В		PROJECTOR	
35	DISHWASHER		15	С		STORAGE 210	
37	RANGE		50 /	Α		EF-4 (STORAGE ROOM 210)	
39			/ 2P	В		MOTORIZED BLINDS	
41	MICROWAVE		20	С		VENDING MACHINE	
43	FRIDGE		15	Α		VENDING MACHINE	
45	RANGE HOOD		20	В		CORRIDOR 211	
47	EF-6 (JANITOR RM.)		20	С		CORRIDOR 211	
49	EF-5 (ELEVATOR RM.)		15	А		HOUSEKEEPING	
51	CHRISTMAS LIGHTS		15	В		CORRIDOR 206	
53	CHRISTMAS LIGHTS		15	С		CORRIDOR 206	
55	CHRISTMAS LIGHTS		15	А		CORRIDOR 206	
57	CHRISTMAS LIGHTS		15	В		CORRIDOR 206	
59	SPARE		15	С		HOUSEKEEPING	
61	SPARE		15	А		DRINKING FOUNTAIN	
63	PROJECTOR RM 212		15	В		POOL BALCONY	
65	SPACE			С		ROOM 209 SPARE	
67	SPACE			А		ROOM 209 SPARE	
69	CLIMBING GYM REC.		15	В		SPARE	
71	CLIMBING GYM REC.		15	С		FIRE ALARM BOOSTER PANEL	
73	FAN TF-1 [1]		30 /	А		SPARE	
75			/	В	L	SPARE	
77			/ 3P	С		FUTURE SOUND RACK	
79	FAN TF-2 [1]		15 /	А	L	FUTURE SOUND RACK	
81			/	В	L	SPACE	
83			/ 3P	С		SPACE	

<u>General Notes:</u> a. REFER TO SINGLE LINE FOR FEEDER SIZE. b. BREAKERS FOR HEATING CABLES TO BE G.F.P., 30mA. c. EXISTING PANELS: BOLD TEXT INDICATES NEW OR MODIFIED. <u>Referral Notes:</u> [1] NEW BREAKER TO BE ADDED.

<u>Notes</u>

kVA BKR No.

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	ELECTRICAL DRAWING LIST
DWG. NO.	DWG. NAME
E001	COVERSHEET & SCHEDULES
E101	SECOND FLOOR - ELECTRICAL RENOVATION
E102	ELECTRICAL SPECIFICATIONS

<u>GENERAL NOTES – COMMON</u>

- A. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS.
- B. ALL WIRING TO BE IN CONDUIT.
- C. CONFIRM EXACT MOUNTING HEIGHT OF ALL DEVICES.
- D. ALL WIRING SIZES SHOWN ARE FOR COPPER CONDUCTORS. ALUMINUM MAY NOT BE SUBSTITUTED EXCEPT AS APPROVED IN WRITING BY THE ENGINEER.
- E. COORDINATE ALL PENETRATIONS WITH GENERAL CONTRACTOR AND STRUCTURAL ENGINEER. PROVIDE AND INSTALL FIRE STOPPING AT ALL CONDUIT PENETRATIONS THROUGH FIRE SEPARATIONS, AND APPROVED SEALANT THROUGH EXTERIOR WALLS.
- F. MINIMUM ALLOWABLE CONDUIT SIZE IS 21 mm (3/4").
- G. MINIMUM ALLOWABLE WIRE SIZE IS #12 AWG.
- H. EXTERIOR CONDUIT RUN ALONG ROOF TO BE RIGID STEEL INSTALLED ON SUPPORT BLOCKS. DO NOT PENETRATE ROOF FOR CONDUIT SUPPORTS. RUN CONDUIT ALONG SIMILAR LINES AS MECHANICAL PIPING AND COORDINATE WITH GENERAL CONTRACTOR FOR SEALING OF ALL PENETRATIONS INTO BUILDING.

<u>GENERAL NOTES – DEMOLITION</u>

BOXES.

- A. THESE PLANS MAY NOT SHOW ALL EXISTING DEVICES TO BE REMOVED. CONFIRM ACTUAL LOCATIONS AND QUANTITIES OF ALL DEVICES ON SITE. COORDINATE WITH CONTRACTOR FOR EXTENT OF DEMOLITION.
- B. REMOVED EQUIPMENT THAT IS NOT SHOWN TO BE REUSED IS TO BE RETURNED TO THE OWNER, OR PROPERLY DISPOSED OF BY ELECTRICAL CONTRACTOR, AS DIRECTED BY THE OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
- C. CAREFULLY REVIEW AND DOCUMENT ALL CIRCUITS IN USE IN THE AREA OF DEMOLITION AND THE ADJOINING OCCUPIED AREAS. THE INSPECTION OF CIRCUITS IN OCCUPIED AREAS IS TO OCCUR AFTER WORKING HOURS. ENSURE THAT ALL DEVICES IN THE ADJOINING OCCUPIED AREAS REMAIN OPERATIONAL AT ALL TIMES DURING WORKING HOURS. ANY DEVICES IN OCCUPIED AREAS THAT ARE CONNECTED TO PANELS TO BE REMOVED ARE TO BE RECONNECTED TO OTHER PANELS.
- D. ALL CONDUIT AND WIRING ASSOCIATED WITH REMOVED DEVICES IS TO BE REMOVED BACK TO THE SOURCE, UNLESS NOTED OTHERWISE.
- E. REMOVE ALL CONDUIT, WIRING, RACEWAYS, RACKS AND SUPPORTS, ASSOCIATED WITH THE ABOVE DEVICES, EXCEPT WHERE CONDUIT AND SUPPORTS ARE TO BE REUSED.
- F. LIFE SAFETY SYSTEMS INCLUDING THE FIRE ALARM SYSTEM ARE TO REMAIN IN A FUNCTIONAL STATE DURING DEMOLITION, OR A FIRE WATCH IS TO BE PROVIDED.
- G. PROVIDE BLANK STAINLESS STEEL COVER PLATES ON ALL RECESSED OUTLET BOXES THAT REMAIN UNUSED. PROVIDE SCREWLESS ARCHITECTURAL BLANK COVERPLATE FOR CEILING

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Unit No.	Description	Voltage (V)	Phase Ø	Load (HP, FLA, kW)	Туре	Rating	Poles	Conductors	
TF-1	TRANSFER FAN	208	3	12.6 FLA	BKR	30 A	3P	3 #12	
TF-2	TRANSFER FAN	208	3	6.5 FLA	BKR	15 A	3P	3 # 12	Τ
COMMON AB E=ELECTRICA S=SUPPLIED NAMEPLATE FLA=FULL LC STARTER TYR VFD=VARIABI FVNR=FULL STARTER CO BMS=BUILDIN LTST=LOW V	BREVIATIONS AL CONTRACTOR M=MECHANICAL CONTRACTOR IN BY I=INSTALLED BY C= & FEEDER ABBREVIATIONS DAD AMPACITY MCA=MINIMUM CIRCUIT AMPACITY HF PE ABBREVIATIONS LE FREQUENCY DRIVE MAG=MAGNETIC FVNR VOLTAGE NON-REVERSING FVR=FULL VOLTAGE REVE NTROL TYPE ABBREVIATIONS NG MANAGEMENT SYSTEM H,O,A=HAND,OFF,AUTO OLTAGE THERMOSTAT R,J=RUN,JOG	T=INTEGRAL =CONNECTE P=HORSE F RSING S F,O,R=F F,R=F0	- TO UNI D BY POWER IAN=MANI OFT=SOF FORWARD,RI	T (BY MANUFACTUF NR=NOT RE FU=FUSE(S) JAL COM= T STARTER TST=I OFF,REVERSE EVERSE	RER) EQUIRED P=P COMBO BI LINE VOLTA 0,0=0N,0I 0,C=0PEN	oles Reaker + Mai Ge Thermost. FF ,Close	G AT		
GENERAL	NOTES								

a. IN MOST CASES THE FLA'S AND ASSOCIATED BRANCH CIRCUITS ARE BASED ON THE CANADIAN ELECTRICAL CODE. CONFIRM T WITH THE MECHANICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT (BREAKERS, OVERLOADS, ETC.), AND INSTALLATION OF DISTRIBUTION SHOP DRAWINGS IS BASED ON THE ASSUMPTION THAT FLA'S OF MOTORS HAVE BEEN CONFIRMED. NO ADDITIONAL FAILURE TO CONFIRM THE FLA'S OF MOTORS PRIOR TO SUBMISSION OF DISTRIBUTION EQUIPMENT SHOP DRAWINGS. b. IF MOTOR FEEDER SIZES ARE NOT SHOWN, REFER TO SINGLE LINE DIAGRAM.

c. ELECTRICAL CONTRACTOR IS TO UPDATE ALL INFORMATION IN THIS SCHEDULE PRIOR TO SUBMITTING AS-BUILT DRAWINGS. AND MOTOR NAMEPLATE COLUMNS ARE TO BE FILLED IN BY THE CONTRACTOR. d. WHERE INDICATED, PROVIDE ROOFTOP GFCI RECEPTACLES AS PER CEC RULE 26-704.

e. UNLESS NOTED OTHERWISE, ALL EQUIPMENT TEMPERATURE RATINGS ARE ASSUMED TO BE 75°C (CONDUCTOR TEMPERATURE). CONFIRM THAT THE TEMPERATURE RATINGS ARE 75°C. IF THE EQUIPMENT IS UNMARKED AND RATED 100 A OR LESS, ASSUME AND INCREASE THE CONDUCTOR SIZE APPROPRIATELY (CEC RULE 4-006).

	ר געש <u>ר</u> 	
LE/SPECIAL PURPOSE RECEPTACLE		MOTOR
EX RECEPTACLE	<u></u> ≸™	SWITCH - MANUAL STARTER
HERPROOF SPLIT CIRCUIT DUPLEX RECEPTACLE		UNFUSED DISCONNECT SWITCH
TED GROUND RECEPTACLE	 	FUSED DISCONNECT SWITCH
DUPLEX RECEPTACLE	_ ⊠Y	COMBINATION MAG STARTER/DISCONNECT SWITCH
CIRCUIT DUPLEX RECEPTACLE		MAGNETIC STARTER
HERPROOF DUPLEX RECEPTACLE		FAN SPEED CONTROLLER
		THERMOSTAT
PLEX RECEPTACLE	(MISEF4)	MOTOR IDENTIFICATION TAG (REFER TO MECHANICAL SCHEDUL
FED GROUND FOURPLEX RECEPTACLE		NON-MOTORIZED DAMPER
PLEX GFCI RECEPTACLE	<u> @</u> \	MOTORIZED DAMPER
OT FOURPLEX GFCI RECEPTACLE		DAMPER END SWITCH
DI DUPLEX RECEPTACLE (5-20R)		CEILING FAN
OT COMPUTER RECEPTACLE (5-20R)		VALVE
UTER DUPLEX RECEPTACLE		
UTER FOURPLEX RECEPTACLE		OPEN/CLOSE SWITCH
OT COMPUTER FOURPLEX RECEPTACLE		WATER DETECTOR
		FRIDGE MONITOR
		INFRARED FAUCET POWER CONNECTION
R MOUNTED FOURPLEX RECEPTACIE		
R MOUNTED COMPUTER DUPLEX RECEPTACLE	-	
R MOUNTED SINGLE/SPECIAL PURPOSE RECEPTACLE		
G MOUNTED SINGLE/SPECIAL PURPOSE RECEPTACLE		
G MOUNTED DUPLEX RECEPTACLE	_	
G MOUNTED DUPLEX SPLIT RECEPTACLE	_	
NG MOUNTED JUNCTION/SLAB BOX	-	
MOUNTED JUNCTION BOX		
R MOUNTED JUNCTION/SLAB BOX		
RICAL PANELBOARD – SURFACE MOUNTED		
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PROJECT NO.

23-01-0463

DRAWING NO.

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REFERRAL NOTES: 1 NEW TRANSFER FAN ABOVE CEILING. COORDINATE ACCESS HATCHES WITH GENERAL CONTRACTOR. 2 EXISTING SIEMENS PANEL 'S2A' 120/208V 3Ø, 4W. (POWER) 3 EXISTING SIEMENS PANEL 'S2B' 120/208V 3Ø, 4W. (LIGHTING)	COPYRIGHT RESERVED This drawing and design is the prifor the project named below. This only be reproduced with express THE CONTRACTOR SHALL CHECK REPORT ALL ERRORS AND OMISSIC COMMENCING THE WORK. THESE DRAWINGS ARE NOT TO BE REV. DATE	operty of the designer to be used only is page or any portion thereof shall written permission. AND VERIFY ALL DIMENSIONS AND DNS TO THE CONSULTANT PRIOR TO SCALED.
 4 EXISTING SIEMENS PANEL 'S2C' 120/208V 3Ø, 4W. (POWER) 5 EXISTING SIEMENS PANEL 'S2D' 120/208V 3Ø, 4W. (LIGHTING) 6 EXISTING SIEMENS PANEL 'S2F' 120/208V 3Ø, 4W. (LIGHTING) 7 EXISTING LIGHTING FIXTURE AND EXIT SIGN TO BE RELOCATED UNDERSIDE OF THE NEW BULKHEAD IN THE SAME LOCATION. RE-CONNECT TO EXISTING CIRCUIT. 	1 2024-02-02 ISSUED 2 2024-03-07 ISSUED 3 2024-07-10 ISSUED	FOR 80% REVIEW FOR TENDER FOR TENDER
	S m 4	03, 1240 Kensington Road NW Calgary • Alberta • T2N 3P7 Tel 403.270.8833 Fax 403.270.9358
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	SEAL:	NGINER BOULTER 252183 -07-10
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	DRAWN BY CHECKED BY SCALE DATE	NDA CB AS SHOWN 2024-07-10
	DRAWING TITLE: SECOND FLO ELECTRICAL F	OR - Renovation
	PROJECT NO. 23-01-0463	drawing no. E101

- <u>1.0 GENERAL</u>
- 1.1 THE GENERAL REQUIREMENTS, INSTRUCTIONS TO BIDDERS, THIS SPECIFICATION AND ANY ADDENDA HERETO FORM PART OF THE CONTRACT DOCUMENTS AND SHALL BE READ IN CONJUNCTION WITH THEM. WORK SHALL INCLUDE THE FURNISHING OF ALL LABOUR AND MATERIALS UNLESS SPECIFICALLY NOTED OTHERWISE TO COMPLETE AND PUT INTO OPERATING CONDITION ALL ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.
- 1.2 THE SCOPE OF WORK IS AS DESCRIBED HEREIN AND SHOWN ON THE DRAWINGS.
- 2.0 STANDARD OF MATERIAL AND WORKMANSHIP
- 2.1 ALL MATERIALS SHALL BE NEW AND OF THE QUALITY SPECIFIED AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN STANDARDS ASSOCIATION. WHERE EQUIPMENT OR MATERIALS ARE SPECIFIED BY TECHNICAL DESCRIPTION ONLY, THEY SHALL BE OF THE BEST COMMERCIAL QUALITY OBTAINABLE FOR THE PURPOSE.
- 2.2 QUALIFIED TRADESMEN SHALL EXECUTE ALL WORK IN A NEAT AND WORKMANLIKE MANNER, ELECTRICAL TRADE SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS ALL SATISFACTORY TO THE ENGINEER ON THE JOB DURING THE PROGRESS OF THE WORK. 3.0 FIRE PROTECTION AND SMOKE SEALING
- 3.1 WHERE CABLES, CONDUITS, BUS DUCTS OR SIMILAR ELECTRICAL EQUIPMENT PASS THROUGH FIRE RATED ASSEMBLIES SUCH AS FLOORS, WALLS AND CEILINGS, THE FIRE RATING OF THESE ASSEMBLIES SHALL BE MAINTAINED BY USING ENGINEER APPROVED AND ULC LISTED FIRESTOP MATERIALS. PROVIDE MANUFACTURER LITERATURE SHOWING THAT THE PROPOSED FIRESTOP SYSTEM IS A ULC LISTED SYSTEM FOR THE PROPOSED APPLICATION.
- 3.2 WHERE CABLES, CONDUITS, BUS DUCTS OR SIMILAR ELECTRICAL EQUIPMENT PASS THROUGH SMOKE RATED ASSEMBLIES SUCH AS FLOORS, WALLS AND CEILINGS, THE SMOKE RATING OF THESE ASSEMBLIES SHALL BE MAINTAINED BY USING ENGINEER APPROVED AND ULC LISTED MATERIALS. PROVIDE MANUFACTURER LITERATURE SHOWING THAT THE PROPOSED SYSTEM IS A ULC LISTED SYSTEM FOR THE PROPOSED APPLICATION
- 3.3 THE SYSTEMS USED TO COMPLY WITH THE SMOKE SEALING AND FIRE PROTECTION REQUIREMENTS SHALL BE INSTALLED AS PER THE MANUFACTURER RECOMMENDATIONS. THE MANUFACTURER REPRESENTATIVE SHALL WITNESS AND CONFIRM THAT THE SYSTEM HAS BEEN INSTALLED IN COMPLIANCE WITH MANUFACTURER RECOMMENDATIONS AND THE ULC LISTING FOR THE SPECIFIC INSTALLATION.
- 3.4 THIS CONTRACTOR SHALL PROVIDE TWO LETTERS TO THE ENGINEER AT THE COMPLETION OF THE JOB AS FOLLOWS:
- .1 A LETTER ON THE COMPANY OFFICIAL LETTERHEAD SIGNED BY AN OFFICIAL OF THE CONTRACTING COMPANY WITH SIGNING AUTHORITY STATING THAT THE SYSTEMS HAVE BEEN INSTALLED AS PER THE MANUFACTURER RECOMMENDATIONS. .2 A LETTER ON THE COMPANY OFFICIAL LETTERHEAD SIGNED BY AN OFFICIAL OF THE MANUFACTURER REPRESENTATIVE COMPANY WITH SIGNING
- AUTHORITY STATING THEY HAVE INSPECTED THE SYSTEMS AND THAT THE SYSTEMS HAVE BEEN INSTALLED AS PER MANUFACTURER RECOMMENDATIONS AND THE ULC LISTING FOR THE SPECIFIC INSTALLATIONS. 3.5 THIS CONTRACTOR SHALL ALLOW FOR ALL COSTS RELATING TO THE INSTALLATION OF SEALING AND FIRE PROTECTION MATERIALS FOR
- ELECTRICAL INSTALLATIONS, WITNESSING BY THE MANUFACTURER REPRESENTATIVES AND PREPARATION OF THE LETTERS. 4.0 FLAME RATING OF CABLES
- 4.1 CABLES NOT INSTALLED IN ENCLOSED CONDUIT SHALL BE MINIMUM FT6 RATED. TYPICAL EXAMPLES ARE: CABLES IN CABLE TRAY, TECK CABLES AND CABLES USED FOR GROUNDING CABLE TRAYS. 5.0 UNIFORMITY OF EQUIPMENT
- 5.1 UNLESS OTHERWISE SPECIFICALLY CALLED FOR IN THE SPECIFICATIONS, UNIFORMITY OF MANUFACTURE SHALL BE MAINTAINED FOR ANY PARTICULAR ITEM THROUGHOUT THE BUILDING.
- 6.0 DRAWINGS AND SPECIFICATIONS 6.1 THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY EACH TO THE OTHER AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY BOTH.
- 6.2 SHOULD ANY DISCREPANCY APPEAR BETWEEN THE DRAWINGS AND SPECIFICATIONS WHICH LEAVES THE ELECTRICAL TRADE IN DOUBT AS TO THE TRUE INTENT AND MEANING OF THE PLANS AND SPECIFICATIONS, A RULING SHALL BE OBTAINED FROM THE ENGINEER. IF THIS IS NOT DONE, IT WILL BE ASSUMED THAT THE MOST EXPENSIVE ALTERNATE HAS BEEN FIGURED.
- 7.0 CODES, PERMITS AND INSPECTION
- 7.1 THE INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENTLY ENFORCED EDITION OF THE CANADIAN ELECTRICAL CODE AND THE REGULATIONS OF THE ELECTRICAL INSPECTION DEPARTMENT OF THE AHJ.
- 7.2 THE ELECTRICAL TRADE SHALL OBTAIN ALL PERMITS REQUIRED AND DISPLAY THEM IN THE ELECTRICAL ROOM.
- 8.0 EXAMINATION OF THE SITE
- 8.1 PRIOR TO SUBMITTING THEIR TENDER, THE ELECTRICAL TRADE SHALL CAREFULLY EXAMINE THE SITE AND ASCERTAIN ALL CONDITIONS WHICH SHALL AFFECT THEIR TRADE. NO EXTRAS WILL BE ALLOWED FOR WORK RESULTING FROM CONDITIONS THAT WOULD HAVE BEEN EVIDENT UPON A THOROUGH EXAMINATION OF THE SITE.
- <u>9.0 CLEAN UP</u> 9.1 THE ELECTRICAL TRADE AND THEIR SUBTRADES SHALL AT ALL TIMES DURING CONSTRUCTION, KEEP THE SITE FREE OF ALL DEBRIS, BOXES, PACKING ETC., RESULTING FROM WORK OF THIS TRADE.
- 9.2 AT THE COMPLETION OF THE WORK, THE ELECTRICAL INSTALLATION SHALL BE LEFT IN A CLEAN FINISHED CONDITION TO THE SATISFACTION OF THE ENGINEER. 11.0 SETTING OUT OF THE WORK
- 11.1 THE ELECTRICAL TRADE SHALL BE RESPONSIBLE FOR CORRECTING ALL WORK COMPLETED CONTRARY TO THE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND SHALL BEAR ALL COST FOR SAME. WHERE THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS NOT CLEAR, THEY SHALL OBTAIN THE CLARIFICATION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK
- 11.2 THE ELECTRICAL TRADE SHALL GIVE THE WORK THEIR PERSONAL SUPERVISION, LAY OUT THEIR OWN WORK, DO ALL NECESSARY LEVELING AND MEASURING OR EMPLOY A COMPETENT ENGINEER TO DO SO. FIGURES, FULL SIZE AND DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE MEASUREMENTS.
- 11.3 WHERE ANY EQUIPMENT SUPPLIED BY THE ELECTRICAL TRADE MUST BE BUILT IN WITH THE WORK OF OTHER CONTRACTORS, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLYING OF THE EQUIPMENT TO BE BUILT IN OR MEASUREMENTS TO ALLOW NECESSARY OPENINGS TO BE LEFT SO AS NOT TO HOLD UP THE WORK.
- 11.4 ELECTRICAL TRADE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE OWNER OR ANY OF THE OTHER TRADES BY IMPROPER LOCATION OF CARRYING OUT OF THEIR WORK. 12.0 LOCATION OF OUTLETS
- 12.1 ENGINEER RESERVES THE RIGHT TO CHANGE LOCATION OF OUTLETS TO WITHIN 3048mm (10') OF POINTS INDICATED ON PLANS WITHOUT EXTRA CHARGE PROVIDING ELECTRICAL TRADE IS ADVISED PRIOR TO INSTALLATION. 14.0 ACCESS DOORS
- 14.1 NUMBER OF ACCESS DOORS TO BE KEPT TO AN ABSOLUTE MINIMUM AND TO BE USED ONLY WITH THE PERMISSION OF THE ENGINEER.
- 14.2 WHERE ACCESS IS REQUIRED TO PULLBOXES AND JUNCTION BOXES, THESE BOXES TO BE LOCATED IN REMOVABLE TYPE CEILING AREAS WHERE POSSIBLE OR ADJACENT TO RECESSED LUMINAIRES. 14.3 WHERE IT IS ABSOLUTELY IMPOSSIBLE TO SERVICE CERTAIN EQUIPMENT THROUGH REMOVABLE TYPE CEILINGS OR RECESSED LUMINAIRES AND WHERE SPECIAL PERMISSION HAS BEEN OBTAINED FROM THE ENGINEER, DIVISION 26 TO SUPPLY AND INSTALL ACCESS DOORS REQUIRED FOR
- SERVICING OF SUCH WORK. ACCESS DOORS TO BE COMPLETE WITH NECESSARY FRAMES AND HINGED DOORS HELD CLOSED WITH CAPTIVE TYPE STUDS. ACCESS PANELS TO BE OF NOT LESS THAN 14 GAUGE STEEL, PRIME COATED AND PAINTED ON THE JOB TO MATCH THE WALL OR CEILING FINISH. 15.0 PAINTING AND FINISHES
- 15.1 ALL ELECTRICAL FITTINGS, SUPPORTS, HANGER RODS, PULL BOXES, CHANNEL FRAMES, CONDUIT RACKS, OUTLET BOXES, BRACKETS, CLAMPS, ETC., SHALL HAVE GALVANIZED FINISH OR PAINT FINISH OVER CORROSION-RESISTANT PRIMER.
- 15.2 ALL PANELBOARDS SHALL BE FACTORY FINISHED WITH SPRAY-ON AIR DRY ENAMEL. ALL ENAMEL SHALL BE APPLIED OVER CORROSION-RESISTANT PRIMER, MATTE OR FLAT TYPE FINISH PAINT WILL NOT BE ACCEPTED. ALL PANELS OR SIMILAR FACTORY-FINISHED UNITS THAT ARE SCRATCHED OR MARKED DURING INSTALLATIONS SHALL BE TOUCHED UP WITH MATCHING SPRAY-ON DRY LACQUER AND IF REQUIRED TO PROVIDE SATISFACTORY JOB SHALL BE COMPLETELY REFINISHED.
- 16.0 SHOP DRAWINGS
- 16.1 ELECTRICAL TRADE SHALL SUBMIT TO THE ENGINEER FOR APPROVAL, SHOP DRAWINGS OF ELECTRICAL COMPONENTS INCLUDING:
- .1 BREAKERS & DISCONNECTS

CHANGE ORDERS, FIELD CHANGES, JOB CONDITIONS, ETC

17.0 ASBUILT PLANS

<u>18.0 TESTS</u>

- 17.1 THE ENGINEER WILL FURNISH TO THE ELECTRICAL TRADE ONE SET OF PDF DRAWINGS TO BE USED FOR ASBUILT WORK AS ACTUALLY INSTALLED. ELECTRICAL TRADE SHALL ACCURATELY RECORD ON THIS SET OF PLANS, DAY BY DAY, ALL OUTLETS, CONDUIT, LUMINAIRES, EQUIPMENT AS ACTUALLY INSTALLED ON THE JOB. ANY CHANGES TO THE CONTRACT WORK SHALL BE SIMILARLY RECORDED. 17.2 ASBUILT DRAWINGS SHALL BE CLEARLY MARKED IN RED INCLUDING ALL CHANGES TO THE ORIGINAL TENDER DRAWINGS COVERED BY ADDENDA,
- 17.3 FINAL PAYMENT TO THE CONTRACTOR WILL NOT BE RELEASED UNTIL ASBUILT DRAWINGS ARE RECEIVED BY THE ENGINEER. ASBUILT DRAWINGS ARE TO BE TURNED OVER TO THE ENGINEER AT TIME OF FINAL INSPECTION.
- 18.1 PERFORM MEGGER TESTS ON EXISTING MAIN FEEDERS FROM UTILITY TRANSFORMER TO ENSURE INTEGRITY. INFORM ENGINEER OF RESULTS.
- 18.2 ALL PORTIONS OF THE ELECTRICAL WORK SHALL BE TESTED AND CHECKED FOR SATISFACTORY OPERATION.
- 18.3 BEFORE ENERGIZING ANY PORTION OF THE ELECTRICAL SYSTEM, PERFORM MEGGER TESTS ON NEW FEEDERS. RESULTS OF SUCH TESTS SHALL

CONFORM TO THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE AND SHALL BE TO THE SATISFACTION OF THE AUTHORIZED INSPECTION AGENCY AND THE ENGINEER

18.4 UPON COMPLETION OF THE WORK AND IMMEDIATELY PRIOR TO FINAL INSPECTION AND TAKEOVER, CHECK THE LOAD BALANCE ON ALL FEEDERS AND AT DISTRIBUTION CENTRE, PANELS, ETC. THE TESTS SHALL BE CARRIED OUT BY TURNING ON ALL POSSIBLE LOADS IN THE BUILDING AND CHECKING LOAD CURRENT BALANCE. IF LOAD UNBALANCE EXCEEDS 15 PER CENT, RECONNECT CIRCUITS TO BALANCE THE LOAD.

<u>19.0 GUARANTEE/WARRANTY</u>

19.1 FURNISH A WRITTEN GUARANTEE/WARRANTY COUNTERSIGNED AND GUARANTEED BY GENERAL CONTRACT TRADE STATING: .1 THAT ALL WORK EXECUTED UNDER THIS CONTRACT WILL BE FREE FROM DEFECTS OF MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1)

YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THIS WORK. .2 THE ABOVE PARTIES FURTHER AGREE TO, AT THEIR OWN EXPENSE, REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK AND OTHER WORK

DAMAGED THEREBY WHICH FAILS OR BECOMES DEFECTIVE DURING THE TERM OF THE GUARANTEE/WARRANTY PROVIDED THAT SUCH FAILURE IS NOT DUE TO IMPROPER USAGE .3 THE PERIOD OF THE GUARANTEE/WARRANTY SPECIFIED SHALL IN NO WAY SUPPLANT ANY OTHER GUARANTEE OF A LONGER PERIOD BUT SHALL

BE BINDING ON WORK NOT OTHERWISE COVERED. 20.0 BUILDING WIRING

20.1 ALL WIRING SHALL BE COPPER WITH RW90 X-LINK INSULATION IN RIGID GALVANIZED STEEL CONDUIT OR ELECTRICAL METALLIC TUBING. NO WIRE SMALLER THAN NO. 12 AWG SHALL BE USED FOR BRANCH CIRCUIT WIRING. BX CABLE MAY BE USED ONLY AS FOLLOWS:

.1 ABOVE REMOVABLE CEILINGS FROM EMT JUNCTION BOXES DOWN TO NEW DUPLEX RECEPTACLES MOUNTED IN EXISTING DRYWALL PARTITIONS OR EXISTING DE-MOUNTABLE OR THIN WALL PARTITIONS. IN THIS CASE, THE EMT JUNCTION BOX MUST BE MOUNTED ON THE SLAB IMMEDIATELY ABOVE THE PARTITION WALL.

.2 WITHIN NEW DRYWALL PARTITIONS TO INTERCONNECT ELECTRICAL DEVICES IN THE SAME WALL, EXCEPT THAT THE CONNECTION FROM THE JUNCTION BOX ABOVE THE SUSPENDED CEILING DOWN TO THE FIRST ELECTRICAL DEVICE IN THE DRYWALL WALL SHALL BE WIRE IN EMT CONDUIT OR EMPTY EMT CONDUIT FOR LOW VOLTAGE DEVICES.

.3 BX CABLING IN CEILING PLENUM TO BE KEPT TO A MAXIMUM OF THREE (3) METERS IN LENGTH.

WITH THE ABOVE EXCEPTIONS, ALL 120 VOLT BRANCH CIRCUIT WIRING MUST BE INSTALLED IN RIGID OR EMT CONDUIT. BX CABLE SHALL BE COMPLETE WITH ANTI-SHORT BUSHINGS. WIRING SHALL BE COLOR CODED TO MATCH EXISTING INSTALLATION. RIGID THREADED GALVANIZED STEEL CONDUIT SHALL BE USED FOR STUB-UPS FROM CONCRETE SLABS AND FOR EXPOSED RUNS BELOW 2100mm (7') FROM THE FLOOR. 20.2 CONDUIT TO BE SIZED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE.

21.0 WIRING DEVICES

21.1 BOXES, EXCEPT WHERE OTHERWISE NOTED, SHALL BE PRESSED SHEET STEEL GALVANIZED TO CSA STANDARDS. ALL OUTLETS FOR FLUSH WALL MOUNTING SWITCHES, RECEPTACLES, TELEPHONE AND LV OUTLETS SHALL BE NO. 52151 BOX WITH APPROPRIATE PLASTER COVER FOR SINGLE. 2-GANG OUTLETS OR 4-GANG OUTLETS. FLUSH MOUNTING VOICE AND/OR DATA WALL OUTLETS SHALL BE NO. 52171 SERIES (4" SQUARE, 21/8" DEEP WITH APPROPRIATE PLASTER OR EXTENSION RING).

21.2 SECTIONAL TYPE BOXES OR HANDY BOXES SHALL NOT BE USED.

21.3 RECEPTACLES TO BE OF SPECIFICATION GRADE AND OF ONE MANUFACTURER, E.G. LEVITON.

21.4 AT THE COMPLETION OF THE PROJECT:

.1 THE CONTRACTOR SHALL TURN OVER EQUIPMENT BEING REMOVED TO BUILDING MANAGEMENT. EQUIPMENT NOT REQUIRED BY BUILDING MANAGEMENT SHALL BE REMOVED FROM SITE BY THE CONTRACTOR.

.2 THE CONTRACTOR SHALL SEAL ALL UNUSED OPENINGS DUE TO ELECTRICAL DEMOLITION TO ENSURE THAT FIRE-RESISTANCE RATING IS MAINTAINED

.3 THE CONTRACTOR SHALL REMOVE, REINSTALL AND RECONNECT ALL ELECTRICAL DEVICES AFFECTED BY NEW CEILING OR WALL FINISHES. 21.5 ALL DEVICES MOUNTED IN DRYWALL AND ASSOCIATED COVERPLATES TO BE WHITE. ALL DEVICE COVERPLATES IN MILLWORK TO BE STAINLESS STEEL.

<u>22.0 LIGHTING:</u>

22.1 NOT USED.

23.0 SUPPORTING DEVICES

23.1 CONDUIT SUPPORTS: SINGLE RUNS - TO BE GALVANIZED CONDUIT STRAPS OR RING BOLT RANGE 1 TYPE HANGERS; MULTIPLE RUNS (THREE OR MORE) - CONDUIT RACK; VERTICAL RUNS - CHANNEL SUPPORT WITH CONDUIT FITTINGS. 23.2 INSTALL TO MAINTAIN HEADROOM. NEAT MECHANICAL APPEARANCE AND TO SUPPORT EQUIPMENT LOADS REQUIRED. WHERE INSERTS ARE

REQUIRED IN CONCRETE, EXPANSION INSERTS, LEAD INSERTS OR PLASTIC INSERTS MAY BE USED IN DRILLED HOLES. WOOD OR FIBRE PLUGS NOT PERMITTED.

23.3 ALL ELECTRICAL DISTRIBUTION INCLUDING CABLE TRAY AND CONDUIT THAT IS MOUNTED ABOVE THE SUSPENDED CEILING SHALL BE SUPPORTED DIRECTLY AND INDEPENDENTLY FROM THE STRUCTURE. 23.4 THE USE OF ANY PART OF THE CEILING OR CEILING SUSPENSION SYSTEM AS A SUPPORT OR FOUNDATION FOR THE SUSPENSION OF CABLE

TRAY, CONDUIT OR FLEXIBLE CONDUIT (WHERE PERMITTED) IS FORBIDDEN. DATA/VOICE CABLING MAY BE SUPPORTED FROM THE ANCHOR EYE

23.5 THE USE OF ANY DRYWALL OR WALL PARTITION AS A SUPPORT OR FOUNDATION FOR CABLE TRAY OR CONDUIT ROUTED HORIZONTALLY THROUGH THE CEILING SPACE IS FORBIDDEN.

23.6 SUPPORT HANGERS AND TRAYS INSTALLED BY THE ELECTRICAL TRADE SHALL NOT BE USED BY OTHER TRADES TO SUPPORT NON-ELECTRICAL SERVICES OR DEVICES.

24.0 FIRE ALARM SYSTEM 24.1 NOT USED.

25.0 MOTOR STARTERS

25.1 MINIMUM EEMAC SIZE 1. THREE PHASE STARTERS: MAGNETIC AS SHOWN, C/W CONTROL TRANSFORMER AND AUXILIARY CONTACTS AS REQUIRED, HOA SELECTOR, RED RUNNING LIGHT, GREEN OFF LIGHT, MANUAL RESET TYPE THERMAL OVERLOAD RELAY AND RESET BUTTON.

25.2 SINGLE PHASE MANUAL STARTERS: SINGLE OR DOUBLE POLE, COMPLETE WITH PILOT LIGHT AND SUITABLE "HEATERS".

26.0 BRANCH CIRCUIT PANELS

26.1 BRANCH CIRCUIT BREAKERS: BOLTED FULL SIZE BREAKERS TO MATCH EXISTING INTERRUPTING CAPACITY. UPDATE TYPEWRITTEN DIRECTORY INSIDE DOOR TO INCLUDE NEW CIRCUITS IN EXISTING PANELS. (REFER TO DRAWINGS FOR EXISTING MANUFACTURER)

26.2 LABEL ALL EQUIPMENT (NEW AND EXISTING) WITH LAMACOID LABELS. LABELS ARE TO INDICATE EQUIPMENT DESIGNATION AND VOLTAGE AS PER SINGLE LINE DIAGRAM AND INCLUDE "FED FROM ...". LAMACOIDS SHALL BE FASTENED TO EQUIPMENT WITH SCREWS OR RIVETS. LAMACOIDS ATTACHED WITH ADHESIVE TAPE ONLY ARE NOT ACCEPTABLE.

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