



## **Request for Quotation (RFQ)**

### **FOR ELEVATION PLACE VENTILATION ENHANCEMENTS (Rooms 207, 208, 209A/B and 214)**

<b>SUMMARY:</b> The Town of Canmore is issuing this Request for Quotation (RFQ) to select a Heating, Ventilation, Air Conditioning (HVAC) service provider to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214, at Elevation Place.	
<b>REFERENCE NUMBER:</b>	<b>CAP 7291</b>
<b>CLOSING DATE:</b>	<b>Thursday August 01, 2024</b>
<b>CLOSING TIME:</b>	<b>14:00:00 Mountain Time Zone</b>
<b>DATE ISSUED:</b>	<b>July 11, 2024</b>
<b>NOTE:</b>	<b>RESPONSES WILL NOT BE OPENED PUBLICLY</b>

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## 1.0 INSTRUCTIONS FOR RESPONDING TO THIS REQUEST FOR QUOTATION (RFQ)

- 1.1.1 Closing Date and Time: Quotations must be received not later than 14:00:00 hours Mountain Time Zone (Canmore local time) on Thursday August 01, 2024**
- 1.1.2** Proponents shall submit their quotation to the Town of Canmore by email to the attention of Mike Ford, Facilities Project Manager at [mike.ford@canmore.ca](mailto:mike.ford@canmore.ca). The quotation document is to be in PDF format only (.pdf) and all components shall be formatted and combined into one file that is attached to the email submission. Responses by facsimile will not be accepted.
- 1.1.3 RFQ Contact Person:**
- For clarification or additional information, Proponents shall **only** contact the person listed below.
- Mike Ford, Facilities Project Manager  
Email – [mike.ford@canmore.ca](mailto:mike.ford@canmore.ca)
- See Section 2.6 below for additional information for Questions and Clarifications.
- 1.1.4** The Town of Canmore may in its sole discretion disqualify responses that do not meet the formatting and other criteria set out in Section 4.0 of this RFQ.
- 1.1.5** Responses must be in English.
- 1.1.6** Quotations shall be stated in Canadian dollars with Goods and Services Tax (GST) extra.
- 1.1.7** Each Proponent is solely responsible for ensuring that its response is received at the specified address (physical address or email address) by the specified closing date and time. Strict adherence to the closing date and time will be maintained, and unless the deadline date is extended by issue of Addendum, all responses received after this time and date will be returned unopened.

**END OF SECTION 1.0**

## 2.0 GENERAL CONDITIONS OF RESPONSE

### 2.1 PURPOSE OF THE REQUEST FOR QUOTATION (RFQ)

The Town of Canmore is issuing this Request for Quotation (RFQ) to select a Heating, Ventilation, Air Conditioning (HVAC) service provider to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214, at Elevation Place.

The Town of Canmore reserves the right to modify the terms or cancel the RFQ process at any time.

### 2.2 SUBMISSION OF RESPONSE TO THE RFQ

**2.2.1** By submitting a response to this RFQ, each Proponent accepts its terms and conditions. In addition, by submitting its response each Proponent waives all claims, rights, demands and the benefit of any provisions of any statute, rule of law or regulation that might adversely affect the rights of the Town of Canmore under this RFQ.

**2.2.2** Each Proponent shall make full disclosure of any actual or potential conflict of interest arising from any existing business or personal relationships with any of the following (each, a “Conflicted Person”): (i) any employee of the Town of Canmore; (ii) any member of the Town of Canmore Town Council (councillor); (iii) any board or committee member; (iv) any family member of any such employee, councillor or board/committee member; or (v) any business entity controlled by or otherwise not at arm’s length to any one or more of any such employee, councillor, board/committee member or family member.

Without limiting the foregoing, details should be provided of any direct or indirect pecuniary interest of any Conflicted Person in the supply of the services contemplated by this RFQ.

Disclosure of any such actual or potential conflict of interest shall be made in writing with the Proponent’s response.

**2.2.3** This RFQ and any contracts subsequently entered into as a result hereof shall be governed by the laws of the Province of Alberta and the laws of Canada applicable therein. The courts of the Province of Alberta shall have exclusive jurisdiction over this RFQ and any contracts entered into as a result hereof.

**2.2.4** Quotation documents must be completed in accordance with the requirements of the RFQ documents and no amendment or change to quotations will be accepted after the closing date and time.

**2.2.5** All documents submitted by Proponents in response to this RFQ are to remain the property of the Town of Canmore.

**2.2.6** Quotations shall be irrevocable for sixty (60) days following the closing of the RFQ and the quotations shall be retained by the Town of Canmore.

**2.2.7** Quotations shall be signed by an authorized signatory of the Proponent using the Signature and Waiver Sheet in Section 5.0. If the Proponent is an incorporated company, the corporate seal of the Proponent shall be affixed or a certified true copy of a resolution of the corporation naming the person(s) in question as authorized to sign agreements on behalf of the corporation shall be attached to the quotation. Proponents who are sole proprietorships or partners shall sign their RFQ response in such a way as to irrevocably bind the Proponent in an authorized manner.

## **2.3 NO COMMITMENT**

- 2.3.1** No commitment on the part of the Town of Canmore shall exist under this RFQ unless and until the Proponent receives official written confirmation from the Town of Canmore that it has been selected to complete the work.

## **2.4 LIMITATION OF LIABILITY**

- 2.4.1** The Town of Canmore will have no liability to any person or entity for any damages, including, without limitation, direct, indirect, special or punitive damages, arising out of or otherwise relating to this RFQ, the Proponent's participation in this RFQ process or the Town of Canmore's acts or omissions in connection with the conduct of this RFQ process. This limitation applies to all possible claims by a Proponent, whether arising in contract, tort, equity, or otherwise, including, without limitation, any claim for a breach by the Town of Canmore of a duty of fairness or relating to a failure by the Town of Canmore to comply with the terms set forth in this RFQ.

## **2.5 ACCEPTANCE OR REJECTION**

- 2.5.1** The Town of Canmore reserves the right to reject any or all responses. Without limiting the generality of the foregoing, the Town of Canmore may reject any response which it deems:

- a) is incomplete, obscure, irregular, unrealistic or noncompliant.
- b) has erasures, ambiguities, inconsistency, or corrections; or
- c) fails to complete, or provide any information required by, any provision of this RFQ.

Further, a response may be rejected on the basis of the Town of Canmore's understanding of the Proponent's past record of work, its general reputation, its financial capabilities, the completion schedule or a failure to comply with any applicable law.

The purpose of the Town of Canmore is to obtain the most suitable responses to the Project and to further the interests of the Town of Canmore and what it wishes to accomplish in carrying out the Project. Therefore, the Town of Canmore has the right to waive any irregularity or insufficiency or non-compliance in any response submitted and to accept the response or responses which it deems most favourable to its interests or to reject all responses and cancel the RFQ.

In addition to any rights identified elsewhere in this RFQ, the Town of Canmore reserves the right to:

- a) reject any and all responses;
- b) add, delete or change the terms of this RFQ at any time prior to the specified closing date and time;
- c) during the evaluation period, seek clarification of any Proponent's response, including consequential amendments, or any additional information from any Proponent;
- d) accept or reject, in whole or in part, any response without giving any reason;
- e) have any documents submitted by the Proponent reviewed and evaluated by any party, including independent Consultants;
- f) cancel the RFQ process without penalty at any time for any reason; and
- g) negotiate and enter into an agreement with any Proponent notwithstanding any noncompliance by the Proponent's response with any requirement of this RFQ.

The Town of Canmore is the sole and final judge with respect to the selection of any Successful Proponent as a result of this RFQ process.

All Proponents submitting a response to this RFQ will be advised of the results of the RFQ process by email or regular mail. Please allow at least three weeks for responses to be evaluated by the Town of Canmore.

## **2.6 QUESTIONS AND CLARIFICATIONS**

- 2.6.1** Procedural or technical questions shall be submitted in writing and should include references to a specific section and item number.
- 2.6.2** Dependent upon their nature, comments or answers will be returned via email or through an addendum should the information be applicable to all Proponents.
- 2.6.3** Amendments to this RFQ will be valid and effective only if confirmed by written addenda. Addenda may be issued during the response period. All addenda become part of the agreement and receipt must be confirmed in the Proponent's submission.
- 2.6.4** Any addenda documents will be issued by the same method that this RFQ was issued.
- 2.6.5** It is the Proponent's responsibility to clarify the interpretation of any item of this RFQ a minimum of 72 hours prior to the stated closing date and time by contacting the Town of Canmore's designate (as above).

## **2.7 DISCREPANCIES IN NUMBERS**

- 2.7.1** In the event of a numerical discrepancy or error in a quotation, the written number will prevail.
- 2.7.2** In the event of pricing extension errors, the unit price will apply.

## **2.8 CONFIDENTIALITY AND FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT**

- 2.8.1** All information including, without limitation, any technology of a proprietary or novel nature which is disclosed to a Proponent by the Town of Canmore or a third party as a representative of the Town of Canmore (which information, in addition to the confidentiality requirements hereunder, will be kept confidential by the Proponent in accordance with the terms of its disclosure by such third party) or which is otherwise obtained by the Proponent in connection with this RFQ process, other than that which is common knowledge or within the public domain, is the confidential property of the Town of Canmore and must not be disclosed by the Proponent, except to duly authorized representatives of the Town of Canmore. Such confidential information or property is not to be employed other than in connection with responding to this RFQ unless otherwise duly authorized by the Town of Canmore in writing. These confidentiality provisions will remain binding obligations on each Proponent following the conclusion of this RFQ process until the Town of Canmore reasonably determines that such confidential information referred to herein has become part of the public domain (other than by disclosure or use prohibited herein) and releases the Proponent from its confidentiality obligation. This requirement does not prohibit any Proponent from complying with an order to provide information or data issued by a court or other authority with proper jurisdiction or to act to correct or report a situation which the Proponent may reasonably believe to endanger the safety or welfare of the public.
- 2.8.2** The applicant acknowledges that any information or documents provided by it to the Town of Canmore may be released pursuant to the provisions of the *Freedom of Information and Protection of Privacy Act*. This acknowledgement shall not be construed as a waiver of any right to object to the release of any information or documents.
- 2.8.3** The Town of Canmore acknowledges that a Proponent's response may contain information in the

nature of a Proponent's trade secrets or commercial, financial, labour relations, scientific or technical information of or about a Proponent. The Town of Canmore agrees that portions of responses to this RFQ which are provided in confidence will be protected from disclosure to the extent permitted by law. The Town of Canmore is bound by the *Freedom of Information and Protection of Privacy Act* (Alberta), as amended from time to time, and all documents submitted to the Town of Canmore will be subject thereto. Each Proponent must identify appropriate parts of its response or other documents submitted to the Town of Canmore as confidential and specify what harm could reasonably be expected from its disclosure; however, the Town of Canmore may not be able to ensure that such parts will not be protected from access.

- 2.8.4** Proponents are advised that the Town of Canmore will, as necessary, be disclosing the responses on a confidential basis to its employees and advisors who have a need to know in connection with this RFQ process for, among other things, the purpose of evaluating and participating in the evaluation of the responses. It is the responsibility of each Proponent to ensure that all personal information provided to the Town of Canmore with respect to the Proponent's personnel and their experience is supplied with the informed consent of such individuals and in accordance with applicable law. By submitting any personal information each Proponent represents and warrants that it has obtained the informed consent of the individuals who are the subject of such information to its collection, use and disclosure for purposes of this RFQ response. Also, such individuals are agreeing to the use of such information as part of the RFQ evaluation process, for any audit of the procurement process and for contract management and performance purposes.

## **2.9 COST OF PREPARATION**

- 2.9.1** Any cost incurred by the Proponent in the preparation of its response to this RFQ shall be borne solely by the Proponent.

## **2.10 OWNERSHIP OF SUBMISSIONS**

- 2.10.1** All responses submitted to the Town of Canmore become the property of the Town of Canmore and shall not be returned. They will be received and held in confidence by the Town of Canmore, subject to the provisions of the *Freedom of Information and Protection of Privacy Act*.
- 2.10.2** Unsuccessful Proponent submissions will be kept as record for the procurement process until two years after the date of decision for the RFQ award.

## **2.11 CLARIFICATION FROM PROPONENTS**

- 2.11.1** The Town of Canmore reserves the right to seek from any/all Proponents any further clarification it may require on responses submitted pursuant to this RFQ.

## **2.12 PROPONENT PERFORMANCE**

- 2.12.1** The selected Proponent may be evaluated throughout the course of service delivery in connection with any specific work or projects undertaken as a result of any agreement entered into between any Proponent and the Town of Canmore. The Town of Canmore may also conduct periodic reviews/assessments of any selected Proponent, taking into consideration, in addition to specific work related to the project undertaken by the Proponent, ongoing Proponent staff qualifications, experience, training, and staff changes. Any evaluation/assessment will be shared with the Proponent, with the goal of immediate and permanent resolution where concerns have been raised. The Town of Canmore reserves the right to remove from the roster any selected Proponent who has been qualified by this RFQ process by way of written notice if, in the sole discretion of the Town of Canmore, based on any on-going or specific evaluation or assessment of the Proponent or its performance of any work, it is deemed to be in the Town of Canmore's



best interests.

## **2.13 FORM OF CONTRACT**

**2.13.1** The Town of Canmore will be issuing a letter of award to the Successful Proponent to deliver the work described within this RFQ.

## **2.14 NON-ASSIGNMENT**

**2.14.1** Neither the contract nor any work to be performed under the contract or any part hereof may be assigned by the Successful Proponent without the prior written consent of the Town of Canmore. Such written consent, however, shall not under any circumstances relieve the Successful Proponent of its liabilities and obligations under the Contract and the granting of such consent shall be within the sole and unfettered discretion of the Town of Canmore.

## **2.15 DEPOSITS**

**2.15.1** The Town of Canmore will not consider the payment of a deposit to the Successful Proponent for the scope of work in this RFQ.

## **2.16 TERMS OF PAYMENT**

**2.16.1** Invoices will be paid within 28 days from the approval date of the invoice.

## **2.17 INSURANCE AND WORKERS' COMPENSATION BOARD REQUIREMENTS**

### **2.17.1 Mandatory Eligibility Requirements**

As a mandatory eligibility requirement for response to this RFQ:

**2.17.2** The Successful Proponent shall carry at all times during the performance of the work General Liability/ Umbrella Liability Insurance with a limit of not less than FIVE MILLION DOLLARS (\$5,000,000) inclusive per occurrence for bodily injury (including death) and damage to property including loss of use thereof. Such insurance shall at a minimum include coverage of broad form property damage, contractual liability, cross liability, completed operations and product liability, and such other types of insurance as would be carried by a prudent person performing such contract work and as the Town of Canmore may from time to time require.

**2.17.3** The Successful Proponent shall carry at all times during the performance of the work Automobile Liability Insurance for owned and non-owned automobiles with a limit of not less than TWO MILLION DOLLARS (\$2,000,000) inclusive per occurrence.

(a) The Successful Proponent shall at all relevant times carry Workers Compensation Board coverage of either of Alberta or of another AWCBC board that will extend the required amount of coverage to cover the employee outside of their home province. Proponents shall submit their WCB number together with a letter from the appropriate department indicating there are no outstanding fees, fines, claims or debts due on the Successful Proponent's account to the Town of Canmore prior to the commencement of the work.

### **2.17.4 Responsibilities of Successful Proponent**

(a) The Successful Proponent shall supply insurance coverage and pay all costs and expenses, including premiums relating to the insurance coverage requirements as set out herein, and shall supply the Town of Canmore with a certificate of insurance

for all policies on an annual basis. Such policies will include a statement that the coverage shall not be terminated without a prior 30-day written notice to the Town of Canmore.

- (b) The Successful Proponent or their insurer will notify the Town of Canmore at least thirty (30) days prior to any change in insurer, any cancellation of the insurance policy, or any substantial change in the policy or coverage that would materially alter the coverage provided by the Successful Proponent to the Town of Canmore.
- (c) The Successful Proponent shall provide a certificate of such insurance to the Town of Canmore within five (5) days of notification of award or prior to commencing the work, whichever is sooner.

## **2.18 INDEMNIFICATION**

- 2.18.1** The Successful Proponent agrees to indemnify and save harmless the Town of Canmore, its councillors, officers, agents, representatives, and employees, against all suits or claims, requests, legal action and liability regardless of the nature and expenses sustained from injuries or death or any damages or loss to property as a result of the usage of premises or in the execution of the Successful Proponent functions arising from this contract except to the extent of the Town of Canmore's gross negligence.
- 2.18.2** At no time will the Town of Canmore be responsible for any injury sustained by the Successful Proponent, their employees or any person on the Town of Canmore's premises, nor will the Town of Canmore be responsible for any loss, including loss of profits or damage caused to the goods of the Successful Proponent, their employees or any other person, including damage to vehicles and their contents, while these goods are on the Town of Canmore's premises or site.
- 2.18.3** The Town of Canmore shall not be liable for any incidental, indirect, special or consequential damages or any loss of use, revenue or profit of the Successful Proponent arising out of or in any way related to this RFQ or subsequent contract.

## **2.19 INFORMATION SECURITY STANDARDS**

- 2.19.1** Successful Proponents that provide information technology or web-related services to the Town of Canmore as part of their work on the Project shall be required to comply with the Town of Canmore's Information Security Standards as updated from time to time. These standards may overlap with and are additional to the functional and requirements of the specific Project. The Town of Canmore may require Proponents to demonstrate compliance with these standards as part of the Town's review and evaluation of proposals, quotations and qualifications. If not appended hereto, it is the Proponent's responsibility to request the Information Security Standards and access their ability to comply as part of responding to this request.

**END OF SECTION 2.0**

### 3.0 PROJECT OVERVIEW AND SCOPE

#### 3.1 RFQ DEFINITIONS

Owner	The Town of Canmore
Project	Elevation Place Ventilation Enhancements (207, 208, 209A/B and 214)
Proponent	a firm, individual or company who or which intends to submit or submits a quotation pursuant to this RFQ.
Quotation	a submission to the Town of Canmore in response to this RFQ.
Successful Proponent	a firm, individual or company with whom the Town of Canmore may decide to initially discuss contract arrangements based upon acceptance of the Proponent's quotation.
Heating, Ventilation, Air Conditioning Contractor	the Successful Proponent to whom the Town of Canmore issues a contract to supply and install the specified components to supplement the air flow in the second story fitness rooms, 207, 208, 209A/B and 214.

#### 3.2 PROJECT DESCRIPTION/DESCRIPTION OF NEED

**3.2.1** The Town of Canmore's Elevation Place was opened in 2013 and is a heavily used public recreation facility. Rooms requiring enhanced ventilation are all located on the second floor of the building.

Rooms 207 and 208 were originally designed as meeting rooms, however, since the opening of the facility they have been used as aerobic fitness rooms. Infiltration of afternoon sun into the fitness rooms exacerbates their overheating. Ideally, these rooms are set to 19C; however, temperatures into the low to mid 20'sC is a regular occurrence.

Room 214 was intended as a fitness room, but it does not have its own dedicated cooling system. In addition, it is located directly beneath the mechanical room where the water and air for the facility is heated. As such, the concrete slab separating these two floors radiates heat into the room 214.

The existing airflows in these rooms are lower than the original design rates. Energy modelling determined these fitness rooms require supplemental ventilation to meet the current programming requirements.

Room 209 A and B also experience elevated temperatures, but less intensely due to being larger in size with a taller ceiling. The mechanical engineers included Room 209 in their study and energy modelling, which resulted in recommendations to enhance the air circulation at the same time as the other fitness rooms.

### **3.3 PROJECT SITE**

**3.3.1** Elevation Place is located at 700 Railway Avenue. The fitness rooms are located on the second floor of the facility: Rooms 207, 208, 209 A/B, and 214.

### **3.4 SCOPE OVERVIEW/SCOPE OF SERVICES**

#### **3.4.1 GENERAL SCOPE OF WORK**

Supply and install all required equipment to carry out renovations as shown in the RFQ design drawing package and specifications, including but not limited to associated ducting diffusers fans, vents and grilles, electrical and controls to improve the air circulation and in the second-floor fitness rooms (rooms 207, 208, 209A/B and 214).

Demolition Work: All components that are not to be reused in the updated system will be decommissioned, removed from site, and recycled.

Refer to the AME Group IFT Mechanical Drawing Set and Specifications (Appendix B).

#### **3.4.2 DUTIES, RESPONSIBILITIES AND DELIVERABLES OF THE HVAC CONTRACTOR**

- Procure all permits for the scope of work (these may include but are not limited to Road Use Permits for laydown areas and offloading equipment, Permission to Work, Building Permits)
- Procure all equipment as outlined in the mechanical schedules.
- Coordinate all demolition work, electrical work, structural and remedial renovation work, post construction cleaning as well as HVAC installation, ensuring proper and adequate interface with all work scopes.
  - o All cutting and patching that is required to install all new mechanical systems, as well as sealing and repairs for all damage that is a result of the removal or demolition of mechanical equipment (drywall/walls, doors, ceilings, panels, etc.). Patching shall meet fire stopping requirements and all current aesthetic conditions of the facility.
- Supply and install appropriate hoarding to protect flooring, doors, walls, windows, etc.
- Supply and install hoarding/safe passage for facility users and to remain in place until construction is complete.
- Incorporate the updated system components with the existing Building Management System (BMS).
- Re-balance existing air terminals to indicated air volumes.
- Coordinate with the Town Project Manager for project sequencing.
  - o Ensure the existing mechanical systems remain operational during the construction period.
- Coordination with the engineer on record (AME Group) for ventilation enhancement inspections and quality control testing as outlined in the AME design package (Appendix B)
- All after-hours labour, equipment rental, storage and transportation is to be included in the project scope of work.
- Post-construction clean-up to return impacted areas back to pre-construction cleanliness.

#### **3.4.3 SERVICES NOT INCLUDED**

**3.4.4** Enhancements to any other area within Elevation Place not outlined in this RFQ.

### **3.5 ANTICIPATED PROJECT SCHEDULE**

Project Start Date	Can accommodate Proponents schedule
Project Substantial Completion	August 31, 2025
Warranty Period	1 Year after substantial Completion

## RESPONSE REQUIREMENTS AND EVALUATION CRITERIA

### **3.6 FORMAT AND OUTLINE OF RESPONSES**

Electronic RFQ responses are to be on 8.5" x 11" size pages in PDF (.pdf) format only and all components shall be formatted and combined into one file that is inserted into the email submission.

Responses to each section shall be marked with the corresponding letter and number (e.g. A1, A2, etc.).

### **3.7 QUOTATION SUBMISSION REQUIREMENTS**

Proponents are requested to submit a quotation containing the following:

#### **3.7.1 Mandatory Requirements:**

- 3.7.1.1 Signed signature and waiver sheet acknowledging the numbers of Addenda issued.
- 3.7.1.2 Insurance Requirements: Provide evidence from your insurance company confirming your ability to secure insurance as described in Section 2.17.
- 3.7.1.3 WCB Requirements: Provide evidence of WCB coverage as described in Section 2.17.
- 3.7.1.4 **Quotation:** Quotation is to be provided on the standard quotation template from the Proponent company.
- 3.7.1.5 **Appendix A - Construction Experience:** Describe your company experience and background complete with a list of three (3) similar size projects you've completed in the last two years.
- 3.7.1.6 **Appendix B - Scheduled start date and duration:** State when you would be able to start the project and how long you expect it to take to complete.

### **3.8 EVALUATION PROCESS**

- 3.8.1 Selection of the Successful Proponent pursuant to this RFQ will be made on the basis of the Proponent meeting mandatory requirements listed above, the value of their quotation, additional information requested and other factors germane to the Town of Canmore.
- 3.8.2 A submission will first be reviewed for compliance with the mandatory requirements as listed above. The Town reserves the right to accept or reject any or all submissions not complying with the criteria and cancel the RFQ entirely if deemed in the Town's best interests.

### **3.9 PROPONENT SHORTLIST**

- 3.9.1 The Town of Canmore reserves the right to shortlist any number of Proponents based on the evaluation of submissions for the criteria outlined in section 3.8 above.
- 3.9.2 Shortlisted Proponents may be required to undergo an interview prior to final selection of the Successful Proponent. Proponents are not guaranteed any paid assignment because of being shortlisted via this RFQ.

### **3.10 CONFIDENTIALITY OF EVALUATION**

- 3.10.1 Evaluations are confidential, and apart from identifying the top-ranked Proponent, no details of

the submission of any Proponent will be released to any other Proponent.

### **3.11 RFQ SCHEDULE**

The following schedule has been established for this RFQ:

- RFQ issued on Town of Canmore website July 11, 2024
- Pre-Bid Site Inspection, recommended but non-mandatory July 18, 2024 @ 10:00 am
- Last day to submit questions to Town of Canmore designate July 22, 2024
- Last day for Town of Canmore to issue final addendum July 25, 2024
- RFQ closing August 01, 2024 @ 2:00 pm
- RFQ review period August 07, 2024
- Letter of award to be issued to Successful Proponent August 08, 2024
- Issue contract to Successful Proponent August 09, 2024

**END OF SECTION 3.0**

## 4.0 SIGNATURE, ACKNOWLEDGMENT AND WAIVER SHEET

By signing below, the Proponent hereby acknowledges and agrees as follows:

- (a) Prior to submitting its response to this RFQ, the Proponent has obtained from the Town of Canmore and thoroughly reviewed the entirety of the RFQ including all addendums hereto and documents incorporated by reference into this RFQ.
- (b) The Proponent has thoroughly reviewed, understands and agrees to be bound by all terms and conditions of this RFQ including those in all addendums hereto and documents incorporated by reference into this RFQ, unless otherwise waived by the Town of Canmore in its sole discretion and confirmed in writing. The Proponent hereby waives any rights or claims that it was not aware of any document incorporated by reference into this RFQ.
- (c) The Proponent’s representative signing below has the full authority to represent the Proponent in all matters relating to the RFQ and bind the Proponent to the terms and conditions of this RFQ.

Name of Business Entity	
Complete Address:	
Phone	Mobile Phone
Website	Email
Proponent Signature	
Title	
Printed Name	
Date	

I/we acknowledge receipt of the following Addenda and have included for the requirements thereof in my/our RFQ response: Addendum # \_\_\_\_\_ to \_\_\_\_\_.

\_\_\_\_\_  
*(Signature)*

**Notes to Signatories:**

Incorporated Proponents should affix a corporate seal to the signature sheet. If an incorporated Proponent does not have a corporate seal, the Town of Canmore reserves the right to request documentation confirming corporate signing authority in the form of a director's resolution, evidence of current registered officers, or other corporate record.

Unincorporated Proponents must submit proposals signed by individual or legal entity with capacity to execute legal documents and bind the Proponent. The Town of Canmore reserves the right to request documentation confirming individual identities and authority of the signatory to represent the Proponent.

**END OF SECTION 4.0**



## **5.0 APPENDIX A – CONSTRUCTION EXPERIENCE**

- Describe your company experience and background complete with a list of three (3) similar size projects you've completed in the last two years.

**END OF SECTION 5.0**

## **6.0 APPENDIX B – SCHEDULED START DATE AND DURATION**

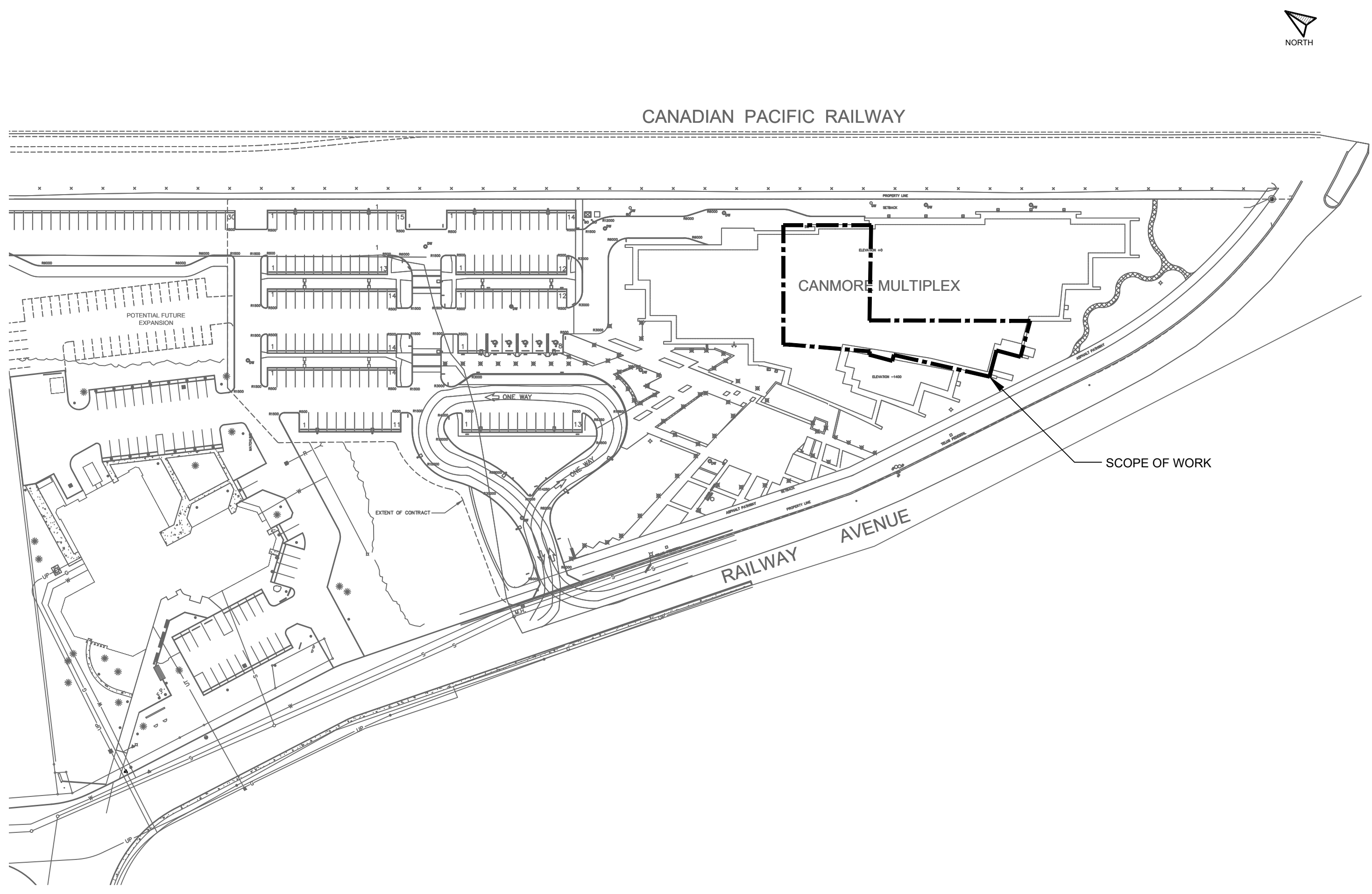
- State when you would be able to start the project and how long you expect it to take to complete.

**END OF SECTION 6.0**

## **7.0 APPENDIX C – REFERENCE DOCUMENTS**

- 7.1 Elevation Place Ventilation enhancement AME Group Drawing Set and Specifications

**END OF SECTION 7.0**



**1 SCOPE OF WORK**  
M001 SCALE: 1:1000

**MECHANICAL GENERAL NOTES**

1. THE MECHANICAL SYSTEM SHALL CONSIST OF ALL WORK SHOWN ON THE DRAWINGS, DIAGRAMS, SCHEMATICS AND AS DESCRIBED IN THE SPECIFICATIONS.
2. THE MECHANICAL PLANS ARE DIAGRAMMATIC IN NATURE AND DO NOT ATTEMPT TO SHOW ALL REQUIRED OFFSETS.
3. COORDINATE THE DRAWINGS WITH THE SPECIFICATIONS AND IN CASES WHERE CONFLICTS OCCUR THE MOST STRINGENT REQUIREMENT SHALL APPLY.
4. CONTRACTOR TO COORDINATE ALL MECHANICAL WORK WITH THAT OF OTHER TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE WITH THE WORK OUTLINED FOR THIS PROJECT.
5. CONTRACTOR TO PROVIDE HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS AS PER CEC (CANADIAN ELECTRICAL CODE) FOR ALL INSTALLED EQUIPMENT. OFFSET MECHANICAL WORK AS REQUIRED TO MEET THIS REQUIREMENT.
6. MECHANICAL EQUIPMENT SHALL NOT BE USED FOR TEMPORARY HEATING DURING THE CONSTRUCTION PROCESS. A WRITTEN LETTER FROM THE OWNER IS REQUIRED TO DO SO.
7. ALL DUCTWORK SIZES ARE SHOWN AS INSIDE CLEAR. ADD APPROPRIATE DIMENSION FOR INSULATION OR DUCT LINER TO OBTAIN "TOTAL DUCT SIZE".
8. CONTRACTOR TO ALLOW AND PROVIDE FOR METAL DUCTWORK TRANSITIONS BETWEEN ALL EQUIPMENT AND DUCT CONNECTIONS.
9. PROVIDE DIFFUSERS AND GRILLE COMPATIBLE WITH ARCHITECTURAL CEILING TYPES.

**MECHANICAL RENOVATION NOTES**

1. THE CONTRACTOR SHALL BE REQUIRED TO ATTEND A PRE-BID WALK THROUGH TO ENSURE A PROPER UNDERSTANDING OF THE MECHANICAL SCOPE OF WORK.
2. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING ACTUAL ON-SITE CONDITIONS AND EQUIPMENT LOCATIONS PRIOR TO ANY AND ALL DEMOLITION WORK AND/OR EQUIPMENT REMOVAL.
3. CONTRACTOR TO INCLUDE AS A PART OF THE BID ALL COSTS ASSOCIATED WITH CUTTING AND PATCHING THAT IS REQUIRED TO INSTALL ALL NEW MECHANICAL SYSTEMS AS REQUIRED TO MEET THE SITE CONDITIONS AS SHOWN ON THE DRAWINGS. PATCHING SHALL MEET THE AESTHETIC CONDITIONS WHICH WAS THE CONDITION PRIOR TO ANY CUTTING BEING PERFORMED.
4. CONTRACTOR TO PROPERLY SEAL AND REPAIR ANY AND ALL DAMAGE THAT IS A RESULT OF REMOVAL OR DEMOLITION OF MECHANICAL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO WALL, DOOR, CEILING, ETC.
5. THE EXISTING FACILITIES MECHANICAL SYSTEMS SHALL REMAIN OPERATIONAL DURING THE CONSTRUCTION AND RENOVATION PERIOD. CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES AND PHASING WITH OWNER TO MINIMIZE DISRUPTIONS TO OWNERS OPERATIONS AND ACCESS, AND TO ENSURE SAFETY OF THE USERS. PROVIDE ALL MEASURES REQUIRED TO PREVENT HAZARDS TO PEOPLE AND DAMAGE TO ITEMS REMAINING INCLUDING BUT NOT LIMITED TO DAMAGE FROM DUST AND HEAT.
6. THE EXISTING DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. AS A RESULT, THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT.
7. DURING REMOVAL OF ITEMS SO INDICATED, CAUTION SHOULD BE USED TO PREVENT DAMAGE TO ANY EQUIPMENT HAVING SALVAGE VALUE. ALL REUSABLE SALVAGED MATERIAL SHALL REMAIN THE PROPERTY OF THE OWNER AND BE RETAINED FOR THEIR INSPECTION. ONLY ITEMS AGREED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR.
8. CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK WITH FACILITY TO LIMIT INTERFERENCE WITH OPERATIONS.
9. CONTRACTOR TO RE-BALANCE EXISTING AIR TERMINALS TO INDICATED AIR VOLUMES.

**MECHANICAL MOTORLIST**

UNIT NUMBER	QTY	UNIT DESCRIPTION	UNIT LOCATION	ELECTRICAL LOAD				VOLT	PH	EQUIPMENT			STARTER			DISCONNECT			CONTROL			EMERGENCY POWER (YES/NO)	NOTES
				MCA	FLA	KW	HP			S	I	C	S	I	C	TYPE	S	I	C	S	I		
FT-1	1	FAN	SECOND FLOOR / SERVING GYM	12			5	208	3	MECH	MECH	ELEC	MECH	MECH	MECH	ELEC	ELEC	ELEC	MECH	MECH	MECH	NO	
FT-2	1	FAN	SECOND FLOOR SERVING FITNESS ROOM	8			2	208	3	MECH	MECH	ELEC	MECH	MECH	MECH	ELEC	ELEC	ELEC	MECH	MECH	MECH	NO	

**SUPPLIER / INSTALL / WIRE CODES:**  
MECH = MECHANICAL  
ELEC = ELECTRICAL  
G = GENERAL CONTRACTOR  
S = SUPPLIED BY  
I = INSTALLED BY  
C = CONNECTED BY

**STARTER CODES:**  
MAN = MANUAL STARTER  
HOA = MAGNETIC STARTER W/ HAND/OFF/AUTO SWITCH W/ AUX. CONTACTS  
MAG = MAGNETIC STARTER C/W AUX STATUS CONTACTS  
MRR = MOTOR RATED RELAY, 24 VAC COIL & MOTOR PROTECTION SWITCH  
PCS = PACKAGED CONTROL SYSTEM  
VFD = VARIABLE FREQUENCY DRIVE

**CONTROL DEVICE CODES:**  
AQUA = PUMP CONTROLLED BY AQUASTAT  
BMS = BLDG MANAGEMENT SYSTEM  
ES = END SWITCH  
ET = LINE VOLTAGE T\*STAT  
FA = FIRE ALARM  
FAP = FIRE ALARM PANEL  
FS = FLOW SWITCH  
GS = GAS SENSOR  
H = HUMIDITY SENSOR  
I = INTERLOCK. SEE NOTES  
LIGHT = WIRED TO LIGHT SWITCH  
LS = LEVEL SWITCH  
OS = OCCUPANT SENSOR  
PS = PRESSURE SWITCH  
R. STAT = REVERSE ACTING THERMOSTAT  
TC = TIME CLOCK

**ELECTRICAL LOAD CODES:**  
BHP = BRAKE HORSEPOWER  
FLA = UNIT FULL LOAD AMPS  
HP = UNIT OR MOTOR HORSE POWER  
PH = POWER PHASE  
MCA = MINIMUM CIRCUIT AMPS  
VOLT = REQUIRED SUPPLY VOLTAGE

**MISCELLANEOUS CODES:**  
FFCP = FIRE FIGHTERS CONTROL PANEL  
FRAC = FRACTIONAL HORSEPOWER  
INT = INTEGRAL PART OF UNIT

**GENERAL NOTES:**  
A. ALL FIRE ALARM DEVICES WIRED BY ELECTRICAL.  
B. CONTROL PANELS ARE SHIPPED LOSS & REQUIRE FIELD WIRING.  
C. PCS EQUIPMENT REQUIRES SINGLE SOURCE POWER CONNECTION, UNLESS NOTED OTHERWISE.  
D. CP, VFD EQUIPMENT REQUIRES POWER WIRING TO AND FROM CONTROL PANEL TO CONTROLLED EQUIPMENT.

**NOTES:**  
1. SINGLE POINT POWER CONNECTION (EXCEPT FOR LIGHTS).  
2. SPRINKLER ZONE VALVES AND FLOW SWITCHES TO BE MONITORED BY THE FIRE ALARM SYSTEM.  
3. FIRE ALARM PANEL TO HAVE DRY CONTACT FOR BMS  
4. MONITOR STATUS AT FFCP  
5. PROVIDE SWITCH AT FFCP  
6. FFCP TO ENABLE DURING ALARM  
7. FFCP TO DISABLE DURING ALARM

**MECHANICAL ABBREVIATIONS**

AD	AREA DRAIN	KW	KILOWATT
AFF	ABOVE FINISHED FLOOR	KS	KITCHEN SINK
AHU	AIR HANDLING UNIT	LV	LAVATORY
ARCH	ARCHITECTURAL	LAT	LEAVING AIR TEMPERATURE
BB	BASEBOARD HEATER	LWT	LEAVING WATER TEMPERATURE
BDD	BACKDRAFT DAMPER	MAU	MAKE-UP AIR UNIT
BF	BOTTLE FILLER	MAX	MAXIMUM
BFP	BACKFLOW PREVENTER	MH	MANHOLE
BHP	BRAKE HORSEPOWER	MBH	1000 BRITISH THERMAL UNITS/HOUR
BMS	BUILDING MANAGEMENT SYSTEM	MD	MOTORIZED DAMPER
BT	BATH TUB	MECH	MECHANICAL
CB	CATCH BASIN	MIN	MINIMUM
CFM	CUBIC FEET PER MINUTE	NFHB	NON FREEZE HOSE BIB
CLG	CEILING	NC	NOT IN CONTRACT
CO	CLEANOUT	NO	NOISE CRITERIA/NORMALLY CLOSED
CONN	CONNECTION	NO	NORMALLY OPEN
CW	COMPLETE WITH	NTS	NOT TO SCALE
CONT	CONTINUATION	O/A	OUTDOOR AIR
CTE	CONNECT TO EXISTING	OBDD	OPPOSED BLADE DAMPER
DB	DRY BULB	OED	OPEN ENDED DUCT
DCVA	DOUBLE CHECK VALVE ASSEMBLY	OD	OUTSIDE DIAMETER
DDC	DIRECT DIGITAL CONTROL	POC	POINT OF CONNECTION
DEG	DEGREE	PRV	PRESSURE REDUCING VALVE
DF	DRINKING FOUNTAIN	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	R/A	RETURN AIR
DN	DOWN	RF	RETURN FAN
DUC	DUAL CHECK VALVE	RM	ROOM
DW	DISH WASHER	RPM	REVOLUTIONS PER MINUTE
DWG	DRAWING	RWL	RAIN WATER LEADER
E/A	EXHAUST AIR	S/A	SUPPLY AIR
EAT	ENTERING AIR TEMPERATURE	SF	SUPPLY FAN
EF	EXHAUST FAN	SH	SHOWER
EFF	EFFICIENCY	SK	SINK
ELEC	ELECTRICAL	SS	STAINLESS STEEL
ENT	ENTERING	SP	STATIC PRESSURE
ESP	EXTERNAL STATIC PRESSURE	SPEC	SPECIFICATION
EWT	ENTERING WATER TEMPERATURE	ST	STORM
EXH	EXHAUST	T/A	TRANSFER AIR
FA	FROM ABOVE	TA	TO ABOVE
FB	FROM BELOW	TB	TO BELOW
FD	FLOOR DRAIN	TBC	TO BE CONFIRMED
FE	FIRE EXTINGUISHER	TBD	TO BE DETERMINED
FFD	FUNNEL FLOOR DRAIN	TD	TRENCH DRAIN
FLA	FULL LOAD AMPS	THRU	THROUGH
FLR	FLOOR	TS	TAMPER SWITCH
FPM	FEET PER MINUTE	TSP	TOTAL STATIC PRESSURE
GPM	GALLONS PER MINUTE	TYP	TYPICAL
GWB	GYP-SUM WALL BOARD	UR	URINAL
HD	HUB DRAIN	VFD	VARIABLE FREQUENCY DRIVE
HB	HOSE BIBB	VTR	VENT THROUGH ROOF
HP	HORSEPOWER	W	WATER MAIN
ID	INSIDE DIAMETER	WB	WET BULB
INV	INVERT	WC	WATER CLOSET
JS	JANITOR SINK	WG	WATER GAUGE

**MECHANICAL DRAWING LIST**

DRAWINGS NO.	DESCRIPTION	SCALE
M001	GENERAL NOTES, LEGEND, MECHANICAL SCHEDULES & MOTOR LIST	NTS
M401	HVAC PLAN - SECOND FLOOR - DEMOLITION	1:100
M402	HVAC PLAN - SECOND FLOOR - RENOVATION	1:100
M801	MECHANICAL DETAILS	NTS
M901	MECHANICAL SPECIFICATIONS	NTS

**FANS**

EQUIPMENT TAG	QTY	LOCATION	SERVICE	TYPE	MANUFACTURER	MODEL	AIR FLOW		E. S. P.	FAN DIMENSIONS (LxWxH)	MOTOR SIZE (HP)	POWER V/PH/Hz	DRIVE TYPE	WEIGHT (KG)	NOTES
							MIN (LPS)	MAX (LPS)							
TF-1	1	SECOND FLOOR	MULTIPURPOSE ROOMS	INLINE	GREENHECK	SQ-18-VG	568	2,839	62.5	1,618	1370x750x750	3	208/3/60	DIRECT DRIVE	90 ALL
TF-2	1	SECOND FLOOR	FITNESS ROOM	INLINE	GREENHECK	SQ-160-VG	330	1,652	100	1,385	1300x660x660	2	208/3/60	DIRECT DRIVE	73 ALL

**NOTES:**  
1 GALVANIZED STEEL HOUSING  
2 FLANGED INLET & OUTLET  
3 COMPLETE WITH VFD CONTROLS

**DIFFUSERS AND GRILLES**

EQUIPMENT TAG	DESCRIPTION/TYPE	MANUFACTURER	SERVICE	MODEL NUMBER	NOTES
S-1	ROUND CONE DIFFUSER	EH PRICE	SUPPLY AIR	RCDA	1,2,3,4
R-1	GRILLE	EH PRICE	RETURN AIR	80	2,3,4
T-1	LOUVERED GRILLE RETURN	EH PRICE	TRANSFER AIR	510Z	2,3,4
T-2	LOUVERED GRILLE SUPPLY	EH PRICE	TRANSFER AIR	510	2,3,4

**NOTES:**  
1 VERTICAL AIR PATTERN  
2 PROVIDE WITH BORDER STYLES THAT ARE COMPATIBLE WITH ADJACENT WALLS AND CEILING SYSTEMS.  
3 VALUE OF NC LEVELS BASED ON OCTAVE BANDS 2-7 SOUND POWER LEVELS MINUS A ROOM ABSORPTION OF 10 DB, MEASURED PER ASHRAE 70-91.  
4 CUSTOM COLOUR FOR THE PRODUCT TO MATCH THE EXISTING ARCHITECTURE.

**SYMBOL SCHEDULE**

PIPING SYSTEMS	SYSTEM MONITORING AND CONTROLS
- - - - - DOMESTIC COLD WATER (DCW)	(T) ROOM TEMPERATURE SENSOR
- - - - - DOMESTIC HOT WATER (DHW)	(RTS) REVERSE ACTING TEMPERATURE SENSOR
- - - - - DOMESTIC HOT WATER RETURN (DHWRT)	(S) TEMPERATURE SENSOR
- - - - - SANITARY VENT	(H) HUMIDITY SENSOR
- - - - - SANITARY SEWER ABOVE GRADE	(CS) CO <sub>2</sub> SENSOR
- - - - - SANITARY SEWER BELOW GRADE	(T) PIPE TEMPERATURE SENSOR
- - - - - STORM SEWER ABOVE GRADE	(P) PRESSURE GAUGE
- - - - - STORM SEWER BELOW GRADE	(I) IRRIGATION
- X - - X - GAS	(T) THERMOMETER
- - - - - CONDENSATE DRAIN	(FS) FLOW SWITCH
- - - - - HEATING WATER SUPPLY	(GM) GAS METER
- - - - - HEATING WATER RETURN	(WM) WATER METER
- - - - - CHILLED WATER SUPPLY	(C) CONTROL WIRING
- - - - - CHILLED WATER RETURN	
- - - - - CONDENSER WATER SUPPLY	
- - - - - CONDENSER WATER RETURN	
- - - - - REFRIGERANT SUCTION(GAS)	
- - - - - REFRIGERANT LIQUID	

**DUCTWORK**

(S)	SUPPLY OR OUTDOOR AIR DUCT UP
(R)	SUPPLY OR OUTDOOR AIR DUCT DOWN
(R)	RETURN AIR DUCT UP
(R)	RETURN AIR DUCT DOWN
(E)	EXHAUST AIR DUCT UP
(E)	EXHAUST AIR DUCT DOWN
(T)	TURNING VANES
(I)	ACOUSTIC INSULATION
(B)	BALANCING DAMPER
(D)	BACKDRAFT DAMPER
(M)	MOTORIZED DAMPER
(V)	PIPE DAMPER - VERTICAL
(H)	FIRE DAMPER - HORIZONTAL
(F)	FIRE/SMOKE DAMPER
(C)	DUCT CAP-OFF
(G)	RETURN OR EXHAUST AIR GRILLE
(U)	UNDER-CUT DOOR

**FIRE PROTECTION**

(E)	FIRE EXTINGUISHER
(S)	FIRE DEPARTMENT SIAMSE CONNECTION
(P)	PENDANT SPRINKLER HEAD
(E)	EXT. COVERAGE PENDANT SPRINKLER HEAD
(U)	UPRIGHT SPRINKLER HEAD
(E)	EXT. COVERAGE UPRIGHT SPRINKLER HEAD
(U)	UP AND DOWN SPRINKLER HEAD
(E)	UP AND DOWN EXTENDED COVERAGE HEAD
(S)	SEISMIC GAS SHUT-OFF VALVE
(A)	AUTOMATIC AIR VENT
(S)	PIPE ANCHOR
(J)	EXPANSION JOINT
(C)	FLEX COUPLING
(S)	PIPE SLEEVE
(T)	HEAT TRACING

**EQUIPMENT TAGS & CALLOUTS**

(-)	GRILLE TYPE
(-)	NECK/GRILLE SIZE
(-)	AIR VOLUME
(-)	EQUIPMENT/FIXTURE TYPE
(-)	GENERAL NOTE
(-)	DRAWING REVISION
(-)	DETAIL NUMBER
(-)	DRAWING NUMBER
(-)	SECTION NUMBER
(-)	DRAWING NUMBER

**MECHANICAL EQUIPMENT**

(P)	PUMP
(C)	CABINET FAN
(P)	PROPELLER FAN
(H)	UNIT HEATER
(H)	FORCE FLOW HEATER
(C)	REHEAT COIL

**RENOVATION**

(E)	EXISTING MECHANICAL SERVICE
(D)	DEMOLISH

**AME Group**  
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Calgary AB, T2R 1M1  
T. 403-252-2333 amegroup.ca

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REV.	DATE	DESCRIPTION
1.	2024.01.02	ISSUED FOR 50% REVIEW
2.	2024.01.22	ISSUED FOR 80% REVIEW
3.	2024.03.07	ISSUED FOR TENDER
4.	2024.07.09	REISSUED FOR TENDER

**CONSULTANT:**

**PERMIT TO PRACTICE** ASPT  
SIGNATURE: [Signature]  
DATE: 2024-07-09  
PERMIT No: 141823  
THE AME CONSULTING Group Ltd.

**SEAL:**  
ASPT  
REGISTERED PROFESSIONAL ENGINEER  
MECHANICAL  
ALBERTA  
2024-07-09  
ASEE ID: 181907

**PROJECT TITLE:**  
**ELEVATION PLACE COOLING ENHANCEMENT, CANMORE, AB**

**PROJECT ADDRESS:**  
700 RAILWAY AVE #100, CANMORE AB T1W1P4

<b>DRAWN BY</b>	HA/NR
<b>CHECKED BY</b>	BL
<b>SCALE</b>	NTS
<b>DATE</b>	07-09-2024

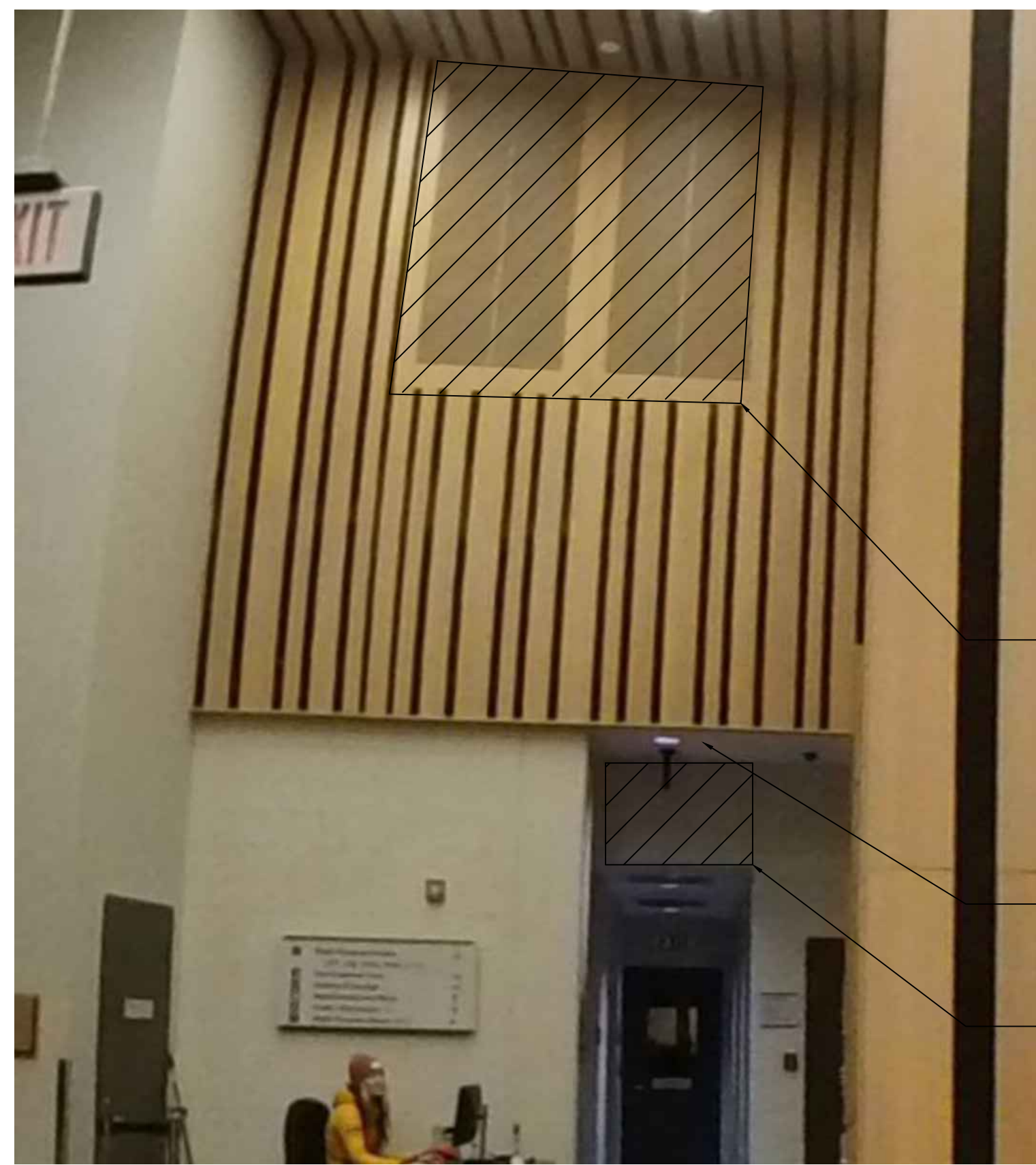
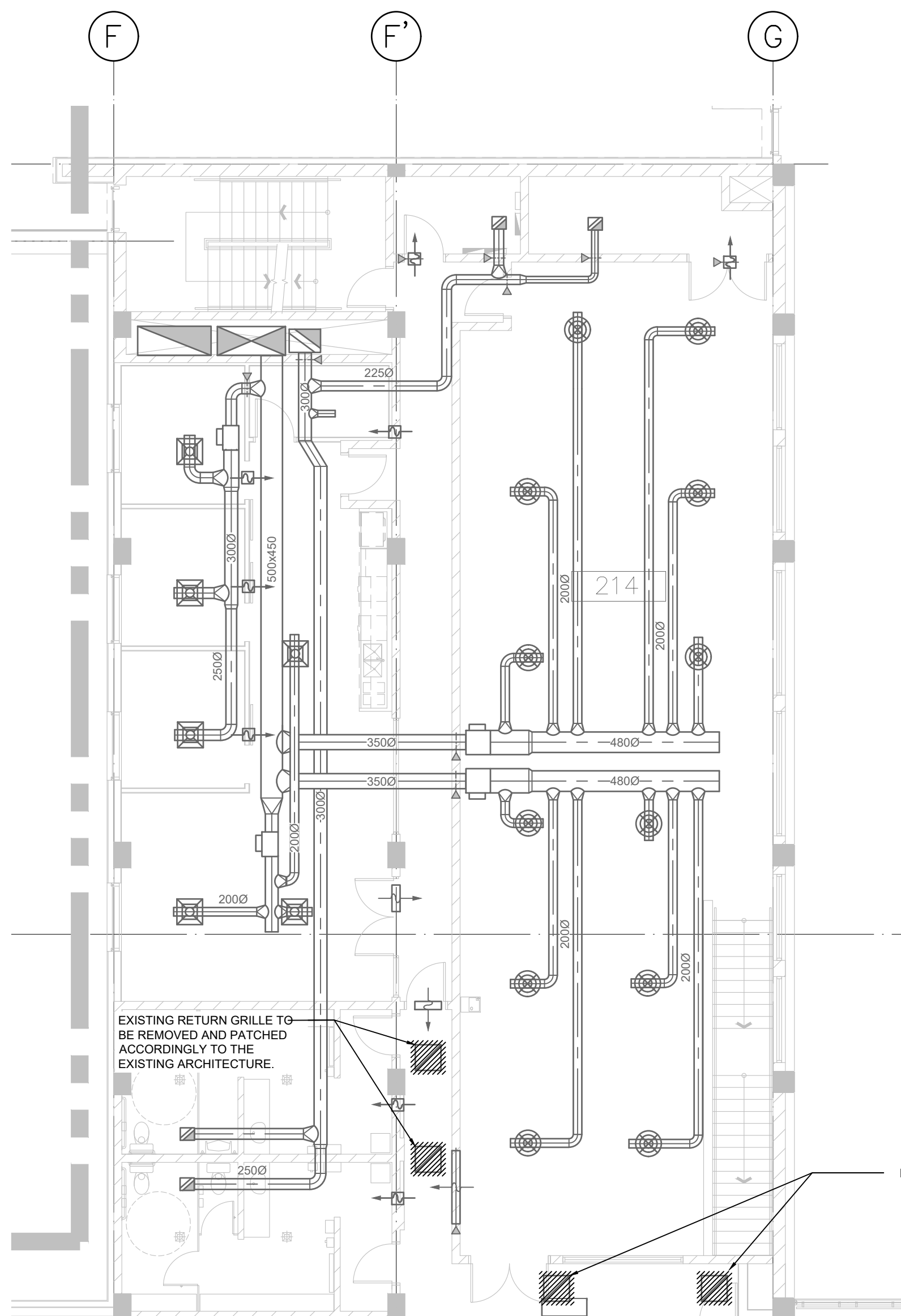
**DRAWING TITLE:**  
**GENERAL NOTES, LEGENDS & MECHANICAL SCHEDULES**

<b>PROJECT NO.</b>	<b>DRAWING NO.</b>
000c-1442-23	M001

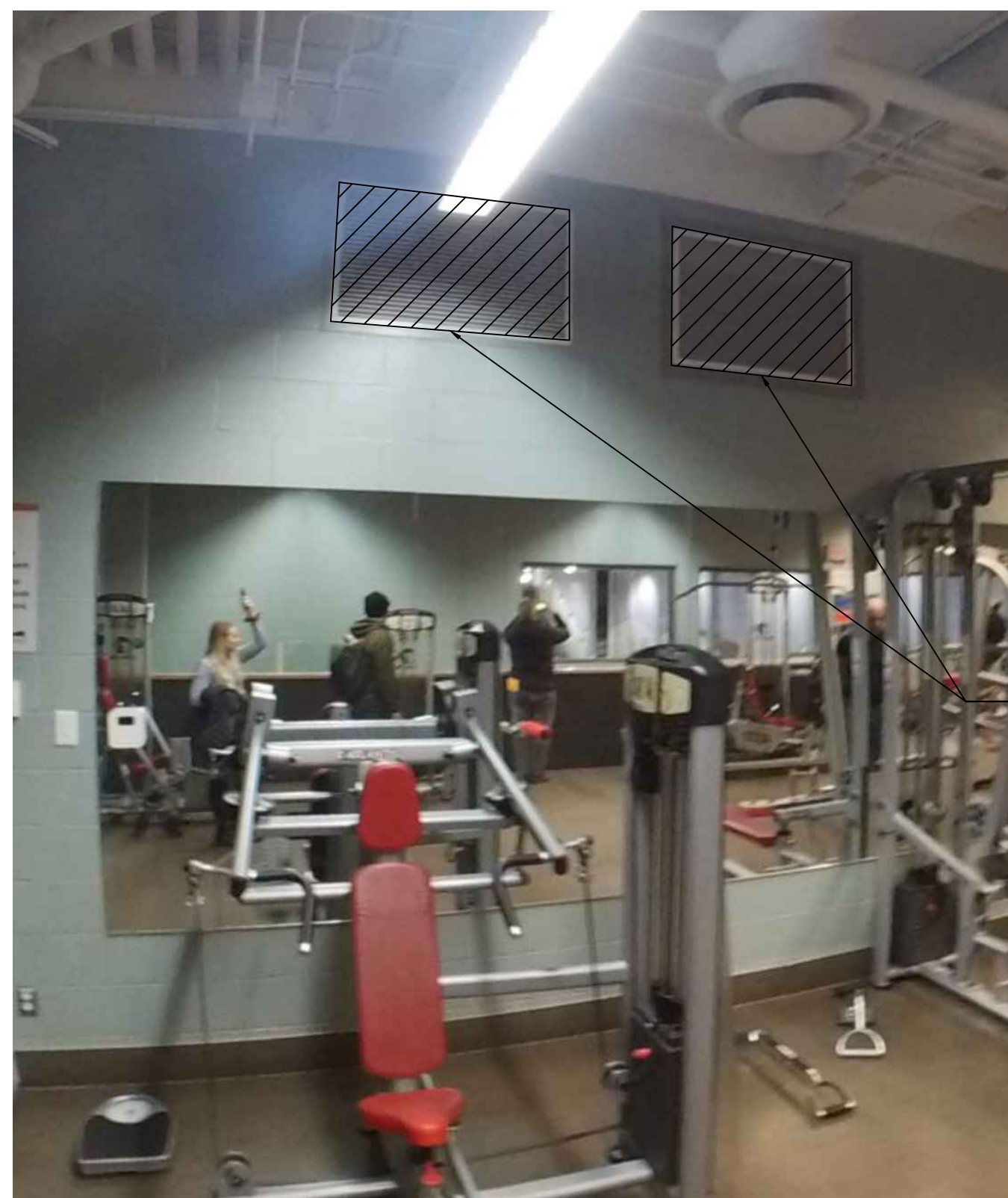


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**2** DETAIL - GRILLE RETURN AND TRANSFER AIR LOCATION  
 M402 SCALE: NTS



**3** FREE AREA REQUIRED ON GRILLE FITNESS CENTER  
 M402 SCALE: NTS

GRILLE RETURN AIR  
 CONTRACTOR TO VERIFY THAT EXISTING GRILLES MEET REQUIREMENTS SPECIFIED IN THE SCHEDULE. IF THE SIZE IS SMALLER THAN 700x500 REPLACE IT ACCORDINGLY.



**1** HVAC PLAN - SECOND FLOOR - DEMOLITION  
 M401 SCALE: 1:100

CONSULTANT:

PERMIT TO PRACTICE ASPT  
 SIGNATURE: [Signature]  
 DATE: 2024-07-09  
 PERMIT NO: 141823  
 The AME Consulting Group Ltd.

SEAL:



PROJECT TITLE:  
**ELEVATION PLACE COOLING ENHANCEMENT, CANMORE, AB**

PROJECT ADDRESS:  
 700 RAILWAY AVE #100, CANMORE AB T1W1P4

DRAWN BY: HA/NR  
 CHECKED BY: BL  
 SCALE: 1:100  
 DATE: 07-09-2024

DRAWING TITLE:  
**HVAC PLAN - SECOND FLOOR - DEMOLITION**

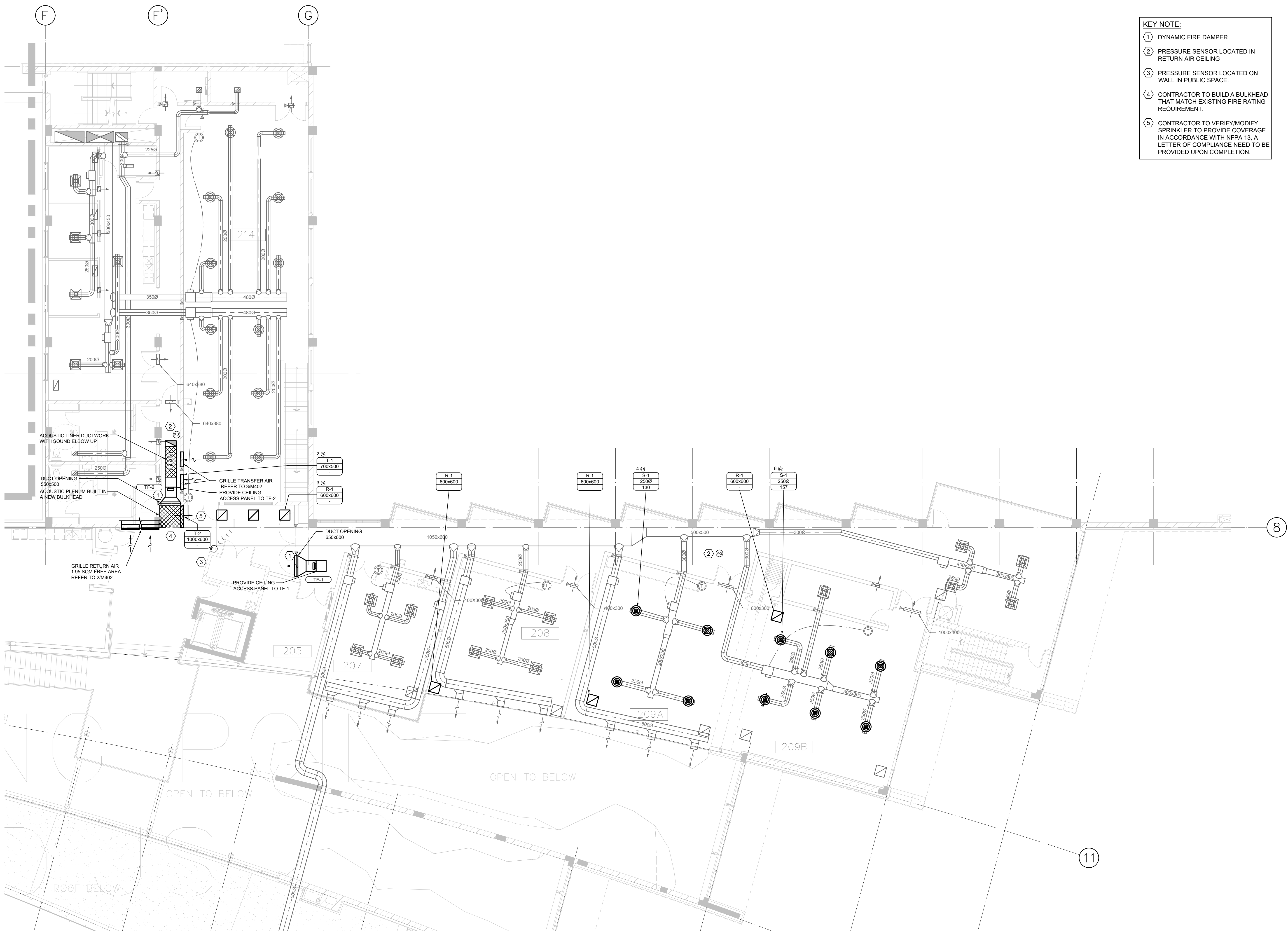
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- KEY NOTE:**
- ① DYNAMIC FIRE DAMPER
  - ② PRESSURE SENSOR LOCATED IN RETURN AIR CEILING
  - ③ PRESSURE SENSOR LOCATED ON WALL IN PUBLIC SPACE.
  - ④ CONTRACTOR TO BUILD A BULKHEAD THAT MATCH EXISTING FIRE RATING REQUIREMENT.
  - ⑤ CONTRACTOR TO VERIFY/MODIFY SPRINKLER TO PROVIDE COVERAGE IN ACCORDANCE WITH NFPA 13, A LETTER OF COMPLIANCE NEED TO BE PROVIDED UPON COMPLETION.



1 HVAC PLAN - SECOND FLOOR - RENOVATION  
 M402 SCALE: 1:100

CONSULTANT:

PERMIT TO PRACTICE ASPT  
 SIGNATURE: [Signature]  
 DATE: 2024-07-09  
 PERMIT NO: 141823  
 The AME Consulting Group Ltd.

SEAL:



PROJECT TITLE:  
**ELEVATION PLACE  
 COOLING  
 ENHANCEMENT,  
 CANMORE, AB**

PROJECT ADDRESS:  
 700 RAILWAY AVE #100, CANMORE  
 AB  
 T1W1P4

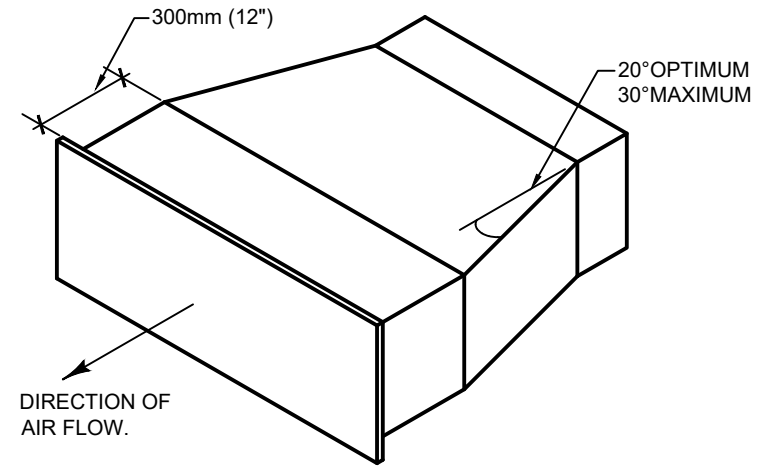
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 CHECKED BY: BL  
 SCALE: 1:100  
 DATE: 07-09-2024

DRAWING TITLE:  
**HVAC PLAN -  
 SECOND FLOOR -  
 RENOVATION**

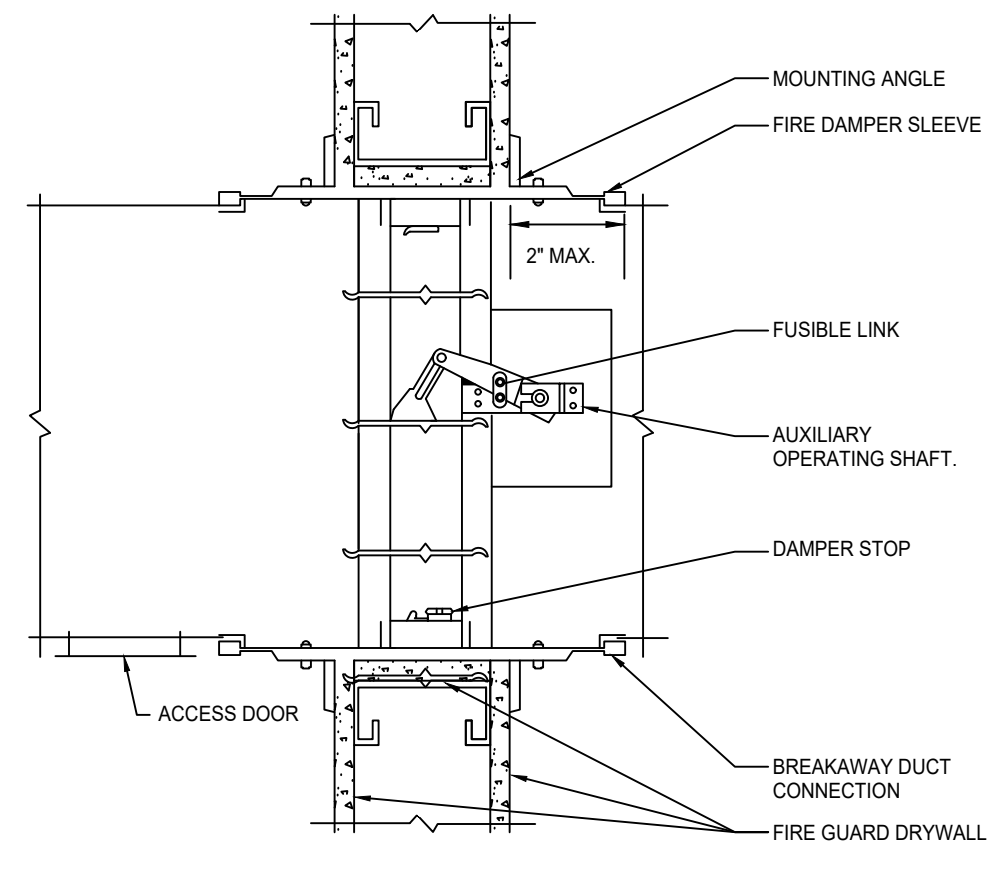
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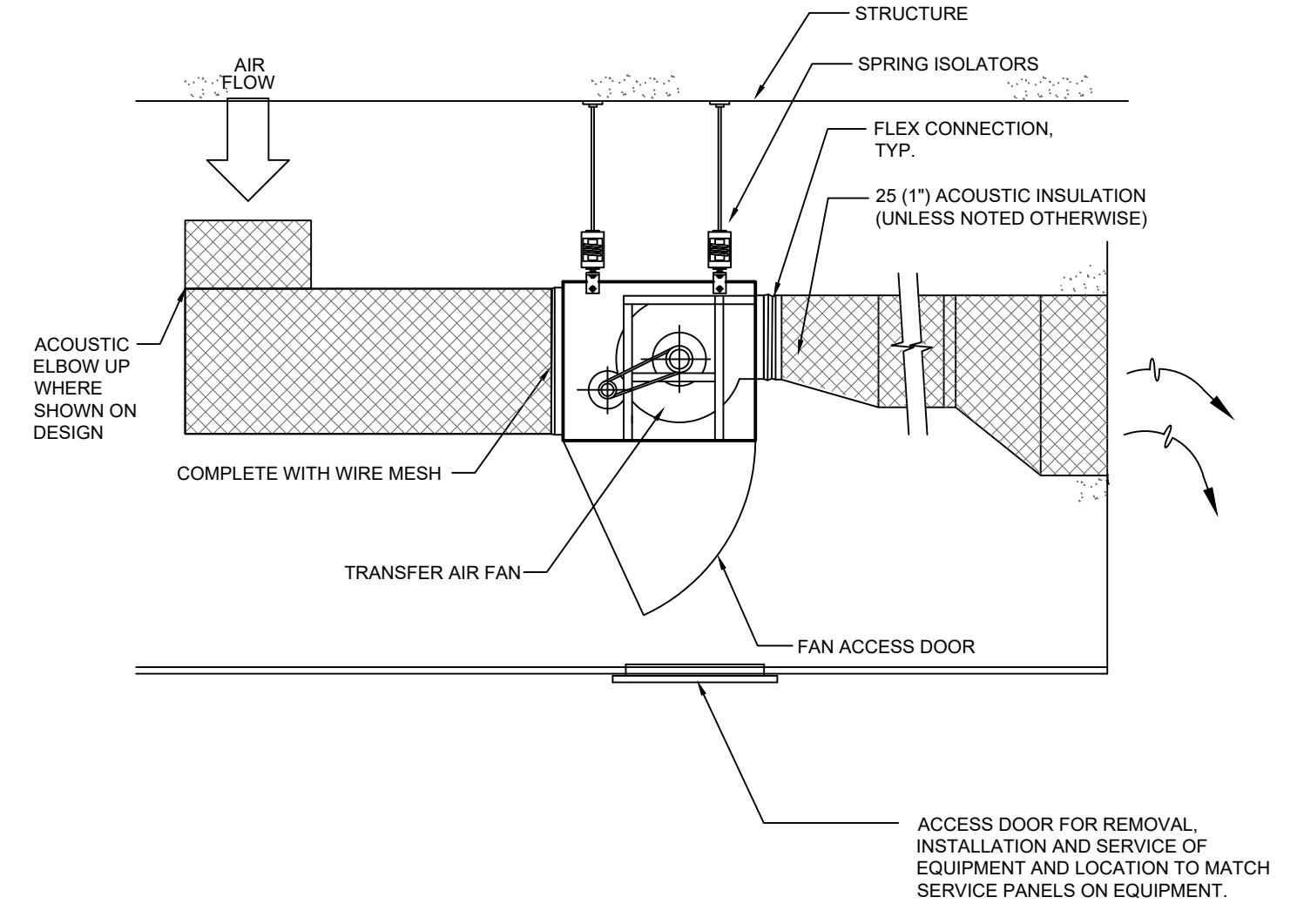


**5 MAXIMUM DUCT ANGLE**  
 M801 SCALE: NTS

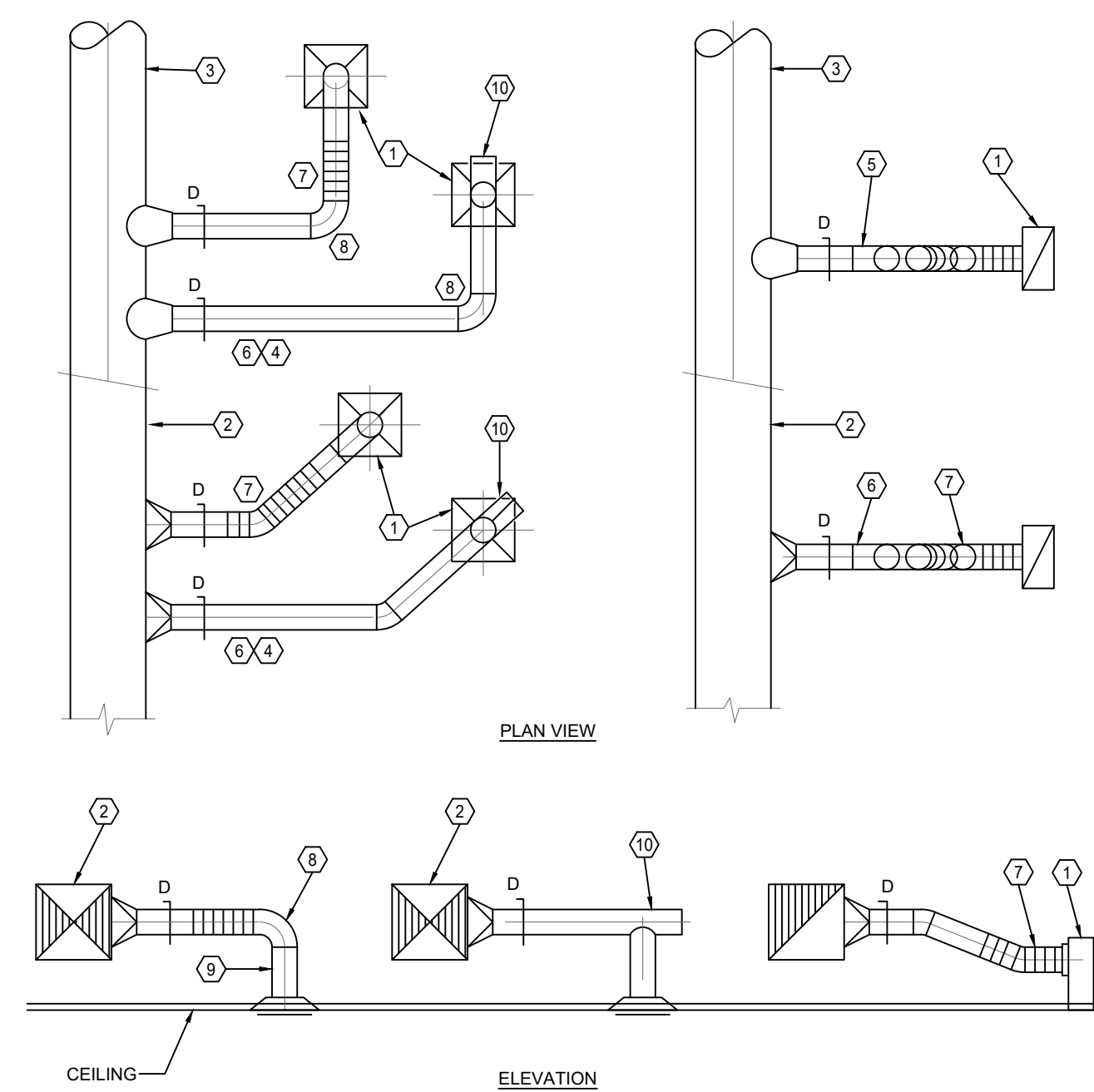


**DETAIL NOTES**  
 1. PROVIDE OPENINGS IN FLOOR OR WALL 1/4" TO 3/4" LARGER THAN OVERALL SIZE OF FIRE DAMPER AND SLEEVE ASSEMBLY.  
 2. CONSTRUCT FIRE DAMPER ASSEMBLY TO SMACNA STANDARDS, AND NFPA 90A REQUIREMENTS.  
 3. VERTICAL INSTALLATION IS ILLUSTRATED. HORIZONTAL INSTALLATION SIMILAR.  
 4. PROVIDE SUITABLE ACCESS DOOR TO FUSIBLE LINK.

**3 DYNAMIC FIRE DAMPER**  
 M801 SCALE: NTS

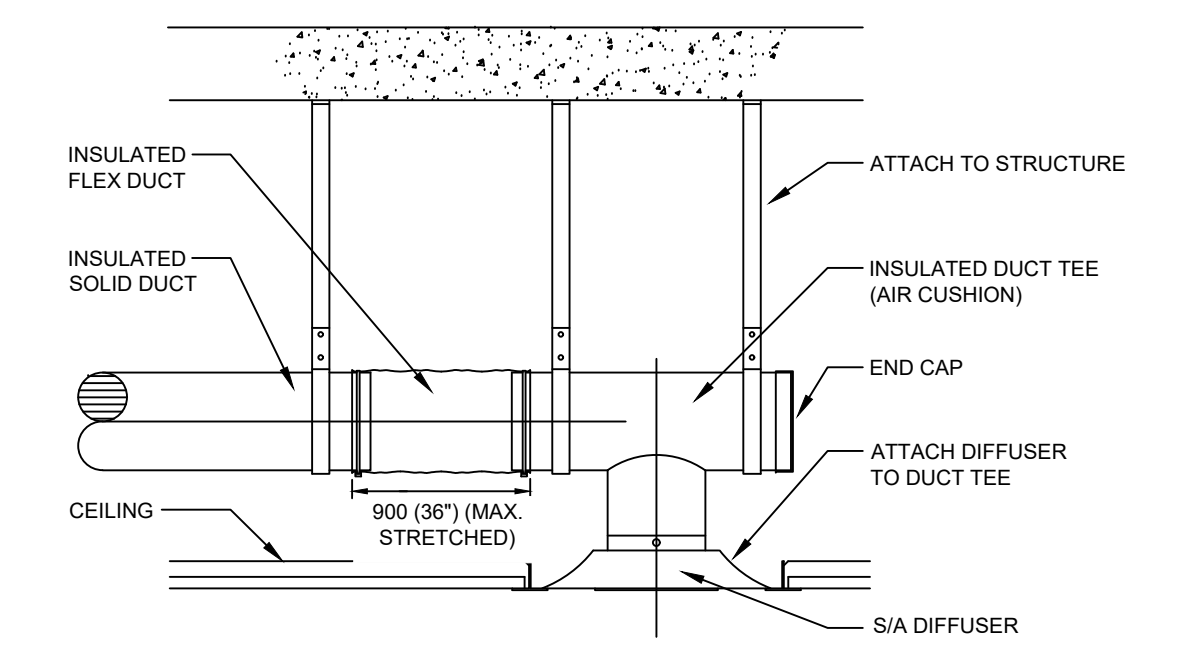


**1 TRANSFER AIR FAN**  
 M801 SCALE: NTS



- |   |  |
|---|--|
| ① AIR TERMINAL UNIT AS SCHEDULED.                                   | ⑥ RIGID DUCT ELBOW - RADIUS = 1.5 x DIA. MIN.  |
| ② RECTANGULAR DUCT - TYP  | ⑦ RIGID DUCT MIN. 1 DUCT DIA. LONG FROM ELBOW TO DIFFUSER.   |
| ③ ROUND DUCT - TYP  | ⑩ PROVIDE CUSHION HEAD FOR DIFFUSER WHERE CEILING SPACE IS LIMITED. TRANSITION TO EQUIVALENT RECTANGULAR DUCT AS REQUIRED. CUSHION HEAD LENGTH = 1 x DIFFUSER DIAMETER |
| ④ DUCT SIZE TO MATCH DIFFUSER NECK SIZE                             |  |
| ⑤ DUCT SIZE AS SCHEDULED  |  |
| ⑧ RIGID DUCT  |  |
| ⑨ FLEX DUCT - MAX. LENGTH AS SPECIFIED - MAX. BEND PERMITTED 45 DEG |  |
- USE ALL RIGID DUCT FOR EXPOSED STRUCTURE

**4 DUCT CONNECTION TO AIR TERMINAL UNITS**  
 M801 SCALE: NTS



**2 SUPPLY AIR DIFFUSER**  
 M801 SCALE: NTS

CONSULTANT:

PERMIT TO PRACTICE	ASPT
SIGNATURE:	<i>[Signature]</i>
DATE:	2024-07-09
PERMIT NO:	141823
	The AME Consulting Group Ltd.

SEAL:



PROJECT TITLE:  
**ELEVATION PLACE COOLING ENHANCEMENT, CANMORE, AB**

PROJECT ADDRESS:  
 700 RAILWAY AVE #100, CANMORE AB T1W1P4

DRAWN BY	HA/NR
CHECKED BY	BL
SCALE	NTS
DATE	07-09-2024

DRAWING TITLE:  
**MECHANICAL DETAILS**

PROJECT NO.	DRAWING NO.
000c-1442-23	M801





PANEL S2C										
Location: STORAGE 205			120 / 208 V				Bus Rating: 225 A			
Existing Panel										
Mounting: Surface										
No.	Type	Load Description	kVA	BKR	Ø	Type	Load Description	kVA	BKR	No.
1		STORAGE 205	15	A			MULTI PURPOSE 207	15		2
3		STORAGE 205	20	B			MULTI PURPOSE 207	15		4
5		HOUSEKEEPING	20	C			PROJECTOR	15		6
7		JANITOR 204	15	A			MULTI PURPOSE 207	15		8
9		ELEVATOR MACHINE RM	15	B			MULTI PURPOSE 207	15		10
11		ELEVATOR CAB LIGHTS	15	C			MULTI PURPOSE 207	15		12
13		MULTI PURPOSE 212	15	A			MULTI PURPOSE 208	15		14
15		MULTI PURPOSE 212	15	B			MULTI PURPOSE 208	15		16
17		MULTI PURPOSE 212	15	C			PROJECTOR	15		18
19		MULTI PURPOSE 212	15	A			MULTI PURPOSE 208	15		20
21		MULTI PURPOSE 212	15	B			MULTI PURPOSE 209	15		22
23		CF-4	15	C			MULTI PURPOSE 209	15		24
25		CF-5	15	A			PROJECTOR	15		26
27		CF-6	15	B			MULTI PURPOSE 209	15		28
29		COUNTER	20	C			MOTORIZED BLINDS	15		30
31		CARBURATOR	15	A			MULTI PURPOSE 209	15		32
33		COUNTER	20	B			PROJECTOR	15		34
35		DISHWASHER	15	C			STORAGE 210	15		36
37		RANGE	50 /	A			EF-4 (STORAGE ROOM 210)	15		38
39			/ 2P	B			MOTORIZED BLINDS	15		40
41		MICROWAVE	20	C			VENDING MACHINE	20		42
43		FRIDGE	15	A			VENDING MACHINE	20		44
45		RANGE HOOD	20	B			CORRIDOR 211	15		46
47		EF-6 (JANITOR RM.)	20	C			CORRIDOR 211	15		48
49		EF-5 (ELEVATOR RM.)	15	A			HOUSEKEEPING	20		50
51		CHRISTMAS LIGHTS	15	B			CORRIDOR 206	15		52
53		CHRISTMAS LIGHTS	15	C			CORRIDOR 206	15		54
55		CHRISTMAS LIGHTS	15	A			CORRIDOR 206	15		56
57		CHRISTMAS LIGHTS	15	B			CORRIDOR 206	15		58
59		SPARE	15	C			HOUSEKEEPING	20		60
61		SPARE	15	A			DRINKING FOUNTAIN	15		62
63		PROJECTOR RM 212	15	B			POOL BALCONY	15		64
65		SPACE		C			ROOM 209 SPARE	15		66
67		SPACE		A			ROOM 209 SPARE	15		68
69		CLIMBING GYM REC.	15	B			SPARE	15		70
71		CLIMBING GYM REC.	15	C			FIRE ALARM BOOSTER PANEL	15		72
73		FAN TF-1 [1]	30 /	A			SPARE	15		74
75			/	B			SPARE	15		76
77			/ 3P	C			FUTURE SOUND RACK	15		78
79		FAN TF-2 [1]	15 /	A			FUTURE SOUND RACK	15		80
81			/	B			SPACE			82
83			/ 3P	C			SPACE			84

**General Notes:**  
a. REFER TO SINGLE LINE FOR FEEDER SIZE.  
b. BREAKERS FOR HEATING CABLES TO BE G.F.P., 30mA.  
c. EXISTING PANELS: BOLD TEXT INDICATES NEW OR MODIFIED.

**Notes**  
a. REFER TO SINGLE LINE FOR FEEDER SIZE.  
b. BREAKERS FOR HEATING CABLES TO BE G.F.P., 30mA.  
c. EXISTING PANELS: BOLD TEXT INDICATES NEW OR MODIFIED.

**Referential Notes:**  
(1) NEW BREAKER TO BE ADDED.

ELECTRICAL DRAWING LIST	
DWG. NO.	DWG. NAME
E001	COVERSHEET & SCHEDULES
E101	SECOND FLOOR – ELECTRICAL RENOVATION
E102	ELECTRICAL SPECIFICATIONS

- GENERAL NOTES – COMMON**
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS.
  - ALL WIRING TO BE IN CONDUIT.
  - CONFIRM EXACT MOUNTING HEIGHT OF ALL DEVICES.
  - ALL WIRING SIZES SHOWN ARE FOR COPPER CONDUCTORS. ALUMINUM MAY NOT BE SUBSTITUTED EXCEPT AS APPROVED BY THE ENGINEER.
  - COORDINATE ALL PENETRATIONS WITH GENERAL CONTRACTOR AND STRUCTURAL ENGINEER. PROVIDE AND INSTALL FIRE STOPPING AT ALL CONDUIT PENETRATIONS THROUGH FIRE SEPARATIONS, AND APPROVED SEALANT THROUGH EXTERIOR WALLS.
  - MINIMUM ALLOWABLE CONDUIT SIZE IS 21 mm (3/4”).
  - MINIMUM ALLOWABLE WIRE SIZE IS #12 AWG.
  - EXTERIOR CONDUIT RUN ALONG ROOF TO BE RIGID STEEL INSTALLED ON SUPPORT BLOCKS. DO NOT PENETRATE ROOF FOR CONDUIT SUPPORTS. RUN CONDUIT ALONG SIMILAR LINES AS MECHANICAL PIPING AND COORDINATE WITH GENERAL CONTRACTOR FOR SEALING OF ALL PENETRATIONS INTO BUILDING.

- GENERAL NOTES – DEMOLITION**
- THESE PLANS MAY NOT SHOW ALL EXISTING DEVICES TO BE REMOVED. CONFIRM ACTUAL LOCATIONS AND QUANTITIES OF ALL DEVICES ON SITE. COORDINATE WITH CONTRACTOR FOR EXTENT OF DEMOLITION.
  - REMOVED EQUIPMENT THAT IS NOT SHOWN TO BE REUSED IS TO BE RETURNED TO THE OWNER, OR PROPERLY DISPOSED OF BY ELECTRICAL CONTRACTOR, AS DIRECTED BY THE OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
  - CAREFULLY REVIEW AND DOCUMENT ALL CIRCUITS IN USE IN THE AREA OF DEMOLITION AND THE ADJOINING OCCUPIED AREAS. THE INSPECTION OF CIRCUITS IN OCCUPIED AREAS IS TO OCCUR AFTER WORKING HOURS. ENSURE THAT ALL DEVICES IN THE ADJOINING OCCUPIED AREAS REMAIN OPERATIONAL AT ALL TIMES DURING WORKING HOURS. ANY DEVICES IN OCCUPIED AREAS THAT ARE CONNECTED TO PANELS TO BE REMOVED ARE TO BE RECONNECTED TO OTHER PANELS.
  - ALL CONDUIT AND WIRING ASSOCIATED WITH REMOVED DEVICES IS TO BE REMOVED BACK TO THE SOURCE, UNLESS NOTED OTHERWISE.
  - REMOVE ALL CONDUIT, WIRING, RACEWAYS, RACKS AND SUPPORTS, ASSOCIATED WITH THE ABOVE DEVICES, EXCEPT WHERE CONDUIT AND SUPPORTS ARE TO BE REUSED.
  - LIFE SAFETY SYSTEMS INCLUDING THE FIRE ALARM SYSTEM ARE TO REMAIN IN A FUNCTIONAL STATE DURING DEMOLITION, OR A FIRE WATCH IS TO BE PROVIDED.
  - PROVIDE BLANK STAINLESS STEEL COVER PLATES ON ALL RECESSED OUTLET BOXES THAT REMAIN UNUSED. PROVIDE SCREWLESS ARCHITECTURAL BLANK COVERPLATE FOR CEILING BOXES.

LEGEND OF SYMBOLS			
POWER		MECHANICAL	
⊕	SINGLE/SPECIAL PURPOSE RECEPTACLE	⊖	MOTOR
⊕	DUPLICATION RECEPTACLE	⊕	SWITCH – MANUAL STARTER
⊕	DUPLICATION ARC FAULT RECEPTACLE	⊕	MOTOR C/W MANUAL STARTER
⊕	DUPLICATION RECEPTACLE C/W 2 USB CHARGE OUTLETS	⊕	MOTOR C/W DISCONNECT SWITCH
⊕	WEATHERPROOF SPLIT CIRCUIT DUPLICATION RECEPTACLE	⊕	UNFUSED DISCONNECT SWITCH
⊕	ISOLATED GROUND RECEPTACLE	⊕	FUSED DISCONNECT SWITCH
⊕	GFCI DUPLICATION RECEPTACLE	⊕	COMBINATION MAG STARTER/DISCONNECT SWITCH
⊕	SPLIT CIRCUIT DUPLICATION RECEPTACLE	⊕	MAGNETIC STARTER
⊕	WEATHERPROOF DUPLICATION RECEPTACLE	⊕	FAN SPEED CONTROLLER
⊕	SWITCH RECEPTACLE	⊕	THERMOSTAT
⊕	T-SLOT FOURPLEX RECEPTACLE	⊕	SENSOR
⊕	FOURPLEX RECEPTACLE	MISEFA	MOTOR IDENTIFICATION TAG (REFER TO MECHANICAL SCHEDULE)
⊕	ISOLATED GROUND FOURPLEX RECEPTACLE	MISEFA	NON-MOTORIZED DAMPER
⊕	FOURPLEX GFCI RECEPTACLE	MISEFA	MOTORIZED DAMPER
⊕	T-SLOT FOURPLEX GFCI RECEPTACLE	MISEFA	DAMPER END SWITCH
⊕	T-SLOT DUPLICATION RECEPTACLE (5–20R)	MISEFA	CILING FAN
⊕	T-SLOT GFCI RECEPTACLE (5–20R)	MISEFA	VALVE
⊕	T-SLOT COMPUTER RECEPTACLE (5–20R)	MISEFA	HAND-OFF-AUTO SELECTOR SWITCH
⊕	COMPUTER DUPLICATION RECEPTACLE	MISEFA	OPEN/CLOSE SWITCH
⊕	COMPUTER FOURPLEX RECEPTACLE	MISEFA	WATER DETECTOR
⊕	T-SLOT COMPUTER FOURPLEX RECEPTACLE	MISEFA	FRIDGE MONITOR
⊕	COMPUTER GFCI DUPLICATION RECEPTACLE	MISEFA	INFRARED FAUCET POWER CONNECTION
⊕	THREE-PHASE RECEPTACLE		
TR ⊕	TAMPER RESISTANT DUPLICATION RECEPTACLE		
⊕	FLOOR MOUNTED RECEPTACLE		
⊕	FLOOR MOUNTED FOURPLEX RECEPTACLE		
⊕	FLOOR MOUNTED COMPUTER DUPLICATION RECEPTACLE		
⊕	FLOOR MOUNTED SINGLE/SPECIAL PURPOSE RECEPTACLE		
⊕	CEILING MOUNTED SINGLE/SPECIAL PURPOSE RECEPTACLE		
⊕	CEILING MOUNTED DUPLICATION RECEPTACLE		
⊕	CEILING MOUNTED DUPLICATION SPLIT RECEPTACLE		
⊕	CEILING MOUNTED FOURPLEX RECEPTACLE		
⊕	SERVICE COLUMN (PAC-POLE)		
⊕	CEILING MOUNTED JUNCTION/SLAB BOX		
⊕	WALL MOUNTED JUNCTION BOX		
⊕	FLOOR MOUNTED JUNCTION/SLAB BOX		
⊕	ELECTRICAL PANELBOARD – SURFACE MOUNTED		
⊕	ELECTRICAL PANELBOARD – RECESSED MOUNTED		
⊕	CONTACTOR		
⊕	CONTROL TRANSFORMER		
⊕	TIMECLOCK		
⊕	GROUND BUS BAR		
⊕	AUTOMATIC DOOR OPERATOR – BARRIER FREE		
⊕	CAR PLUG RECEPTACLE (RESTRICTED)		
⊕	CAR PLUG RECEPTACLE (UNRESTRICTED)		

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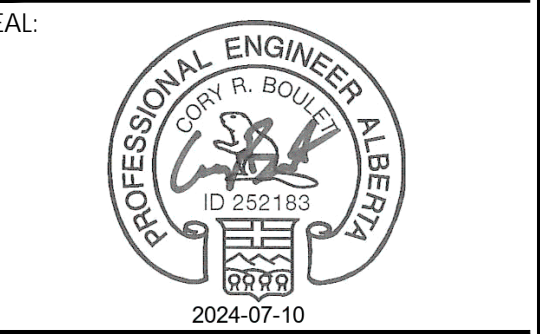
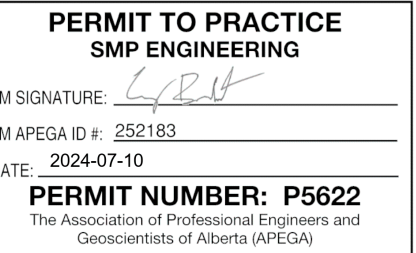
REV.	DATE	DESCRIPTION
1	2024-02-02	ISSUED FOR 80% REVIEW
2	2024-03-07	ISSUED FOR TENDER
3	2024-07-10	ISSUED FOR TENDER



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Engineer  
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12552

CONSULTANT:



PROJECT TITLE:  
**ELEVATION PLACE COOLING ENHANCEMENT, CANMORE, AB**

PROJECT ADDRESS:  
700 RAILWAY AVE #100, CANMORE AB T1W1P4

DRAWN BY: NDA  
CHECKED BY: CB  
SCALE: AS SHOWN  
DATE: 2024-07-10

DRAWING TITLE:  
**COVERSHEET & SCHEDULES**

MECHANICAL EQUIPMENT SCHEDULE																		
Unit No.	Description	Nameplate			Overcurrent Protection				Feeder			Disconnect		Starter/AFD		Remarks		
		Voltage (V)	Phase Ø	Load (HP, FLA, kW)	Type	Rating	Poles	Conductors	Bond	Conduit	Fed From	NEMA Rating	I	C	Type		S	I
TF-1	TRANSFER FAN	208	3	12.6 FLA	BKR	30 A	3P	3 #12	#12	21mm	PANEL S2C	1	E	E	INT	M	M	E
TF-2	TRANSFER FAN	208	3	6.5 FLA	BKR	15 A	3P	3 #12	#12	21mm	PANEL S2C	1	E	E	INT	M	M	E

**COMMON ABBREVIATIONS:**  
E=ELECTRICAL CONTRACTOR M=MECHANICAL CONTRACTOR INT=INTEGRAL TO UNIT (BY MANUFACTURER)  
S=SUPPLIED BY I=INSTALLED BY C=CONNECTED BY NR=NOT REQUIRED

**NAMEPLATE & FEEDER ABBREVIATIONS:**  
FLA=FULL LOAD AMPS; MIN=MINIMUM CIRCUIT CAPACITY HP=HORSE POWER FL=FLUSE(S) P=POLES

**STARTER TYPE ABBREVIATIONS:**  
VFD=VARIABLE FREQUENCY DRIVE MAG=MAGNETIC PAWR MIN=MANUAL COM=COMBO BREAKER + MAG  
PWR=FULL VOLTAGE NON-REVERSING PWR=FULL VOLTAGE REVERSING SFT=SOFT STARTER TS=TIME DELAY THERMOSTAT

**STARTER CONTROL TYPE ABBREVIATIONS:**  
BMS=BUILDING MANAGEMENT SYSTEM H.O.A.=HAND-OFF-AUTO F.O.R.=FORWARD/OFF/REVERSE O.O.=ON/OFF  
LST=LOW VOLTAGE THERMOSTAT R.O.=REVERSE F.O.=FORWARD/REVERSE O.C.=OPEN/CLOSE

**GENERAL NOTES**

- IN MOST CASES THE FLA'S AND ASSOCIATED BRANCH CIRCUITS ARE BASED ON THE CANADIAN ELECTRICAL CODE. CONFIRM THE ACTUAL FLA'S OF MOTORS WITH THE MECHANICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT (BREAKERS, OVERLOADS, ETC.), AND INSTALLATION OF BRANCH CIRCUITS. APPROVAL OF DISTRIBUTION SHOP DRAWINGS IS BASED ON THE ASSUMPTION THAT FLA'S OF MOTORS HAVE BEEN CONFIRMED. NO ADDITIONAL COSTS WILL BE CONSIDERED FOR FAILURE TO CONFIRM THE FLA'S OF MOTORS PRIOR TO SUBMISSION OF DISTRIBUTION EQUIPMENT SHOP DRAWINGS.
- IF MOTOR FEEDER SIZES ARE NOT SHOWN, REFER TO SINGLE LINE DIAGRAM.
- ELECTRICAL CONTRACTOR IS TO UPDATE ALL INFORMATION IN THIS SCHEDULE PRIOR TO SUBMITTING AS-BUILT DRAWINGS. THE OVERCURRENT PROTECTION AND MOTOR NAMEPLATE COLUMNS ARE TO BE FILLED IN BY THE CONTRACTOR.
- WHERE INDICATED, PROVIDE ROOFTOP GFCI RECEPTACLES AS PER CEC RULE 26-704.
- UNLESS NOTED OTHERWISE, ALL EQUIPMENT TEMPERATURE RATINGS ARE ASSUMED TO BE 75°C (CONDUCTOR TEMPERATURE). FOR EXISTING EQUIPMENT, CONFIRM THAT THE TEMPERATURE RATINGS ARE 75°C. IF THE EQUIPMENT IS UNMARKED AND RATED 100 A OR LESS, ASSUME THE TEMPERATURE RATING IS 60°C AND INCREASE THE CONDUCTOR SIZE APPROPRIATELY (CEC RULE 4-006).

**REFERRAL NOTES**

- 
- 
-

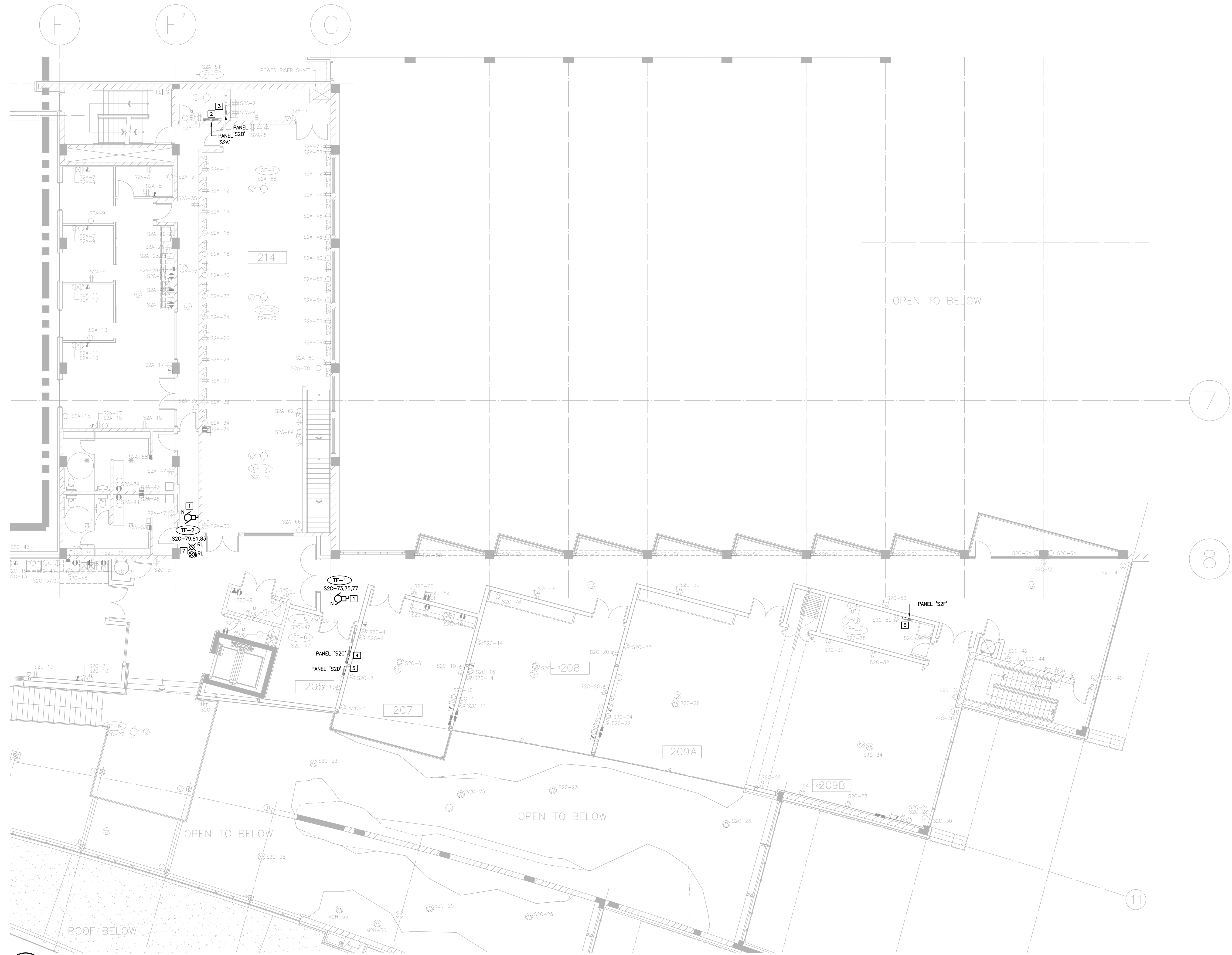
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REV.	DATE	DESCRIPTION
1	2024-02-02	ISSUED FOR 80% REVIEW
2	2024-03-07	ISSUED FOR TENDER
3	2024-07-10	ISSUED FOR TENDER

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Calgary  
 Electrical  
 Subcontractor  
 Member



- REFERRAL NOTES:**
- 1 NEW TRANSFER FAN ABOVE CEILING. COORDINATE ACCESS HATCHES WITH GENERAL CONTRACTOR.
  - 2 EXISTING SIEMENS PANEL 'S2A' 120/208V 3Ø, 4W. (POWER)
  - 3 EXISTING SIEMENS PANEL 'S2B' 120/208V 3Ø, 4W. (LIGHTING)
  - 4 EXISTING SIEMENS PANEL 'S2C' 120/208V 3Ø, 4W. (POWER)
  - 5 EXISTING SIEMENS PANEL 'S2D' 120/208V 3Ø, 4W. (LIGHTING)
  - 6 EXISTING SIEMENS PANEL 'S2E' 120/208V 3Ø, 4W. (LIGHTING)
  - 7 EXISTING LIGHTING FIXTURE AND EXIT SIGN TO BE RELOCATED UNDERSIDE OF THE NEW BULKHEAD IN THE SAME LOCATION. RE-CONNECT TO EXISTING CIRCUIT.

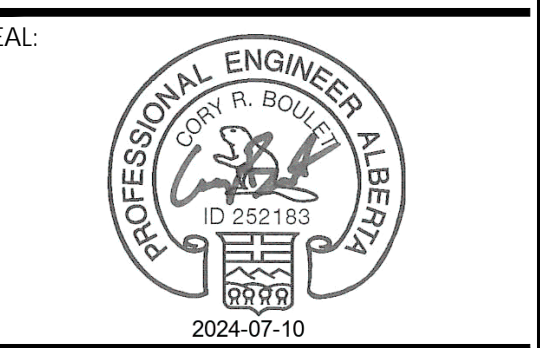
**1 SECOND FLOOR - ELECTRICAL RENOVATION**  
 E101 SCALE: 1:100

CONSULTANT:

**PERMIT TO PRACTICE**  
**SMP ENGINEERING**

IRM SIGNATURE: \_\_\_\_\_  
 IRM APEGA ID #: 252183  
 DATE: 2024-07-10

**PERMIT NUMBER: P5622**  
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)



PROJECT TITLE:  
**ELEVATION PLACE  
 COOLING  
 ENHANCEMENT,  
 CANMORE, AB**

PROJECT ADDRESS:  
 700 RAILWAY AVE #100, CANMORE  
 AB  
 T1W1P4

DRAWN BY	NDA
CHECKED BY	CB
SCALE	AS SHOWN
DATE	2024-07-10

DRAWING TITLE:  
**SECOND FLOOR -  
 ELECTRICAL RENOVATION**

PROJECT NO.	DRAWING NO.
23-01-0463	E101

