

Agenda
Canmore Planning Commission
Canmore Civic Centre – Council Chambers
Wednesday, March 26, 2025, at 2:00 p.m.

- A. Call to Order
- B. Land Acknowledgement
- C. Election of Officers
Election / Appointment of Vice Chair
- D. Adoption of Agenda
- E. Approval of Minutes of the December 11, 2024 meeting
- F. Development Permit Applications:
 - 1. PL20200280
101 Stewart Creek Rise
CONDOMINIUM PLAN 151 1005 UNITS 9 and 10, and CONDOMINIUM
PLAN 161 2642 UNIT 20
Development Permit Renewal
- G. Other Planning Business
None
- H. Next Scheduled Meeting
Wednesday, April 30, 2025
- I. Adjourn

**TOWN OF CANMORE
MINUTES
Canmore Planning Commission
Council Chambers at the Civic Centre, 902-7 Avenue
Wednesday, December 11, at 2:00 p.m.**

MEMBERS PRESENT

Whitney Smithers	Chair
Florian Jungen	Public Representative
Joanna McCallum	Councillor
Jeff Hilstad	Councillor

MEMBERS ABSENT

Spencer Thackray	Public Representative
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ADMINISTRATION PRESENT

Harry Shnider	Planning & Development Manager
Nathan Grivell	Senior Development Planner
Briar Jones	Secretary (Recorder)

CALL TO ORDER

Chair W. Smithers called the December 11, 2024, regular meeting to order at 2:00 p.m.

LAND ACKNOWLEDGEMENT AND ADOPTION OF AGENDA

Chair W. Smithers provided a brief land acknowledgement and inquired if there were any amendments to the agenda as circulated. Secretary B. Jones advised that there was an amendment made to Schedule A in the agenda, and N. Grivell would speak to the changes during his presentation.

Chair W. Smithers then moved that Canmore Planning Commission approve the agenda for the December 11, 2024, regular meeting as circulated.

CARRIED UNANIMOUSLY

APPROVAL OF MINUTES

One spelling error was located and amended in the November 28, 2024, meeting minutes after the minutes were circulated. Chair W. Smithers moved that Canmore Planning Commission approve the minutes of the November 28, 2024, regular meeting, as amended.

CARRIED UNANIMOUSLY

Minutes approved by: _____

DEVELOPMENT PERMIT APPLICATION

1. PL20240082
802 10 St, Canmore, AB T1W 2A7
Plan 1095F; Block 46; Lots 1,2
The proposed development is a mixed-use building with ground floor Retail Sales (3 units) and second and third floor Visitor Accommodation (13 units total)
The applicant requested variances to maximum front yard setback, maximum building and eaveline height, minimum vehicle parking (accepting a portion as cash in lieu of), minimum creek setback, and requirements for the corner visibility triangle.

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented a visual and verbal presentation of the application.

APPLICATION QUESTIONS FROM THE BOARD

Administration answered questions from the Commission.

QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON

The Applicants, Chad Russil and Tanner Allred, briefly spoke to the application and answered questions from the Commission.

QUESTIONS/COMMENTS FROM THE PUBLIC.

None

DECISION

Chair W. Smithers moved that application PL20240082 be **APPROVED** with the conditions attached in the amended Schedule A.

CARRIED UNANIMOUSLY

OTHER PLANNING BUSINESS

None

NEXT SCHEDULED MEETING

Wednesday, January 29, 2024, at 2:00pm

ADJOURNMENT

Chair W. Smithers moved that the Canmore Planning Commission adjourn the December 11, 2024, regular meeting at 2:36 p.m.

CARRIED UNANIMOUSLY

Whitney Smithers, CPC Chair

Briar Jones, Secretary

CANMORE PLANNING COMMISSION



STAFF REPORT

DATE: MARCH 26, 2025

PROPOSED DEVELOPMENT: DEVELOPMENT PERMIT RENEWAL
(67 UNIT STACKED TOWNHOUSE AND APARTMENT
BUILDING DEVELOPMENT)

APPLICATION NUMBER: PL20200280

LEGAL DESCRIPTION: UNIT 20, CONDOMINIUM PLAN 161 2642
UNITS 9 AND 10, CONDOMINIUM PLAN 151 1005

CIVIC ADDRESS: 101 STEWART CREEK RISE

CURRENT USE(S): RESIDENTIAL

APPLICANT: FIRST AVENUE FINANCIAL

REFERENCED DOCUMENTS: LAND USE BYLAW 2018-22: SECTION I ADMINISTRATION

EXECUTIVE SUMMARY

To facilitate the immediate commencement of construction, the new owners of 101 Stewart Creek Rise are requesting that the Canmore Planning Commission grant a renewal of Development Permit PL20200280. Although initially approved in 2009, development at this site has been delayed by several extended periods of inactivity. Given this context, Administration recommends that the Commission approve the request, as it will help advance the development of the site

BACKGROUND

On October 28, 2020, the Canmore Planning Commission approved Development Permit PL20200280 for a 67-unit stacked townhouse and apartment building (Attachment 1). The development at this location was initially approved under DP2009-268, but construction halted after the completion of two buildings. The previous developer then sought a new permit, PL20200280, with a revised development concept. Construction of Building #3 began but was halted in 2024 due to financial challenges, leaving the building incomplete.

The site has been acquired by new owners who are eager to resume construction. While the Building Permit for Building #3 remains valid, the Development Permit requires renewal. Under Section 1.12.0.1 of the Land Use Bylaw, developments must be completed within two years unless an extension is granted by the Development Authority. As the Canmore Planning Commission issued the original Development Permit, they have the authority to approve the renewal. Administration recommends that the Commission approve this request to maintain momentum and ensure continued progress on the development.

OPTIONS FOR CONSIDERATION

The CPC has three options:


1. Approve the request.
2. Refuse the request, specifying reason(s) for refusal.
3. Postpone deciding on the request, pending submission of any additional details requested by CPC.

RECOMMENDATION

Planning recommends that the Canmore Planning Commission [**APPROVE**] the request to renew Development Permit PL20200280.

ATTACHMENTS:

- I. Canmore Planning Commission Agenda Package for PL20200280 (October 28, 2020)



Nathan Grivell
Development Planner



Agenda
Canmore Planning Commission Canmore
Wednesday, October 28, 2020 at 2:00 p.m.
Electronic Hearing Via Zoom

- A. Call to Order
- B. Adoption of Agenda
- C. Approval of Minutes
 - 1) September 30, 2020 meeting
- D. Development Permit Application:
PL20200280 (Amendment to and Renewal of DP2009-268)
101 Stewart Creek Rise
Unit 20, Condominium Plan 161 2642, and Units 9 and 10, Condominium Plan 151 1005
67 Unit Stacked Townhouse and Apartment Building
Variances to Yard Setback, Building Height, Eaveline Height, Density, Roof Pitch, and Loading
- E. Other Planning Business
- F. Next Scheduled Meeting
November 25, 2020
- G. Adjourn



**TOWN OF CANMORE
MINUTES
Canmore Planning Commission
Council Chamber at the Canmore Civic Centre, 902 – 7 Avenue
Wednesday, September 30, 2020 at 2:00 p.m.**

MEMBERS PRESENT

Jeff Roberts	Public Representative (Chair)
Florian Jungen	Public Representative
Larry Bohn	Public Representative
Doug Wright	Public Representative
Joanna McCallum	Councillor

MEMBERS ABSENT

Darlene Paranaque	Public Representative
Alex Pooley	Public Representative

ADMINISTRATION PRESENT

Lauren Miller	Manager of Planning & Development
Alaric Fish	Senior Planner
Jane Dean	Meeting Administrator
Jolene Noël	Secretary (Recorder)

CALL TO ORDER

Chairperson Roberts called the Wednesday, September 30, 2020 Canmore Planning Commission meeting to order at 2:00 p.m.

ADOPTION OF AGENDA

Chairperson Roberts moved that the Agenda of the Canmore Planning Commission meeting of September 30, 2020 be adopted.

**MOTION CARRIED
2:02 P.M.**

ADOPTION OF MINUTES

Chairperson Roberts moved that the adoption of the October 09, 2019 minutes of the Canmore Planning Commission meeting be approved as presented.

**MOTION CARRIED
2:03 P.M.**

Chairperson Roberts moved that the adoption of the January 29, 2020 minutes of the Canmore Planning Commission meeting be approved as presented.

**MOTION CARRIED
2:04 P.M.**

DEVELOPMENT PERMIT APPLICATION

Amendments to previously approved DP2019-160

Minutes approved by: _____

306 Bow Valley Trail
Lot 1 Block 1 Plan 171 0847

Mixed Use Light Industrial Development. Variances requested to eave line-height and building material.

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented an overview of the application.

APPLICATION QUESTIONS FROM THE BOARD

Administration answered questions from the Board.

The Commission asked about the height of the second floor. Administration explained that the Applicant is trying to make the space more functional.

The Commission asked if the second-floor area can be used for staff accommodation. Administration answered yes.

QUESTIONS/COMMENTS FROM THE APPLICANT

The Applicant Sky Maclean was not in attendance.

QUESTIONS/COMMENTS FROM THE PUBLIC.

None.

DECISION

Chairperson Roberts moved that the amendments to the previously approved application DP2019-160 be APPROVED.

**MOTION CARRIED UNANIMOUSLY
2:18 P.M.**

OTHER PLANNING BUSINESS

None.

NEXT SCHEDULED MEETING

October 28, 2020

ADJOURNMENT

Chairperson Roberts moved that the meeting be adjourned.

**MOTION CARRIED
2:19 P.M.**

Jeff Roberts, Chairperson

Jolene Noël, Secretary

Minutes approved by: _____

CANMORE PLANNING COMMISSION

STAFF REPORT

DATE:	28 OCTOBER 2020
PROPOSAL:	67 UNIT STACKED TOWNHOUSE and APARTMENT DEVELOPMENT
APPLICATION:	PL20200280 (Amendment to and Renewal of DP2009-268)
LEGAL DESCRIPTION:	UNIT 20, CONDOMINIUM PLAN 161 2642 and UNITS 9 and 10, CONDOMINIUM PLAN 151 1005
CIVIC ADDRESS:	101 STEWART CREEK RISE
CURRENT APPROVED USE(S):	PARTIALLY COMPLETE (14 UNITS) STACKED TOWNHOUSE DEVELOPMENT
APPLICANT/OWNER:	CANMORE RENAISSANCE CORP.
REFERENCED PLANNING DOCUMENTS:	LAND USE BYLAW 2018-22: <ul style="list-style-type: none"> • SECTION 2.0 General Regulations • SECTION 3.11 R3 SC1 Residential Comprehensive Multiple Unit, Stewart Creek District • SECTION 11.0 Community Architectural & Urban Design Standards • SECTION 12 Density Bonus Regulations

EXECUTIVE SUMMARY:

This site first received Development Permit approval in 2009 for 62 stacked townhouse units in eight buildings with an underground parkade. The original design included variances to density, height, roof and reduced yard setbacks. As an offset to these variances, a significant financial contribution (\$919,100) to help address the issue of affordable housing was agreed to by Council through the Sustainability Screening Process. Two of the original eight buildings are complete, as is the first half of the parkade. The rest of the site is unfinished and the original Development Permit has lapsed on the site.

This application proposes to continue the construction of the six previously approved buildings and the remainder of the parkade, with no proposed changes to the previously approved site design and architectural character. However, the applicant is proposing to increase the density of units from 62 to 67, which requires a variance. Including the density variance, additional variances are required to building height, eave-line height, roof pitch and front and rear yard combined setback.

Administration recommends approval as the original design and obligations are maintained, and the additional density, pedestrian improvements, and Perpetually Affordable Housing (PAH) unit proposed are consistent with the Land Use Bylaw (LUB) regulations and direction in the Municipal Development Plan (MDP).

BACKGROUND:

This application is an amendment to a development permit approved in 2009. Minor changes are typically reviewed through an amendment to an existing Development Permit. However, given the length of time since the original approval and the changes being proposed to density with this application, a new permit is required. The original application proposed a 62 unit stacked townhouse development in eight buildings and a central underground parkade with variances to building height, eave-line height, roof pitch, front and rear yard combined setback, and maximum density. In exchange for approval of the proposed variances, the applicant committed to making a financial contribution to affordable housing in Canmore. The Sustainability Screening Report was approved by Council (as required at the time) and initial and subsequent Development Permits were approved by Administration. This application is being brought to Canmore Planning Commission as required by the proposed increase in density.

APPLICATION DETAILS

This application (Attachment 2) proposes to maintain the site layout, appearance, and building massing that was approved in 2009. The applicant has proposed a new schedule for payment of the initially proposed affordable housing contribution. Administration supports this new schedule, as the first instalment is proposed prior to any further building permits being issued for the development.

AMENDMENTS TO PREVIOUS APPROVALS

Density

The original Sustainability Screening Report was approved by Council and agreements related to 62 units are proposed to be carried forward to this application. This application proposes to increase the density from 62 units to a total of 67 units, a variance of 29.9%. The Density Bonus Section in the Land Use Bylaw allows for higher densities when Perpetually Affordable Housing (PAH) units are provided. Relevant sections of the Density Bonus section of the Land Use Bylaw include:

- 12.2.0.2 The maximum variance granted shall be up to 30% when granted by the Canmore Planning Commission.
- 12.2.0.9 For each PAH unit provided on-site, there will be three (3) bonus/additional market units permitted on the site.
- 12.2.0.10 The Development Authority may accept a different ratio where the applicant can demonstrate that the “bonus” is resulting in a fair benefit to the community through provision of PAH housing.

The density bonus proposed must be approved by Canmore Planning Commission as outlined in Section 12.2.0.2. The applicant is proposing to provide one PAH unit, and is requesting four additional market units. The applicant has agreed to provide a pedestrian walkway system, which addresses a deficiency from the original land developer. Administration is satisfied that the “bonus” of four market units is a fair benefit to the community in exchange for one PAH unit and the improvements to the pedestrian walkway system.

Canmore Community Housing Corporation has been involved in the review of the proposed PAH unit, to ensure the type and size of the unit is appropriate and consistent with current demand and need for PAH. The proposed unit is on the main floor of the “Firenze” Building.

ALIGNMENT WITH TOWN POLICY DOCUMENTS

The proposed development aligns with the following:

- Town of Canmore Strategic Plan (2019-2022)
 - Broadly aligns with Council’s Liveability Goal: We are an inclusive and accessible community for people of diverse social and economic backgrounds.

- Town of Canmore: Municipal Development Plan – Section 5 Affordable Housing
 - Goal 1 – Affordable Housing: To encourage the provision of affordable housing in various types, tenures and densities to meet the demands of an inclusive community.
 - Goal 3 – Affordable Housing: To integrate affordable housing throughout the town.

 - Public-Private Partnerships
 - Policy 5.1.4 - Negotiations with third party construction contractors, non- profit organizations and private sector builders that result in the provision of affordable housing will be supported and encouraged.

 - Housing Variety
 - Policy 5.1.2 - Affordable housing should be integrated and distributed throughout Canmore’s neighbourhoods, with preference given to locations within reasonable walking area of the Town Centre, commercial and mixed-use areas, or transit stops.

 - Non-Market Affordable Housing Incentives
 - 5.2.2 Opportunities for density bonusing will be provided where non-market affordable housing units are constructed, pursuant to density bonusing regulations.
 - 5.2.3 Additional variances beyond density bonusing should be considered for developments that include non-market affordable housing units, including but not limited to floor area ratio (FAR), parking, building height, architectural design and landscaping.
 - 5.2.4 In addition to the density bonus regulations and additional variance powers of an approval authority, other regulations or land use districts that incentivize the provision of non-market affordable housing units shall be implemented.

SUBMITTED COMMENTS

Administration has received one comment from a resident that expressed some concern about the higher density and space in the parkade, but also said they are interested in seeing the project move towards completion. Administration is satisfied that the density is appropriate and has confirmed that the parkade does meet minimum parking stall size requirements.

RECOMMENDATION

Although there are a number of variances associated with the proposed amendments, these are not significantly different from the previously approved variance and come with substantial offsets that benefit affordable housing.

Administration recommends that the Canmore Planning Commission **APPROVE** PL20200280, subject to the conditions of approval set out in the Schedule A attached to this report.

ATTACHMENTS:

1. Proposed Schedule A: Conditions of Approval
2. Development Permit Application Drawings

AUTHORIZATION

Submitted by:	Alaric Fish, RPP, MCIP Senior Planner	September 28, 2020
Approved by:	Lauren Miller, RPP, MCIP, AICP Manger of Planning and Development	October 14, 2020

SCHEDULE A

CONDITIONS FOR APPROVAL FOR: **PL20200280 (Amendment to and Renewal of DP2009-268)
67 Unit Stacked Townhouse and Apartment Building
Development**

**Variances to Yard Setback, Building Height, Eaveline Height,
Density, Roof Pitch, and Loading**

LEGAL DESCRIPTION: **Unit 20, Condominium Plan 161 2642
Units 9 and 10, Condominium Plan 151 1005**

CIVIC ADDRESS: **101 Stewart Creek Rise**

APPROVED VARIANCES:

1. Variance to Section 3.11.3.4 of Land use Bylaw 2018-22, to allow the combined front and rear yard setback to be a minimum of 9.51 m in accordance with previously approved plans as opposed to the 16.5 m required.
2. Variance to Section 3.11.3.5 of Land Use Bylaw 2018-22, to allow a maximum building height of 14.95 m in accordance with previously approved plans, as opposed to maximum permitted building height of 12.0m.
3. Variance to Section 3.11.3.5 of Land Use Bylaw 2018-22, to allow a maximum eaveline height of 12.5m in accordance with previously approved plans, as opposed to maximum permitted eaveline height of 9.0m.
4. Variance to Section 3.11.3.9 of Land Use Bylaw 2018-22, to allow for a maximum density of 87 units per hectare (67 units on the site).
5. Variance to Section 11.5.4.1 of Land Use Bylaw 2018-22, to allow a minimum roof slope of 3:12 for visible portions of the roof in accordance with previously approved plans, where 6:12 is required.
6. Variance to Section 2.7.3.1 of Land use Bylaw 2018-22 to not require any on-site loading stall in accordance with previously approved plans, as opposed to the minimum of one loading stall for multi-unit residential buildings.

STANDARD CONDITIONS OF APPROVAL:

1. The Developer shall enter into a Development Agreement with the Town of Canmore, **prior to the release of the Development Permit**. The Development Agreement shall include provisions regarding the payment of any required levies or fees. An application must be made in writing requesting that the Development Agreement be drawn up. A Certificate of Title evidencing the ownership of the property, and the name(s) of the person(s) having signing authority must accompany this request.
2. The Developer shall comply with all Town of Canmore Engineering requirements including the following:
 - a) No roof or other on-site drainage will be allowed to flow to the sanitary sewer system.
 - b) The Developer must ensure that no drainage is diverted to either of the adjoining private properties or onto Town road or trail right-of-way. The location of all catch basins, dry wells and down spouts must be designed and constructed to meet this specification.
 - c) Water and sewer services are to be the satisfaction of the Director of Environmental Services and must conform to the Engineering Design Standards and Open Space Guidelines of the Town of Canmore. Specifications must be obtained from the Senior Manger of Engineering.
 - d) Should the Developer intend or wish, to subdivide the property or building at some point in the future, a water meter and scan pad (puck) shall be required for each new title created and registered at the land Titles Office, to be installed where the main water service enters the property, in accordance with the Town of Canmore Water Works Bylaw (8-98), as amended from time to time.
 - e) The Consultant must submit a covering letter as per the current Town of Canmore Engineering Design Guidelines, Section 1, giving a description of the project and confirmation that all aspects of the design meet the requirements of the Town of

Canmore and other authorities having jurisdiction (e.g. Alberta Environment). Note any variances required in this covering letter.

3. All development shall comply with Alberta Environment ground water table elevation. No habitable floor space shall be built below the ground water table as determined by the Town of Canmore.
4. All construction shall comply with the Alberta Building Code and the Safety Codes Act.
5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or is blown over, shall be replaced on an ongoing basis, prior to receipt by the Developer of a Development Completion Certificate. All pathways shown on the submitted plans shall be constructed as shown, and built to the relevant standards contained in the Town of Canmore Engineering Design Standards and Open Space Guidelines where appropriate.
7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
8. Access to the site for emergency vehicles shall be to the satisfaction of the Manager of Emergency Services.
9. All signs shall require separate Development Permits.
10. **No occupancy** shall be permitted until an **Occupancy Certificate** has been issued by the Town of Canmore.
11. The following Special provisions shall apply for steep slope and deep fill development on the site:
 - a) No finished slopes shall exceed a 1:3 slope (1 vertical to 3 horizontal), except where certification of the stability of the slope has been issued by a Professional Engineer.
 - b) Where the Professional Engineer identifies the need for a retaining wall in the certification, all such retaining walls must be professionally designed and constructed, and the completed retaining wall certified by a Professional Engineer.
 - c) If required by the development officer, the applicant shall submit an as-built grade plan from a land surveyor showing finished grades. Such plan shall be submitted and the grades accepted by the development officer prior to issuance of the development completion certificate and prior to permission to occupy is granted. Any grades exceeding 1:3 shall be adjusted or certified prior to issuance of the development completion certificate.

SPECIFIC CONDITIONS:

12. The Developer shall provide security to the Town of Canmore in the form of cash or irrevocable Letter(s) of Credit in the amount and format set out in the development agreement. The Letter(s) of Credit shall be supplied in accordance with the schedule set out in the development agreement.
13. The Developer shall pay off site levies according to the approved bylaw adopted by Council at the time of the signing of the Development Agreement. The Development Agreement shall specify the manner of the payment of these monies and all other relevant fees and contributions as determined by approved Town of Can more policy(ies).
14. Prior to the release of the Development Permit, the applicant shall pay the following fees:
Decision Making Authority: Canmore Planning Commission \$310.00
Six approved variances (1 new with this application) @ \$200 (discretion not limited in LUB)
TOTAL FEES PAYABLE: \$510.00
15. The Developer is required to provide **103** vehicle parking stalls as shown in the approved plans, according to the following:

Method of Calculation

Parking stalls (minimum)

67 units @ 1 stall/unit =	67 stalls
67 units @ 0.15 visitor stalls/unit =	<u>10.05 stalls</u>
Total =	77 stalls (round down as per 2.7.1.4)

Parking stalls (maximum)

18 1-bedroom units @ 1stall/unit =	18 stalls
45 2-bedroom units @ 1.5stalls/unit =	67.5 stalls
4 3-bedroom units @ 2 stalls/unit =	8 stalls
67 units @ 0.15 visitor stalls/unit =	<u>10.05 stalls</u>
Total =	(103.55) 103 stalls (round down as per 2.7.1.4)

All on-site driveway and parking stalls, and loading spaces shall be graded and paved to dispose of drainage to the satisfaction of the Development Authority.

- 16. Prior to release of the Development Permit**, revised plans shall be submitted showing bicycle parking as required in accordance with the requirements of the Land Use Bylaw and Engineering Design and Construction Guidelines. The Developer is required to provide **11** short-term and **134** long-term bicycle parking stalls according to the following:
- Method of Calculation
Bicycle Parking
 Short term: 67 units @ 0.15/unit = 11 stalls (round up as per 2.7.1.5)
 Long term: 67 units @ 2/unit = 134 stalls
Total Provided Bicycle Stalls = 145 (11 surface stalls and 134 storage units)
- 17.** Prior to release of the Development Permit, the Developer shall work with the Town of Canmore to confirm adequate **quantity and location of waste, recycling and food waste containers**. These shall be located onsite in accordance with the approved drawings or adjacent to the development along Stewart Creek Rise if acceptable to the Town of Canmore. These containers shall be serviceable by the Town of Canmore’s Solid Waste Services to the Manager of Public Works. **No additional Occupancy shall be granted until these containers have been installed.**
- 18.** The Developer shall provide the landscaping in accordance with the approved plans. Plant varieties and species may be revised to the mutual satisfaction of the Developer and the Town of Canmore in an effort to better respond to FireSmart Vegetation Management Strategies to decrease wildfire risk, specifically to eliminate all combustible material (shrubs, trees, mulch) within 1.5 meters of all buildings.
- Where landscaping is provided on Town road right of way, **prior to any redivision or creation of new condominium units**, the Developer shall register an agreement on title for the development which commits the condominium board of the development to maintaining the landscaping and vegetation located within the adjacent road right of way to the satisfaction of the Town of Canmore.
- 19.** The Developer shall construct a **pedestrian walkway system** to serve the development including a 1.8 metre wide concrete sidewalk along Stewart Creek Rise, and 2.5 metre wide asphalt path along Three Sisters Parkway, to the satisfaction of Town Engineering department. A final plan shall be provided to the satisfaction of the Town of Canmore prior to the release of the Development Permit. **On or before August 31, 2021, the Developer agrees to complete construction of the entire pathway** adjacent to Three Sisters Parkway and the portion of the concrete sidewalk along Stewart Creek Rise from the traffic circle as far as the edge of “Building A” or “Abruzzo” (Units 12-19, Plan 161 2642). This date may be extended to October 31, 2021 by mutual agreement in writing in the case of unusual circumstances. In the event the Developer fails to complete construction on or before August 31 2021, or October 31, 2021 if extended by agreement in writing, the Town shall have the right to use the Developer’s security to undertake this construction. The remaining portion of the concrete sidewalk pedestrian system shall be completed prior to any Occupancy of the last building.
- 20. Prior to release of the Development Permit** the Applicant shall submit revised Architectural, Engineering, and Landscaping plans to ensure consistency. The required pedestrian pathways must be provided and site grading and landscaping shall be designed to accommodate the pedestrian walkway system.
- 21. Prior to commencement of construction**, the Developer shall submit a Construction Management Plan to the satisfaction of the Engineering Department. This Construction Management Plan shall outline how the Developer proposes to mitigate the adverse effects of construction shall address all items listed in the Town of Canmore Construction Management Guidelines
- The construction management plan submitted shall be followed through all stages of construction. If any problems arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.
- 22. Prior to the release of any Building Permits**, the Developer shall provide lighting details as required by, and in conformance with Land Use Bylaw 2018-22.
- 23. Prior to commencement of construction**, the applicant shall demonstrate consistency with the Town of Canmore Green Building requirements as identified in Section 10 of the Land Use Bylaw

2018-22. Evidence of achieving these requirements shall be provided **prior to Occupancy being granted.**

- 24. **Prior to commencement of construction of Building 4 (“Firenze”),** the developer shall enter into an agreement with the Town that specifies the terms and conditions of the transfer of the Perpetually Affordable Housing (PAH) unit to the Town, specifically the two bedroom unit.
- 25. **Prior to occupancy of the 6th unit in Building 4 (“Firenze”),** the Perpetually Affordable Housing (PAH) unit shall be available for occupancy.
- 26. **Prior to occupancy of the 6th unit in Building 4 (“Firenze”),** the developer shall register a caveat on the certificate of title that requires the first right of refusal for sale the Perpetually Affordable Housing (PAH) unit in favour of the Canmore Community Housing Corporation (CCHC) to the satisfaction of the Town.

ADVISORY CONDITIONS:

- 27. Prior Sustainability Screening Report and Development Agreement commitments for Development Permit DP2011-294 and Development Permit DP2009-268 shall remain in effect except that the payment of the proposed contribution to affordable housing shall in accordance with the Developers submission as outlined below and shall be paid by the developer in stages throughout the developer according to the following amended schedule:

\$46,055.00	To be paid prior to release of any further building permits
\$73,045.00	To be paid prior to occupancy being granted for the 2nd unit in 3 rd Building
\$100,000.00	To be paid prior to occupancy being granted for the 2nd parkade structure
\$140,000.00	To be paid prior to occupancy being granted for the 2nd unit in 4 th Building
\$140,000.00	To be paid prior to occupancy being granted for the 2nd unit in 5 th Building
\$140,000.00	To be paid prior to occupancy being granted for the 2nd unit in 6 th Building
\$140,000.00	To be paid prior to occupancy being granted for the 2nd unit in 7 th Building
<u>\$140,000.00</u>	To be paid prior to occupancy being granted for the 2nd unit in 8 th Building
\$919,100.00	Total

Failure to provide payment in accordance with the above schedule will result in the Town of Canmore not issuing any further Building Permits or granting further Occupancy Certificates. The Town shall not be obligated to endorse any further subdivision of the Development Site if payments due in this clause are not paid when due. The Town may at its sole discretion draw upon the security held by the Town for the Development to fulfill the commitments made by the Developer under this section should any payments due in this clause not be paid when due.

Date: _____, 2020

Chairperson
Canmore Planning Commission

APPLICATION COMPLETE: October 9, 2020
NOTICE POSTING REQUIRED? YES

THE RENAISSANCE

CANMORE, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT RESUBMISSION

APRIL 6, 2020



CANMORE RENAISSANCE CORP.

DRAWING INDEX	
Sheet Number	Sheet Title
	COVER SHEET
DP0-1	CONTEXT SHEET
DP1-1	SITE PLAN
DP1-2	ROOF PLAN
DP1-3	CONSTRUCTION PHASING PLAN
DP2-0	PARKADE PLAN
DP2-1	BRINDISI & CAPRI FLOOR PLANS
DP2-2	DIAMANTE, ELBA & FIRENZE MAIN FLOOR PLANS
DP2-3	DIAMANTE, ELBA & FIRENZE 2nd-4th FLOOR PLANS
DP2-4	HORTUS FLOOR PLANS
DP3-1	BRINDISI AND CAPRI ELEVATIONS
DP3-2	FIRENZE AND ELBA ELEVATIONS(DIAMANTE SIMILAR/MIRRORED)
DP3-3	HORTUS ELEVATIONS
DP4-1	FIRENZE AND ELBA BUILDING SECTIONS
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L1.2	LAYOUT PLAN
L1.3	GRADING PLAN
L2.1	SECTIONS
L2.2	SECTIONS
L2.2B	SECTIONS
L2.3	SECTIONS
L2.4	SECTIONS
L2.5	SECTIONS
L2.6	SECTIONS
L2.7	SECTIONS
L3.1	DETAILS



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CONTEXT PLAN

PHASING:	PHASE	BLOCK
	1	G (BUILT)
	2	PARKADE NW HALF
	3	A (BUILT)
	4	H
	5	F
	6	PARKADE SE HALF
	7	E
	8	D
	9	B
	10	C

PHASING PLAN

PROJECT DESCRIPTION: THIS IS A MULTI-FAMILY CONDO PROJECT. THE PROPOSED ADAPTIVE HOUSING DESIGN CONSISTS OF 8 SENSITIVELY SCALED CONDO BLOCKS. WITH 19 ONE-BEDROOM UNITS, 44 TWO-BEDROOM UNITS, 4 THREE-BEDROOM UNITS. ONE LEVEL U/G PARKING WITH 103 STALLS, AND CONTINUOUS LANDSCAPING WORK ABOVE PARKADE.

LEGAL DESCRIPTION: Unit 20 Plan 1612642

MUNICIPAL ADDRESS: 101 STEWART CREEK RISE

LAND USE DISTRICT: R3 SC1 RESIDENTIAL COMPREHENSIVE MULTIPLE UNIT, STEWART CREEK.

SITE AREA: 7,697.08 sq.m. = 1.90 acre = 0.77 hectare = 82,850.7 sq.ft.

FOOTPRINT AREA: 2819 sq.m. = 0.70 acre = 0.28 hectare = 30,343 sq.ft.

SITE COVERAGE: (FOOTPRINT AREA/SITE AREA * 100) = 2819 sq.m. / 7,697.08 * 100 (30,343 sq.ft. / 82,850.7 sq.ft. * 100) = 37%

LANDSCAPE AREA: 4878 sq.m. (52,507 sq.ft.) REQUIRED 40%, PROPOSED 63%

GARBAGE FACILITY: THE GARBAGE COLLECTOR FACILITY IS LOCATED ON THE WEST END OF THE SITE AND ON THE NORTH END OF BLOCK 'H'

NET FLOOR AREAS: THE NET FLOOR AREA IS TAKEN FROM THE CHART (UNIT DISPLACEMENT AND THE PARKING CALCULATION)
TOTAL AREA: = 92,717 sq.ft.
PARKADE AREA: = 37,124 sq.ft.

DENSITY: PERMITTED MIN 30 UNITS PER HECTARE = 23 UNITS
 PERMITTED MAX 67 UNITS PER HECTARE = 52 UNITS

SETBACKS: FRONT YARD 3.0m
 REAR YARD 3.0m
 SIDE YARD 3.0m
 COMBINED FRONT AND REAR YARD SHALL BE A MINIMUM OF 16.5m

HEIGHT: -PERMITTED (AS PER LAND USE BYLAW 09-00) 12.0m NOT EXCEEDING 9.0m AT ANY EAVE
 -SLOPE ADAPTIVE DESIGN 10% FLEXIBILITY 12.0m * 10% = 13.2m

PARKING: (AS PER LAND USE BYLAW 09-99)
 PROVIDED 103 STALLS

F.A.R.: FLOOR AREAS / SITE AREA
 125,673 sq.ft. / 82,850.7 sq.ft = 1.51

PROJECT DATA

	A	B	C	D	E	F	G	H	TOTAL UNITS	PARKING RATIO	STALLS
1B -	2	4	4	1	2	1	-	3	17	1.0	17
2B -	4	6	6	7	6	7	4	6	46	1.5	69
3B -	2	-	-	-	-	2	-	-	4	2.0	8
4B -	-	-	-	-	-	-	-	-	-	-	-
TOTAL	8	10	10	8	8	8	6	9	67		94

REQUIRED FOR ALL UNITS: 94 STALLS

VISITOR PARKING: 0.15 STALLS / UNIT
 67 * 0.15 = 10 STALLS

TOTAL PARKING REQUIRED: = 104 STALLS

TOTAL PARKING PROVIDED: = 103 STALLS

PARKING CALCULATION

Existing Block - Genoa

Suite 102 Caravaggio 2	Suite 104 Caravaggio	Suite 105 Paladio	3rd
			2nd
			Main/Courtyard
Suite 101 Donatello 2	Suite 103 Donatello	Suite 106 Botticelli	Walkout/Parkade

Net - 10,937ft² / 1016m²
 Gross - 11,980ft² / 1113m²
 Building Footprint Area - 3,412 ft² / 317 m²

Block - Hortus

Suite 108 2 Bed 1290 ft²	Suite 109 2 Bed 1202 ft²	3rd
Suite 106 2 Bed 1462 ft²	Suite 107 2 Bed 1482 ft²	2nd
Suite 104 2 Bed 1510 ft²	Suite 105 2 Bed 1485 ft²	Main/Courtyard
Suite 101 1 Bed 975 ft²	Suite 102 / Suite 103 1 Bed / 1 Bed 810 ft² / 985 ft²	Walkout/Parkade

Net - 11,201 ft² / 1041m²
 Gross - 13,809 ft² / 1283 m²
 Building Footprint Area - 3983 ft² / 370 m²

Block - Firenze

Suite 107 2 Bed 1335 ft²	Suite 108 2 Bed 1603 ft²	3rd
Suite 105 2 Bed 1335 ft²	Suite 106 2 Bed 1603 ft²	2nd
Suite 103 2 Bed 1303 ft²	Suite 104 2 Bed 1262 ft²	Main/Courtyard
Suite 101 1 Bed 930 ft²	Suite 102 2 Bed 988 ft²	Walkout/Parkade

Net - 10,359 ft² / 962 m²
 Gross - 13,037 ft² / 1,211 m²
 Building Footprint Area - 3,391 ft² / 315 m²

Existing Block - Abruzzo

Suite 106 Bernini 2 1222 ft²	Suite 107 Angelico 2 1747 ft²	3rd
Suite 104 Bernini 2 2081 ft²	Suite 105 Angelico 1 1905 ft²	2nd
Suite 102 Bernini 2 2279 ft²	Suite 103 Angelico 1 1905 ft²	Main/Courtyard
Suite 101 Bernini 1 2119 ft²	Common Area Amenity Suite 100 Bartolomeo 1075 ft²	Walkout/Parkade

Net - 15,558 ft² / 1445 m²
 Gross - 18,413 ft² / 1711 m²
 Building Footprint Area - 5,268 ft² / 489 m²

Block - Elba

Suite 107 2 Bed 1335 ft²	Suite 108 2 Bed 1603 ft²	3rd
Suite 105 2 Bed 1335 ft²	Suite 106 2 Bed 1603 ft²	2nd
Suite 103 2 Bed 1303 ft²	Suite 104 2 Bed 1262 ft²	Main/Courtyard
Suite 101 1 Bed 930 ft²	Suite 102 1 Bed 988 ft²	Walkout/Parkade

Net - 10,359 ft² / 962 m²
 Gross - 13,037 ft² / 1,211 m²
 Building Footprint Area - 3,391 ft² / 315 m²

Block - Brindisi

Suite 109 2 Bed 1215 ft²	Suite 110 2 Bed 1546 ft²	3rd
Suite 107 2 Bed 1215 ft²	Suite 108 2 Bed 1546 ft²	2nd
Suite 104 2 Bed 1220 ft²	Suite 105 / Suite 106 1 Bed / 1 Bed 1034 ft² / 1055 ft²	Main/Courtyard
Suite 101 2 Bed 1052 ft²	Suite 102 / Suite 103 1 Bed / 1 Bed 1034 ft² / 1055 ft²	Walkout/Parkade

Net - 11,972 ft² / 1112 m²
 Gross - 13,973 ft² / 1298 m²
 Building Footprint Area - 3757 ft² / 349 m²

Block - Diamante

Suite 107 2 Bed 1335 ft²	Suite 108 2 Bed 1603 ft²	3rd
Suite 105 2 Bed 1335 ft²	Suite 106 2 Bed 1603 ft²	2nd
Suite 103 2 Bed 1303 ft²	Suite 104 2 Bed 1262 ft²	Main/Courtyard
Suite 101 2 Bed 930 ft²	Suite 102 1 Bed 988 ft²	Walkout/Parkade

Net - 10,359 ft² / 962 m²
 Gross - 13,037 ft² / 1,211 m²
 Building Footprint Area - 3,391 ft² / 315 m²

Block - Capri

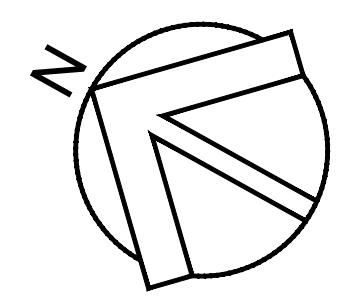
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Suite 107 2 Bed 1215 ft²	Suite 108 2 Bed 1546 ft²	2nd
Suite 104 2 Bed 1220 ft²	Suite 105 / Suite 106 1 Bed / 1 Bed 1034 ft² / 1055 ft²	Main/Courtyard
Suite 101 2 Bed 1052 ft²	Suite 102 / Suite 103 1 Bed / 1 Bed 1034 ft² / 1055 ft²	Walkout/Parkade

Net - 11,972 ft² / 1112 m²
 Gross - 13,973 ft² / 1298 m²
 Building Footprint Area - 3757 ft² / 349 m²

TOTAL NET: 92,717 ft² / 8,614 m²
TOTAL GROSS: 125,673 ft² / 11,675 m²
TOTAL BEDROOMS: 121

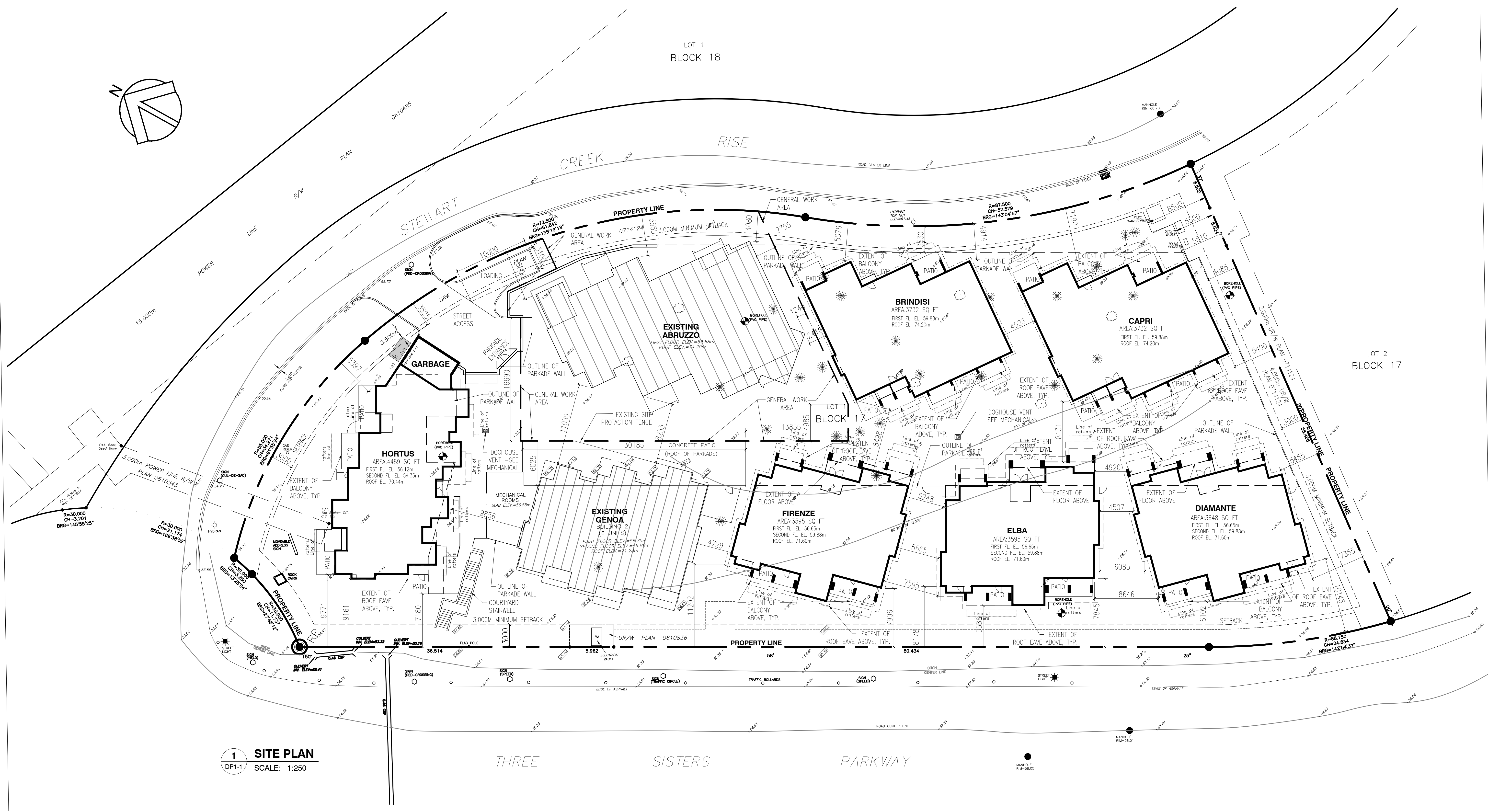
UNIT DISPLACEMENTS

REVISION #2
 2020-04-06



LOT 1
BLOCK 18

LOT 2
BLOCK 17



1 SITE PLAN
DP1-1 SCALE: 1:250

REVISION #2
2020-04-06

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Project Title

SITE PLAN

Renaissance Condo, Canmore, Alberta

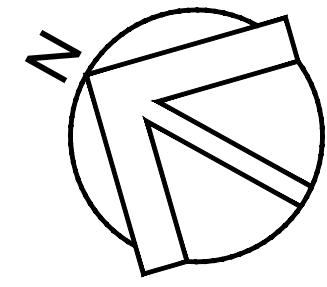
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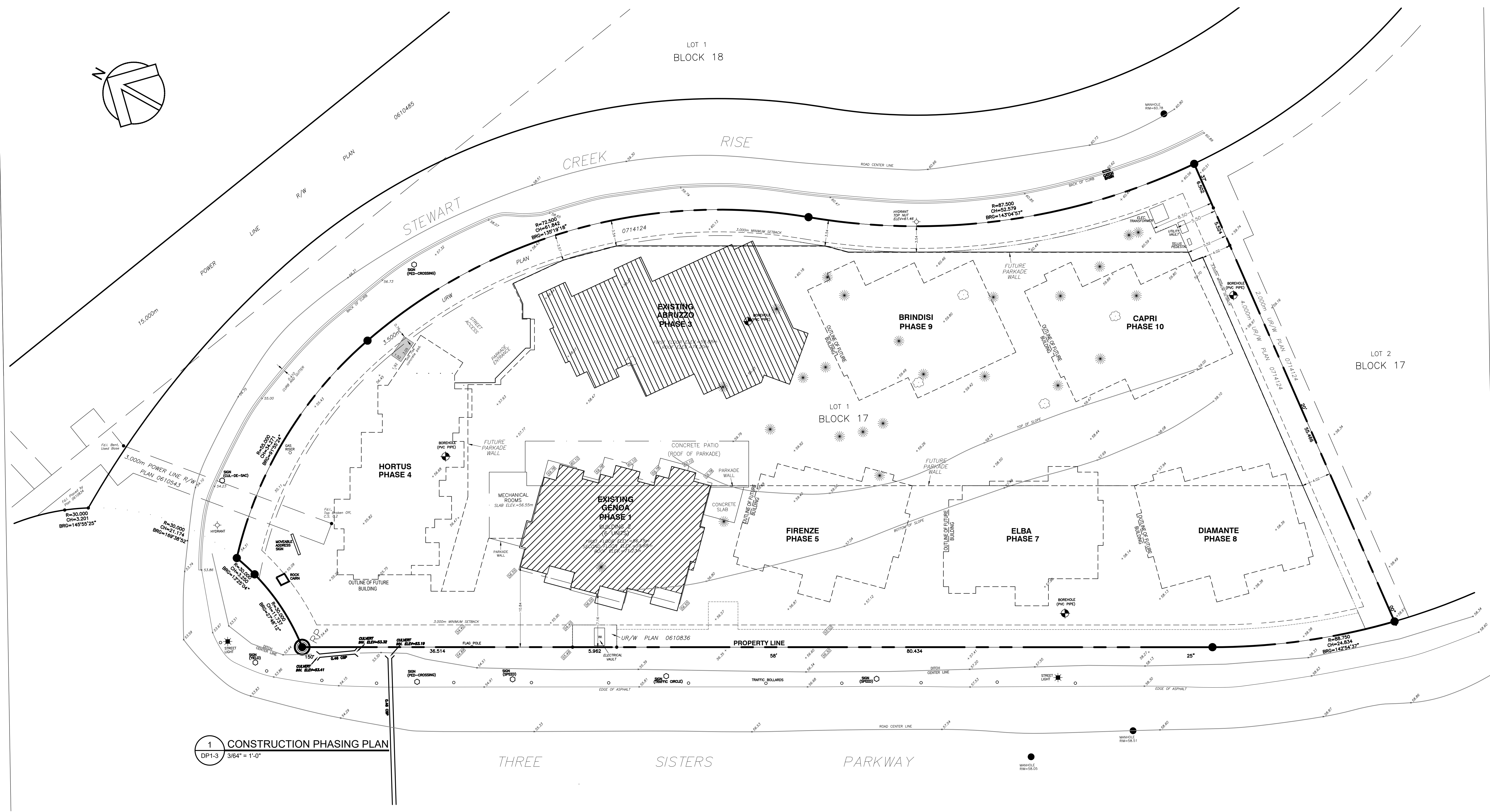
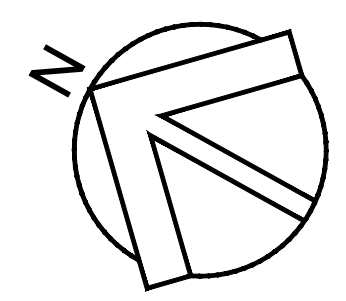
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Date	2020-04-06
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Sheet Number

DP1-1





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2020-04-06

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Project Title
CONSTRUCTION PHASING PLAN
Renaissance Condo, Canmore, Alberta

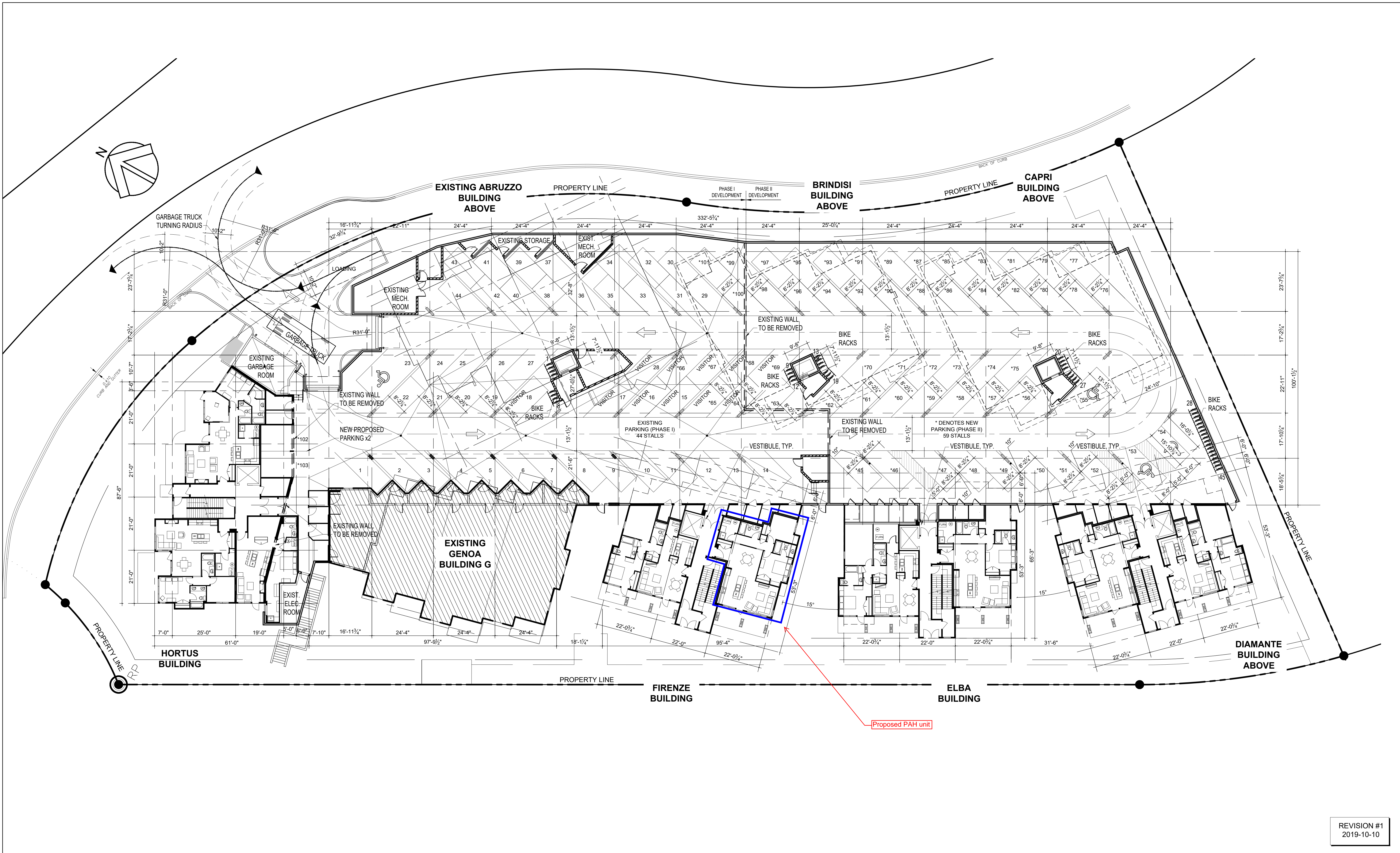
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RENAISSANCE
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2020-04-06

Project Number
31492

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2019-10-10

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Project Title

PARKADE PLAN

Renaissance Condo, Canmore, Alberta

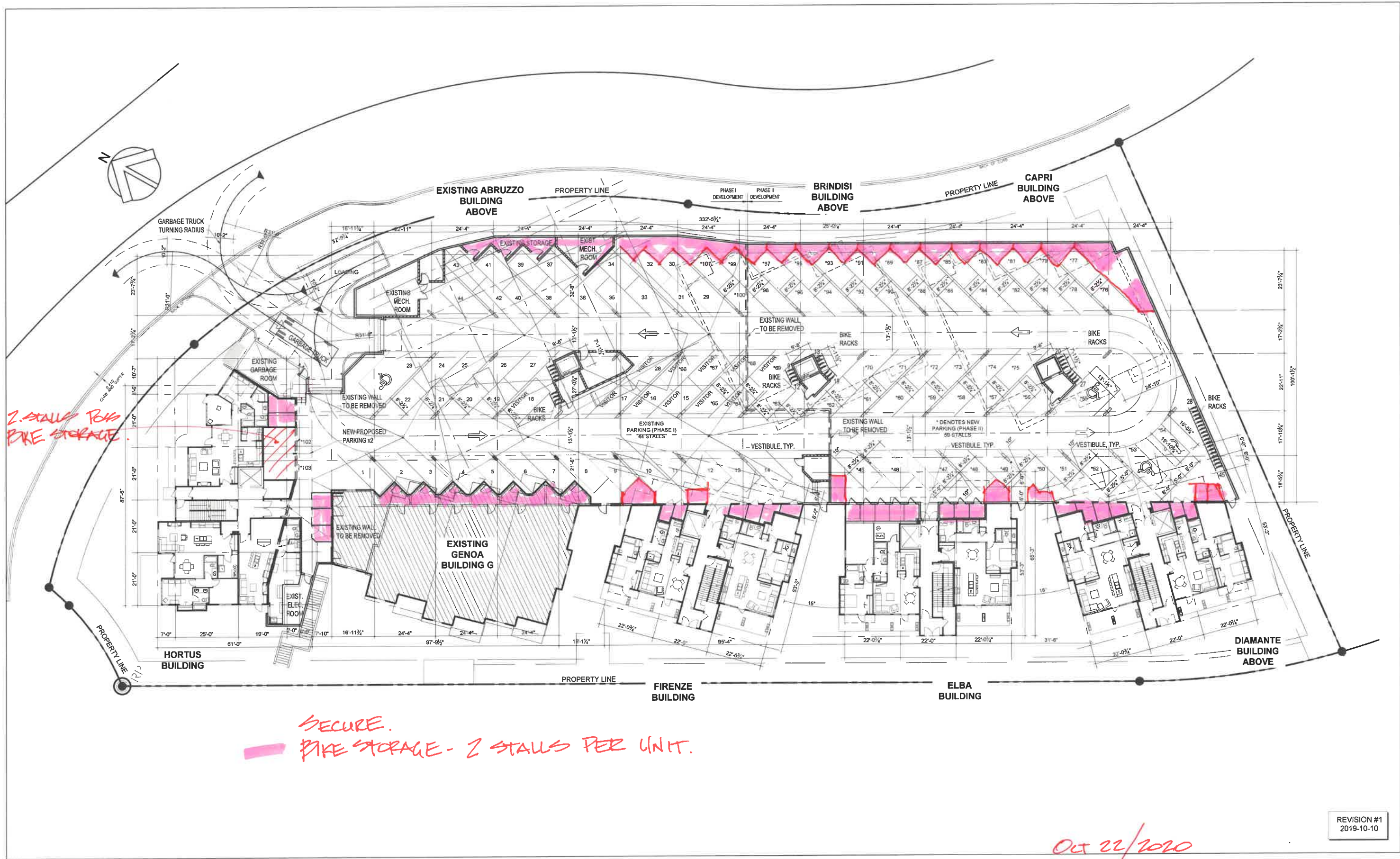
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RENAISSANCE
THE RENAISSANCE IN CANMORE

Date	2020-04-06
Project Number	31492
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Sheet Number

DP2-0



REVISION #1
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Oct 22/2020

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Project Title

PARKADE PLAN

Renaissance Condo, Canmore, Alberta

Client

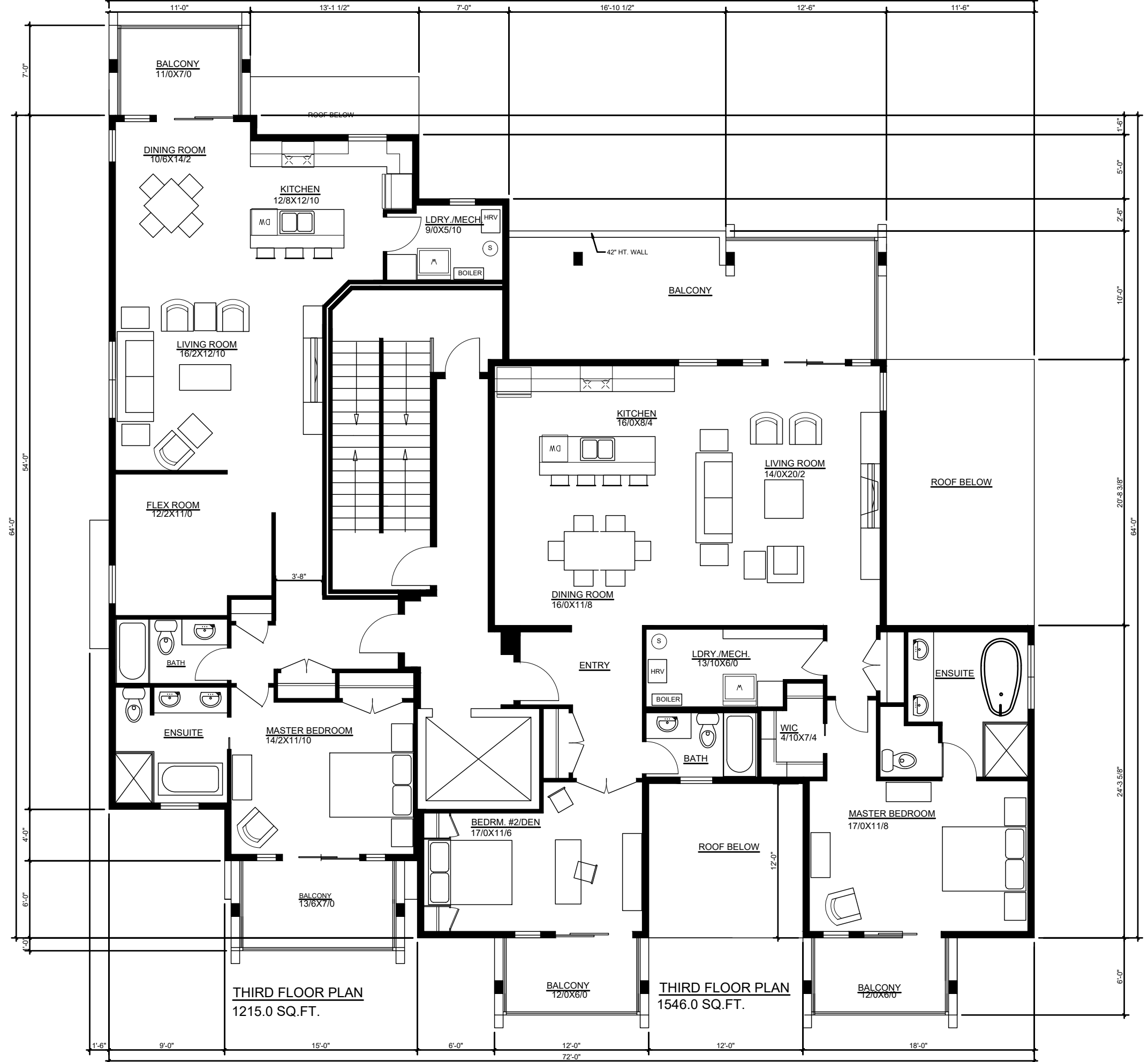
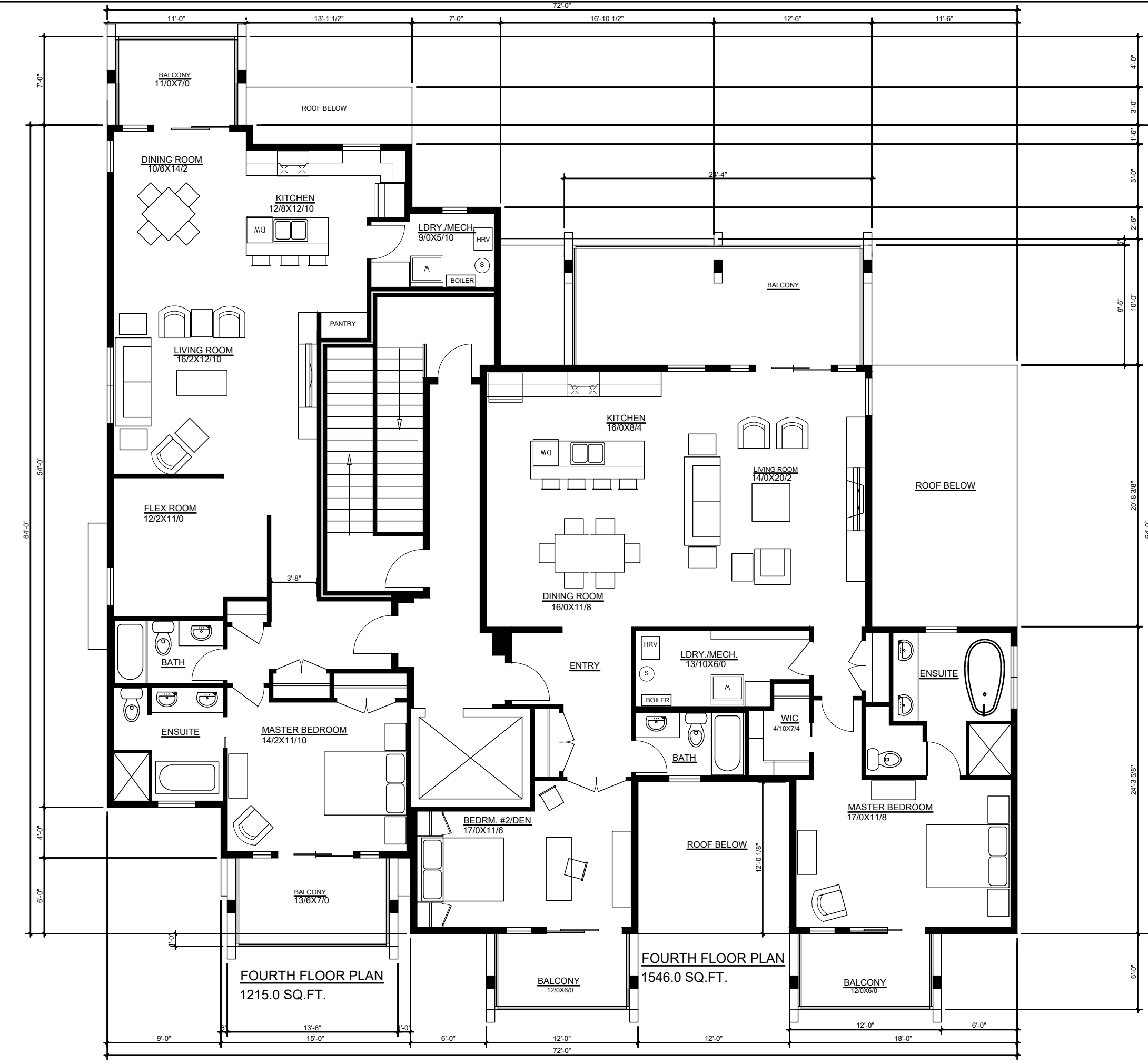
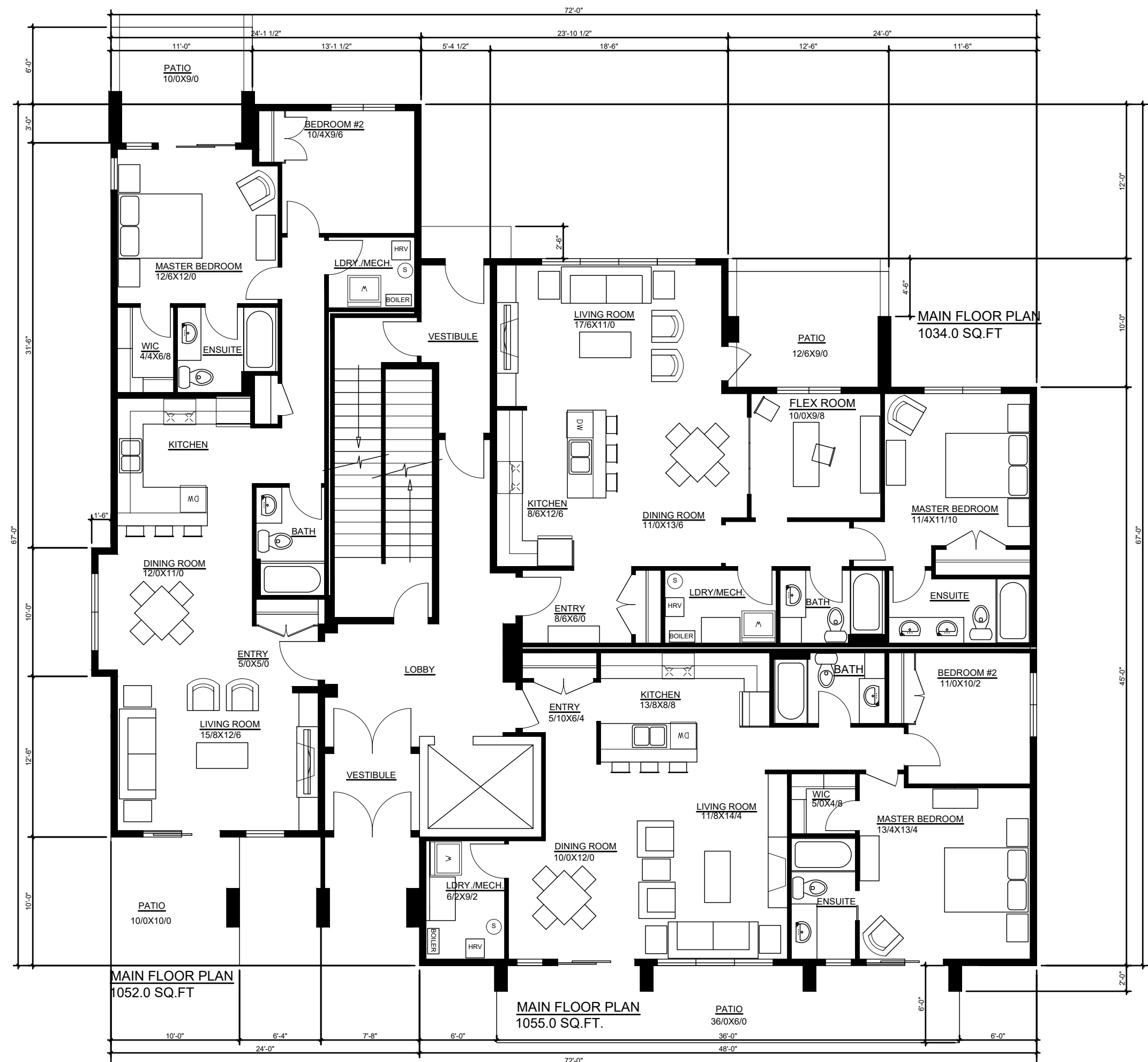
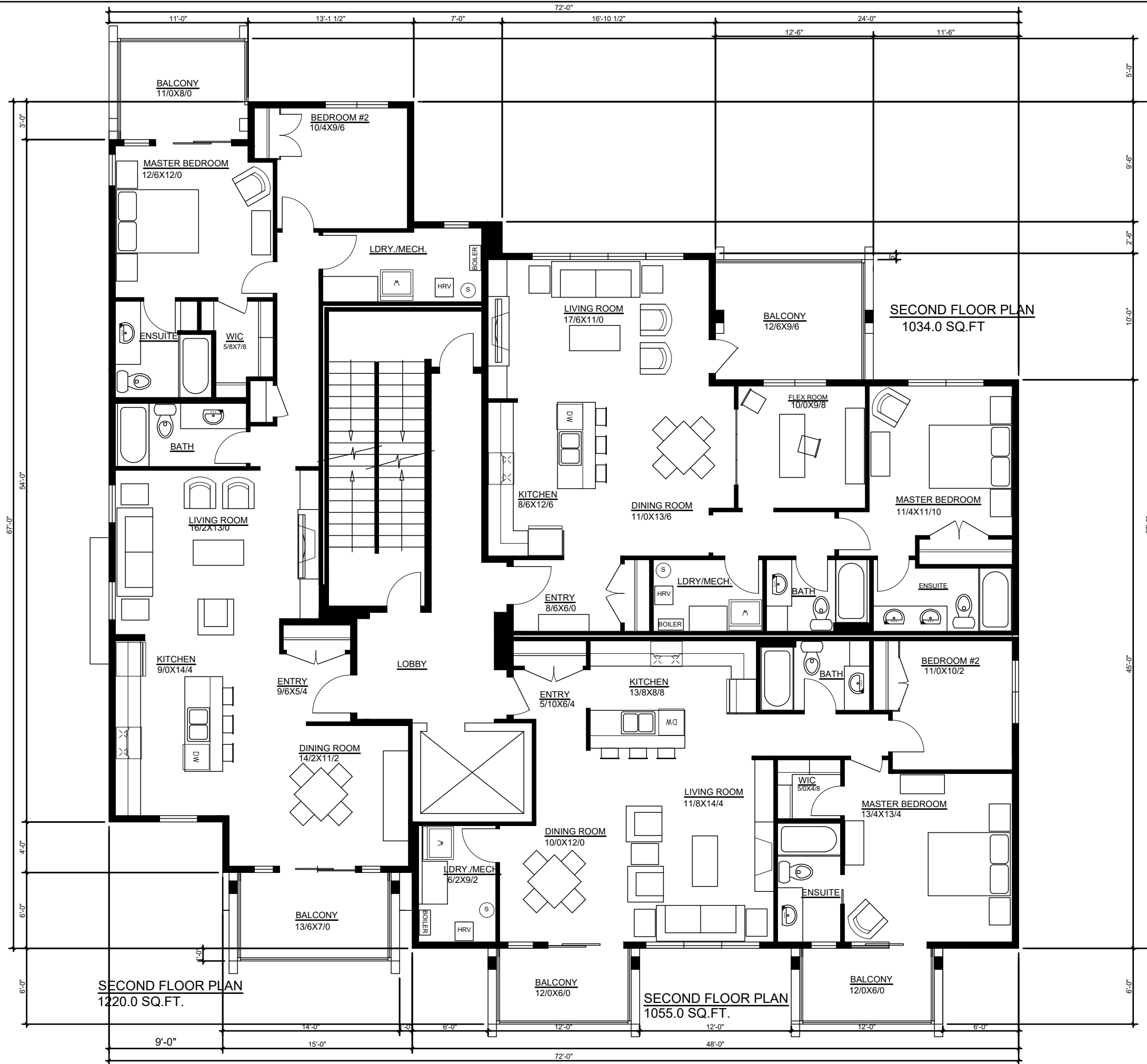


RENAISSANCE
THE STANDARD OF EXCELLENCE

Date	2020-04-06
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Sheet Number

DP2-0



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2019-10-10

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Project Title

BRINDISI AND CAPRI FLOOR PLANS
Renaissance Condo, Canmore, Alberta

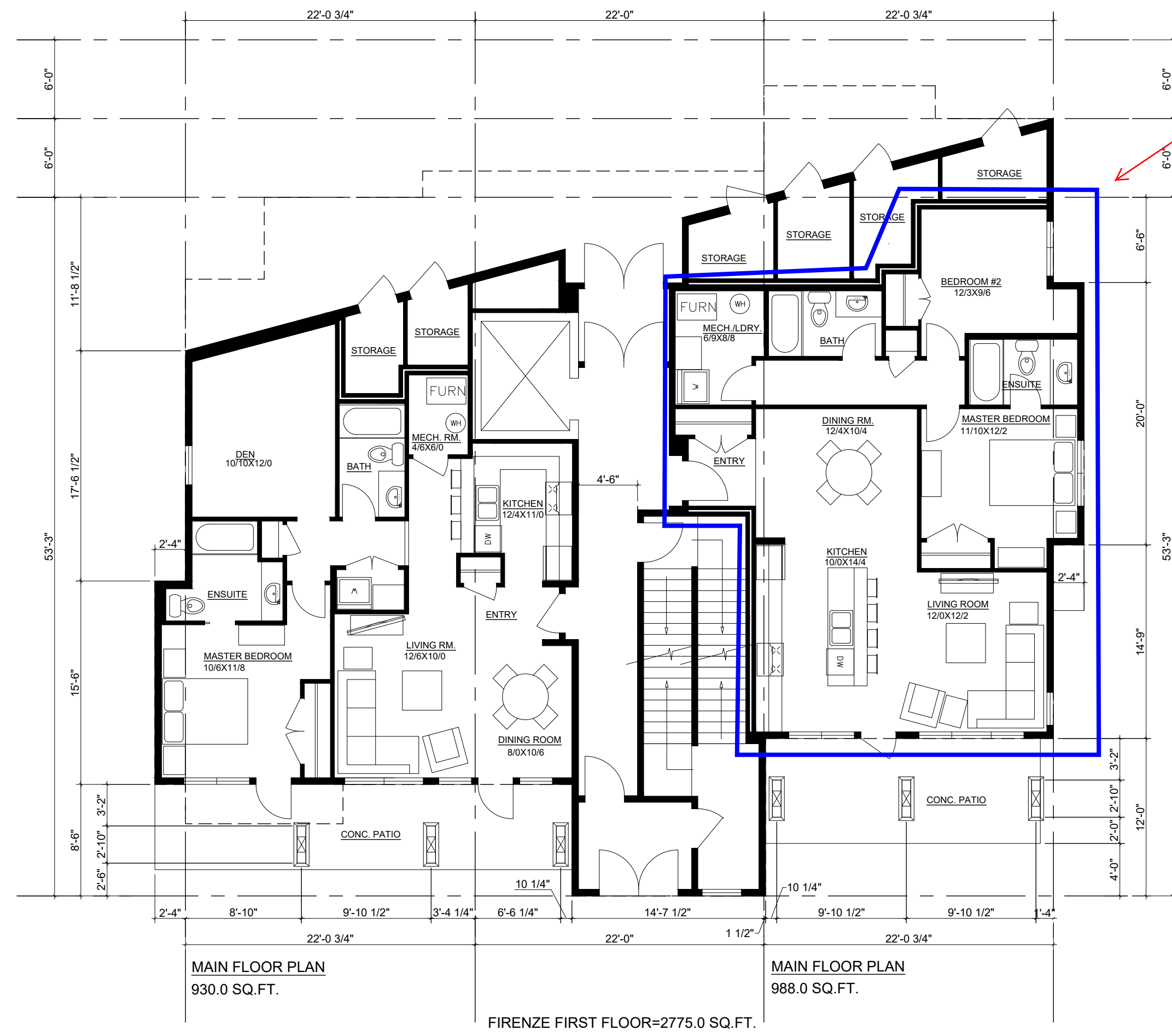
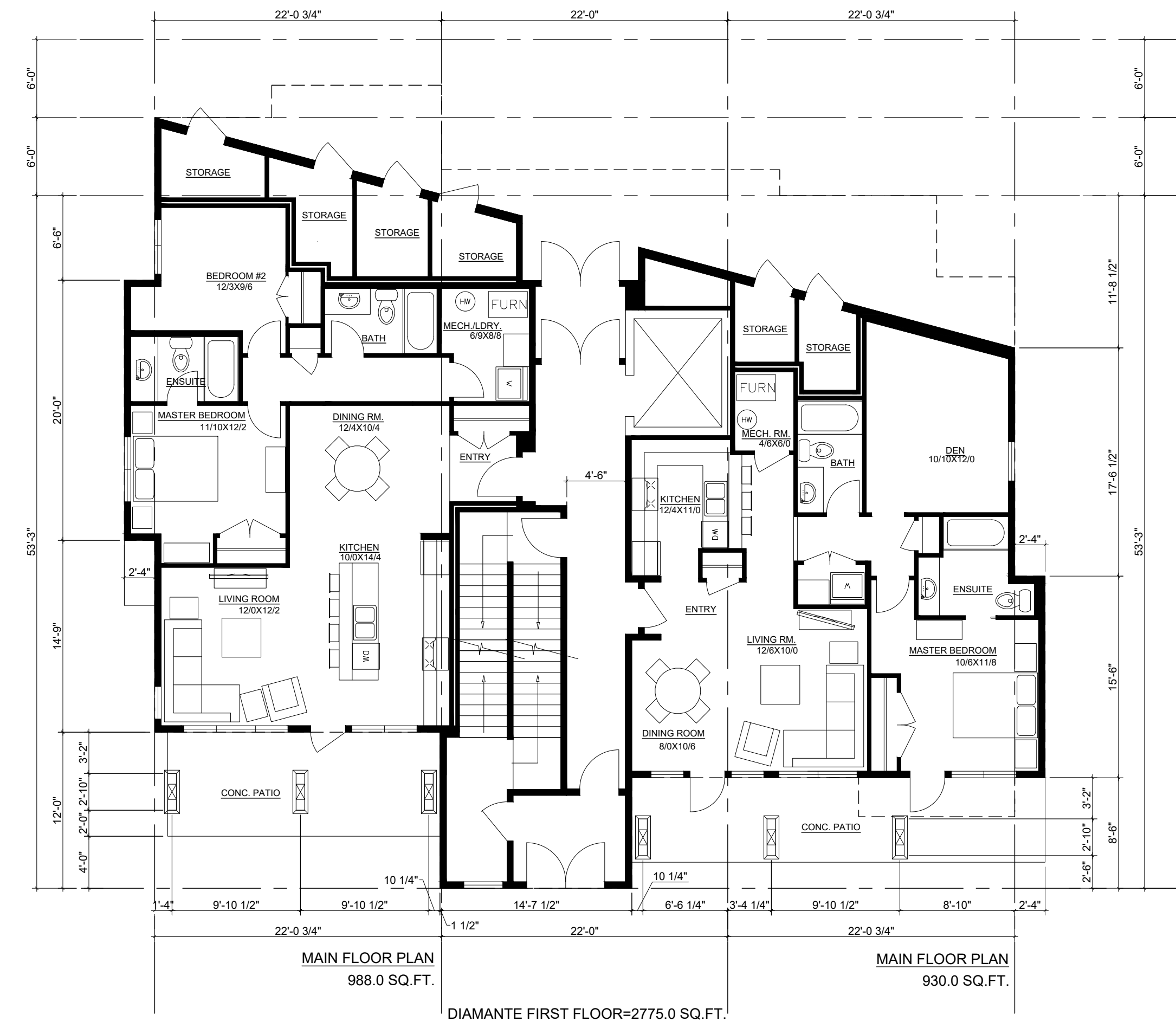
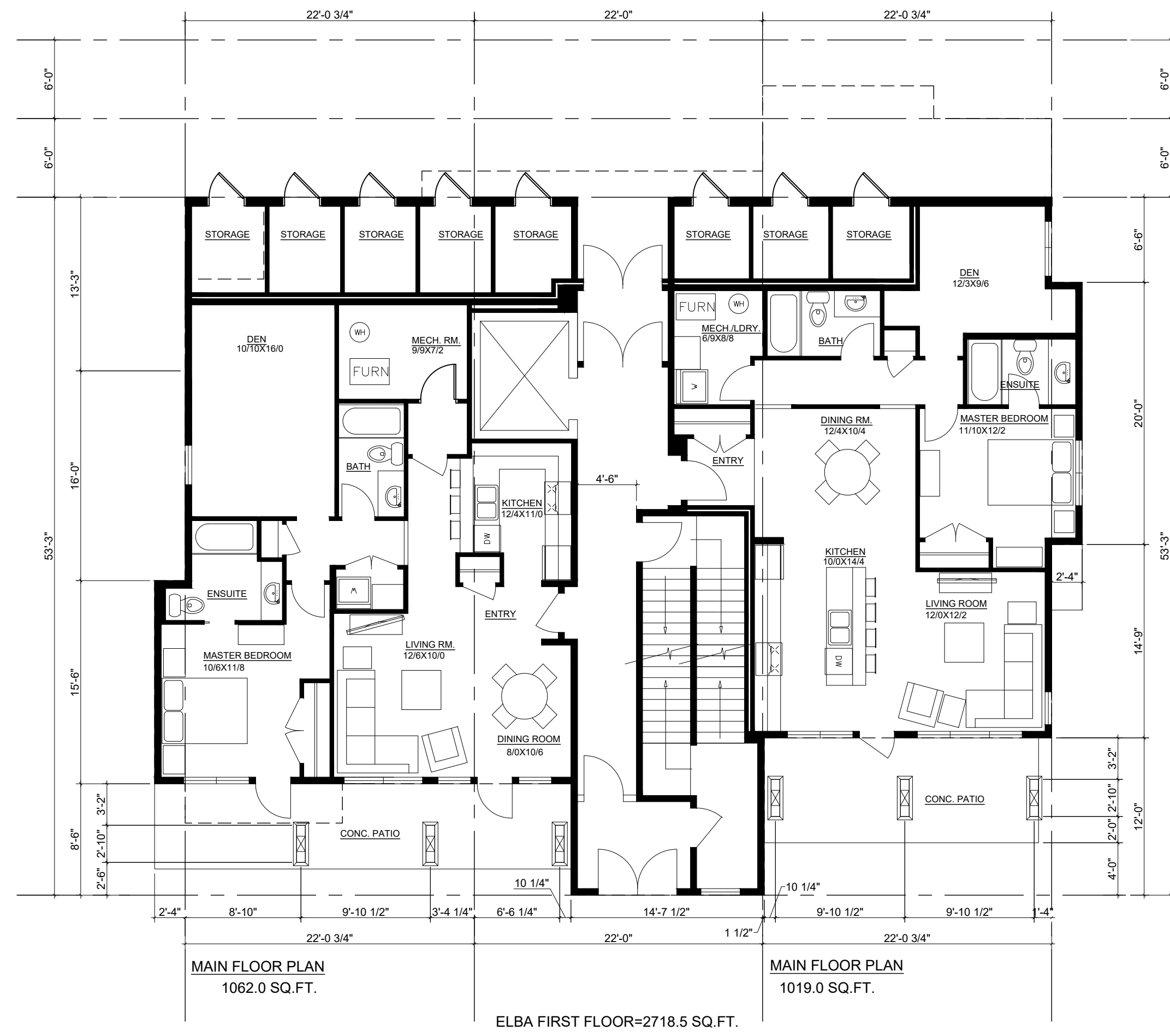
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Date	2020-04-06
Project Number	31492
Scale	AS SHOWN

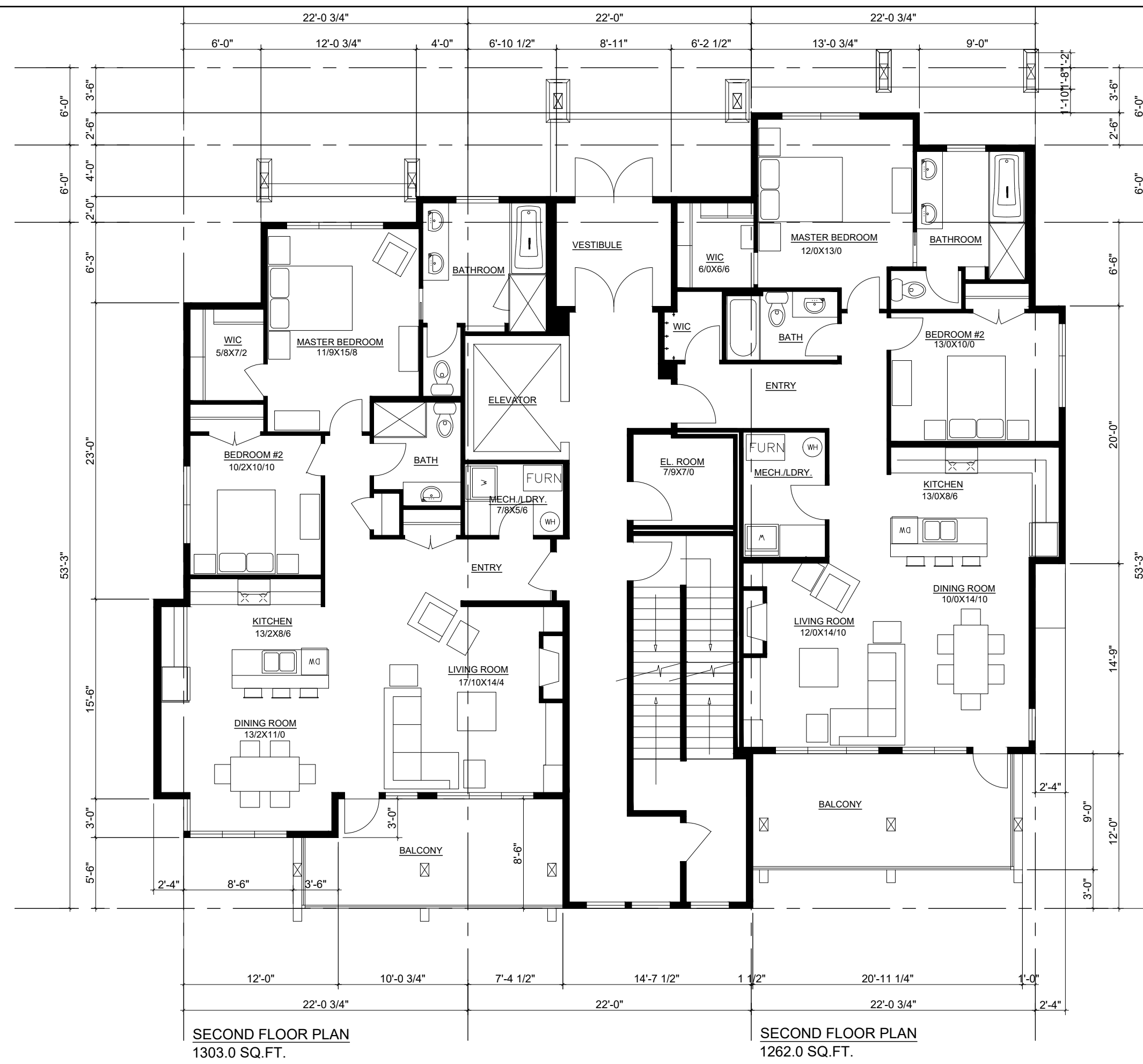
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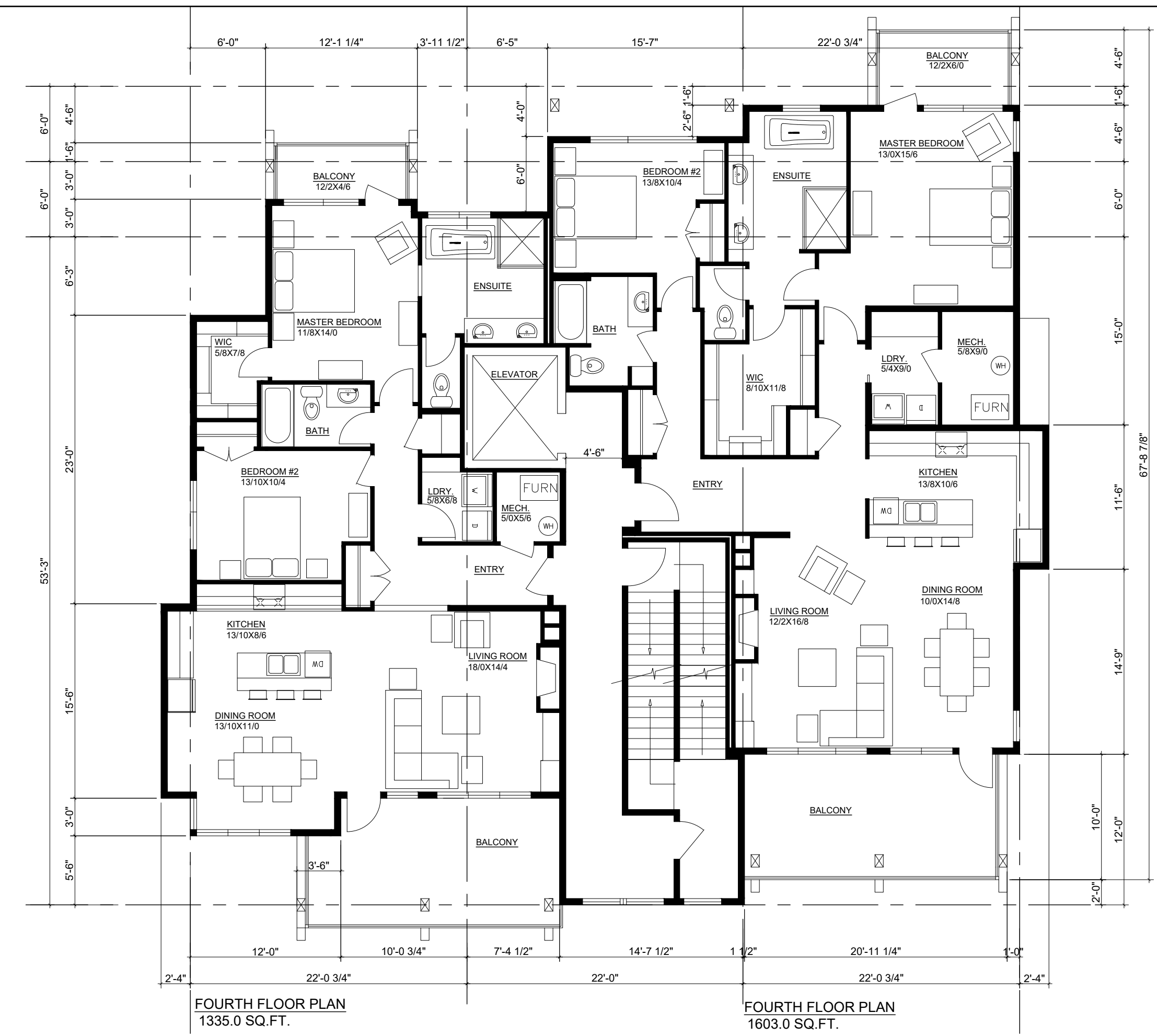


Proposed PAH unit
in the Firenze
Building.

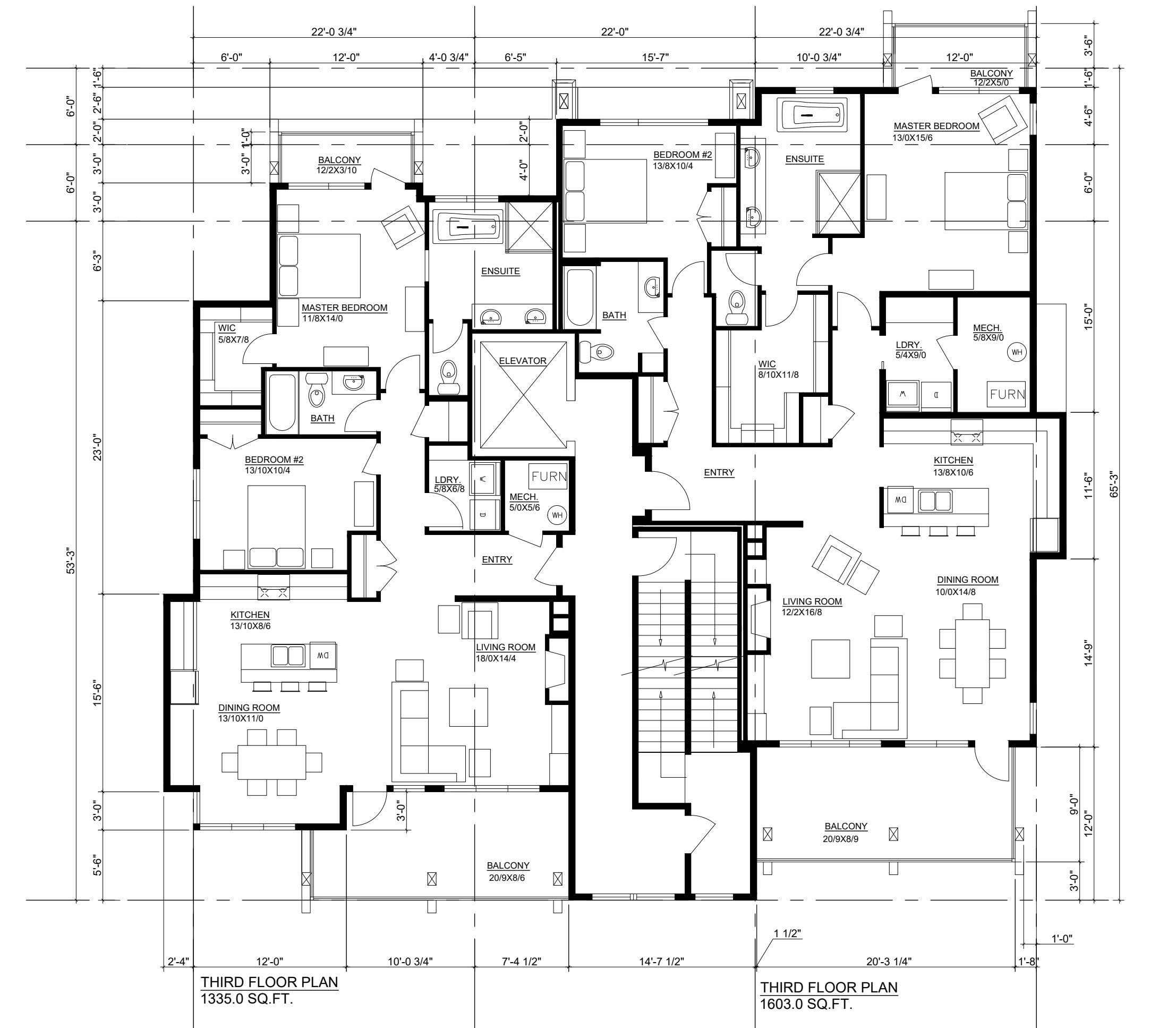
REVISION #2
2020-04-06



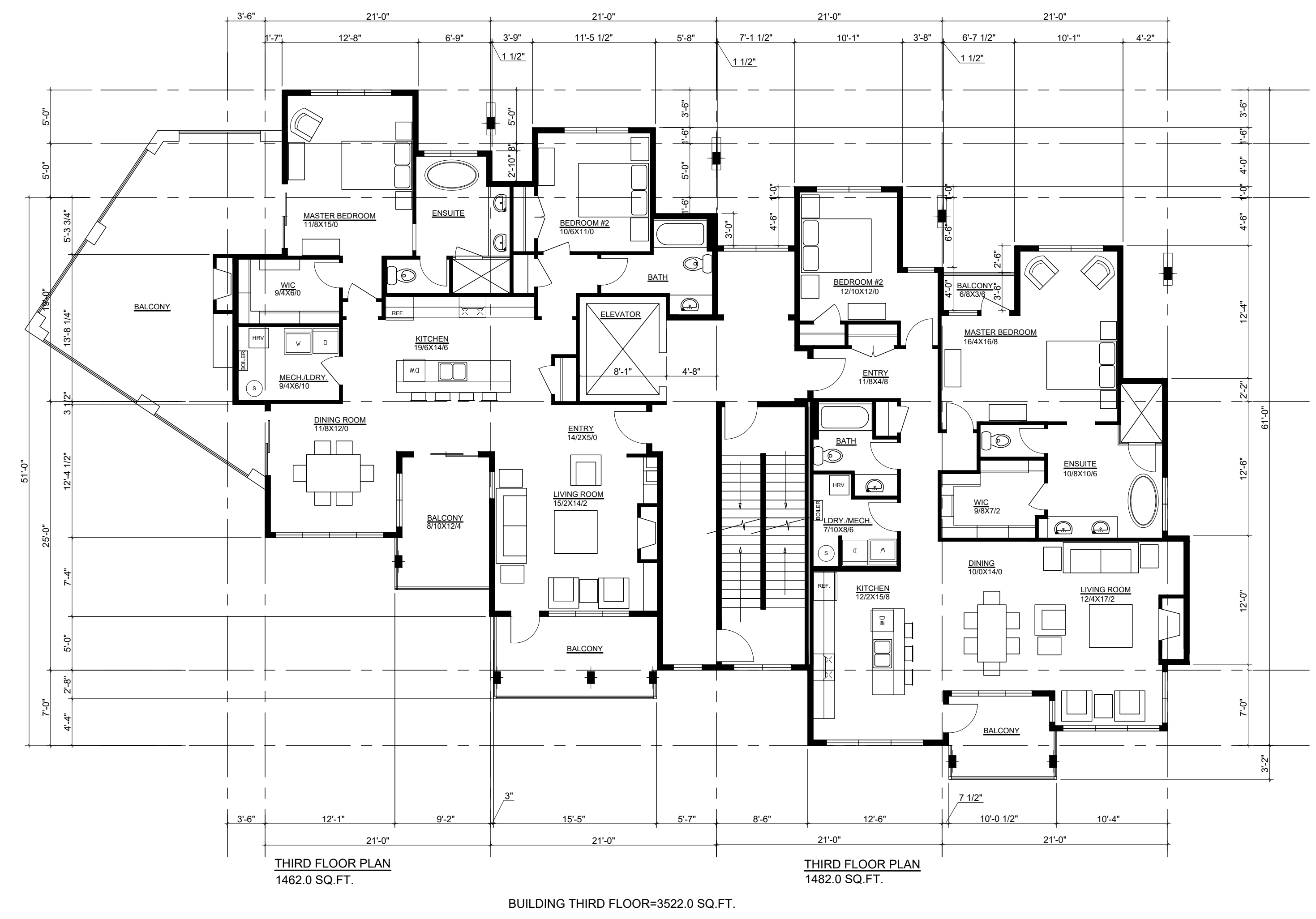
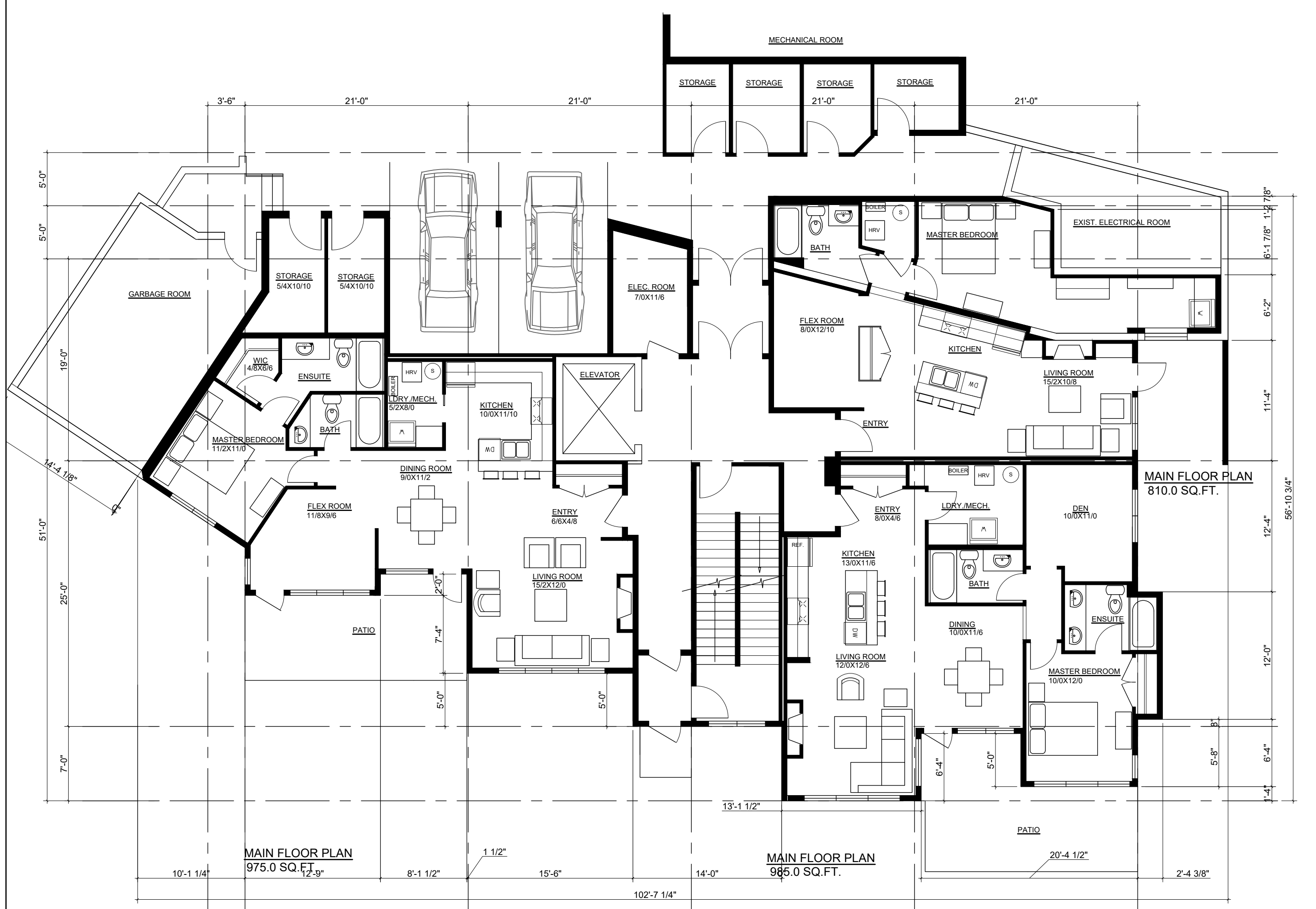
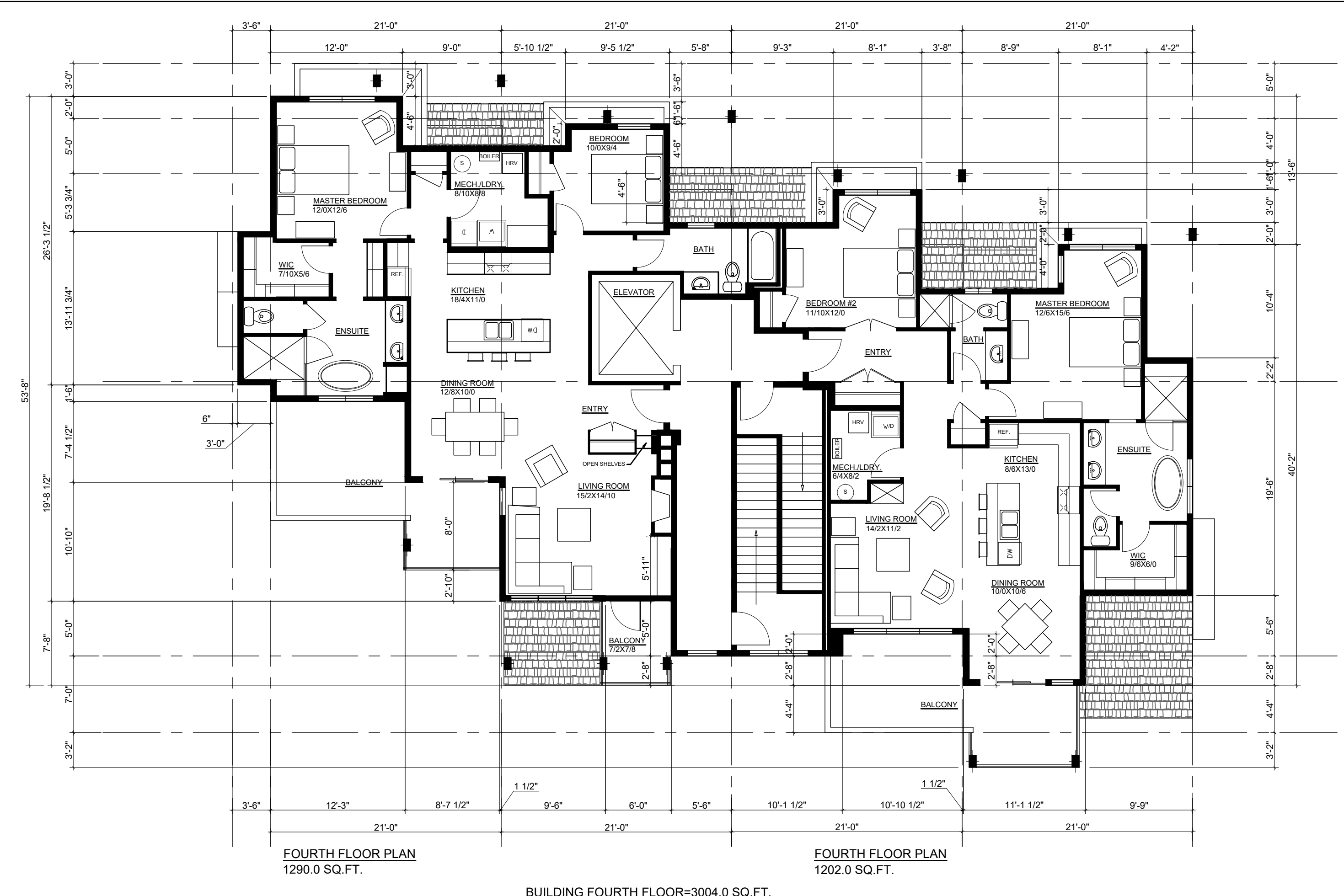
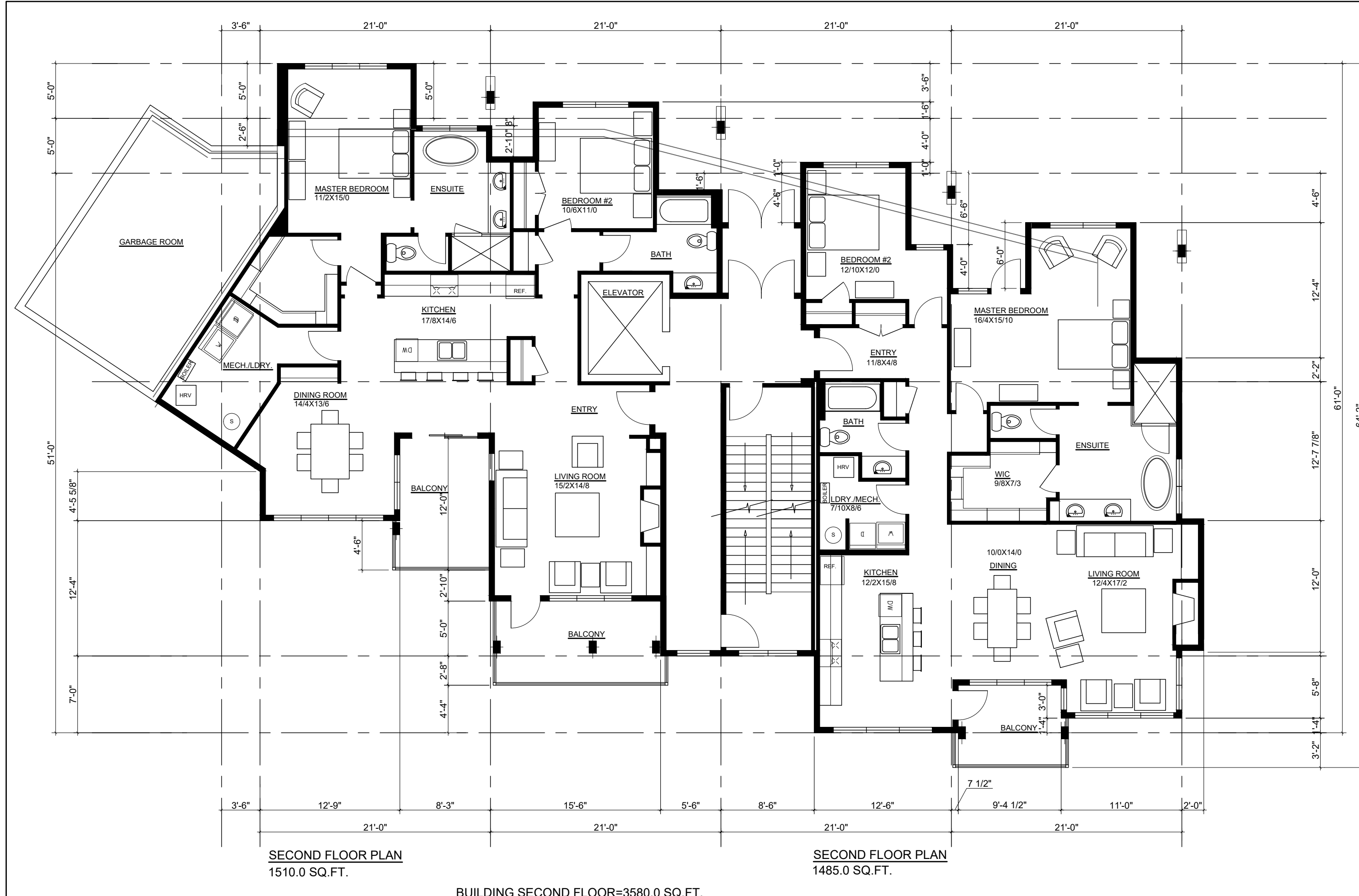
DIAMANTE, ELBA AND FIRENZE SECOND FLOOR=3302.0 SQ.FT.



DIAMANTE, ELBA AND FIRENZE FOURTH FLOOR=3480.0 SQ.FT.



DIAMANTE, ELBA AND FIRENZE THIRD FLOOR=3480.0 SQ.FT.



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2019-10-10

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HORTUS FLOOR PLANS

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Date 2020-04-06

Project Number 31492

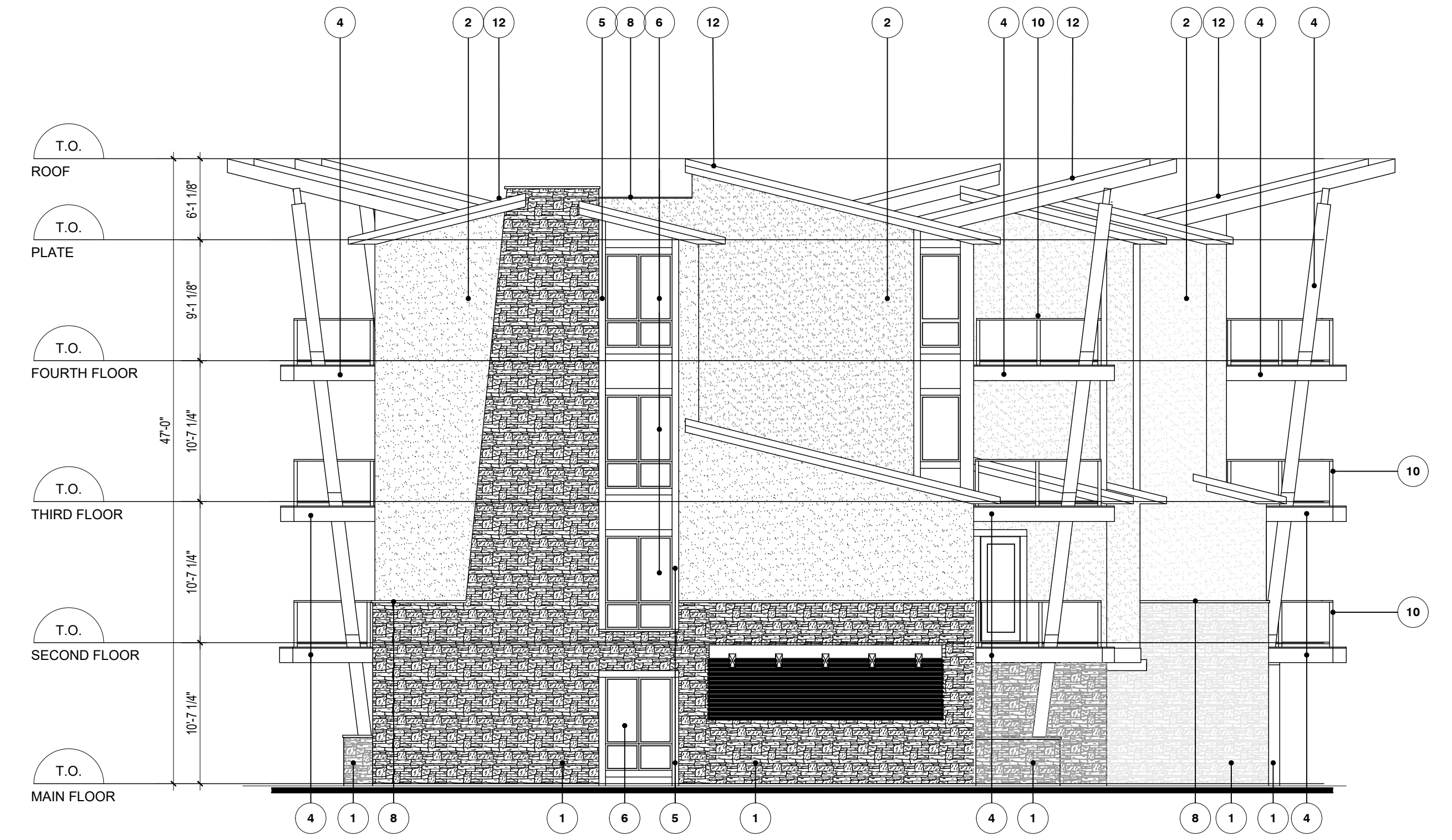
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DP2-4



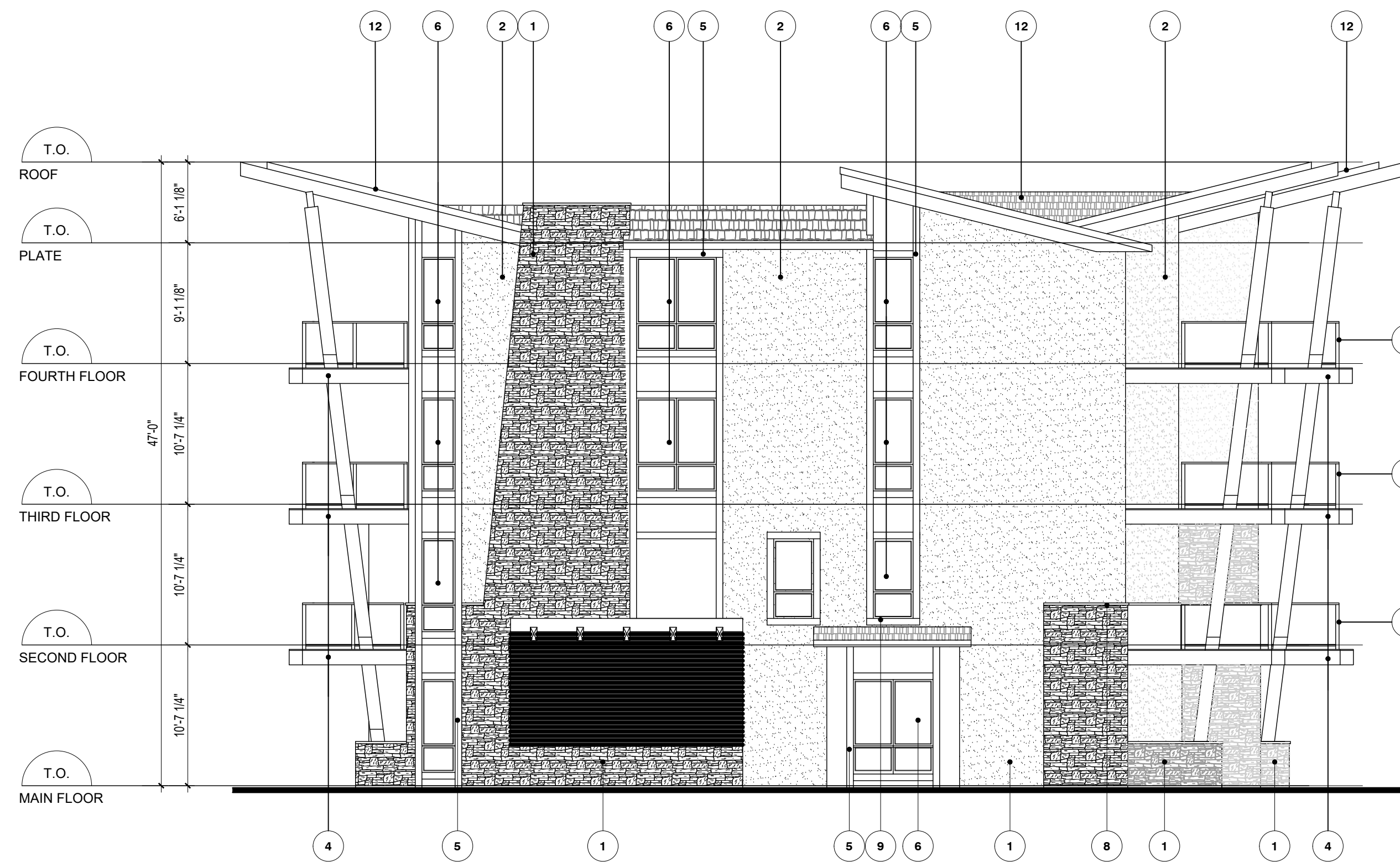
SOUTH BUILDING ELEVATION
1/8" = 1'-0"



EAST BUILDING ELEVATION
1/8" = 1'-0"



NORTH BUILDING ELEVATION
1/8" = 1'-0"



WEST BUILDING ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND		
No.	MATERIALS	HATCH
1	CULTURED STONE CLADDING 80% BUCKS COUNTRY SOUTHERN LEDGESTONE (CSV-2056) WITH 20% BUCKS COUNTRY DRESSED FIELDSTONE (CSV-2030)	
2	ACRYLIC STUCCO, PAINT COLOUR "BROWN SUGAR" 2112-20 BENJAMIN MOORE	
3	4" TONGUE AND GROOVE CLEAN CEDAR SIDING - TRANSLUCENT STAIN FINISH	
3A	DECORATIVE WOOD BEAM - TRANSLUCENT STAIN FINISH	
4	SIKKENS OR EQUIVALENT TRANSLUCENT STAIN ON GLUE LAM BEAM AND WOOD TRIMMINGS	
5	8" HARDIE TRIM TO MATCH IRONGREY (FLAT FINISH)	
6	WINDOWS & DOORS BLACK METAL CLAD WITH FIR TIMBER RETURN, GLAZED WITH LOW E, TRIPLE GLAZED CLEAR WINDOWS	
7	IRON GRAY "COLOUR PLUS" SMOOTH TEXTURE HARDIE PANEL TRIM	
8	CULTURED STONE LEDGE OR CONCRETE TO MATCH CULTURED STONE	
9	FASCIA & CAPPING BLACK PRE FINISHED ALUMINUM FASCIA FLASHING	
10	RAILINGS, BLACK POWDER COATED ALUMINUM RAILINGS WITH CLEAR INSERT	
11	SOFFIT, CEDAR SOFFIT 1x5 SOFFIT (SPACED WITH 1/4" GAPS TO PROMOTE VENTING)	
12	ROOFING, BLACK ASPHALT LAMINATED ROOF SHINGLES (ARCHITECTURAL SERIES RATED 30 YEARS)	
13	EAVESTROUGH, DOWNSPOUTS AND GUTTERS	
14	6" HARDIE TRIM TO MATCH IRONGREY (FLAT FINISH)	

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Project Title

BRINDISI & CAPRI ELEVATIONS

Renaissance Condo, Canmore, Alberta

Client

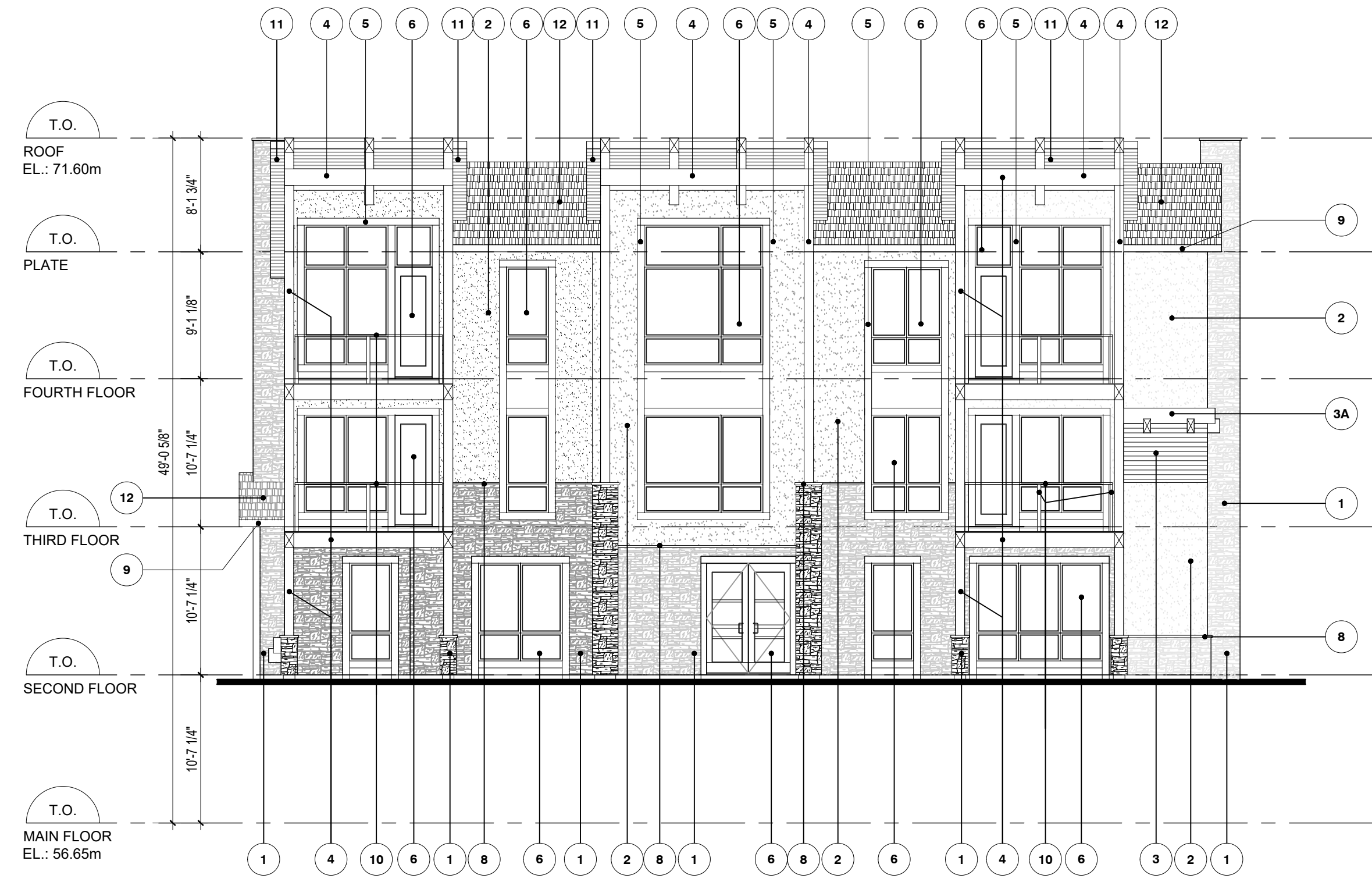
RENAISSANCE
THE RENAISSANCE IN CANMORE

Date: 2020-04-06

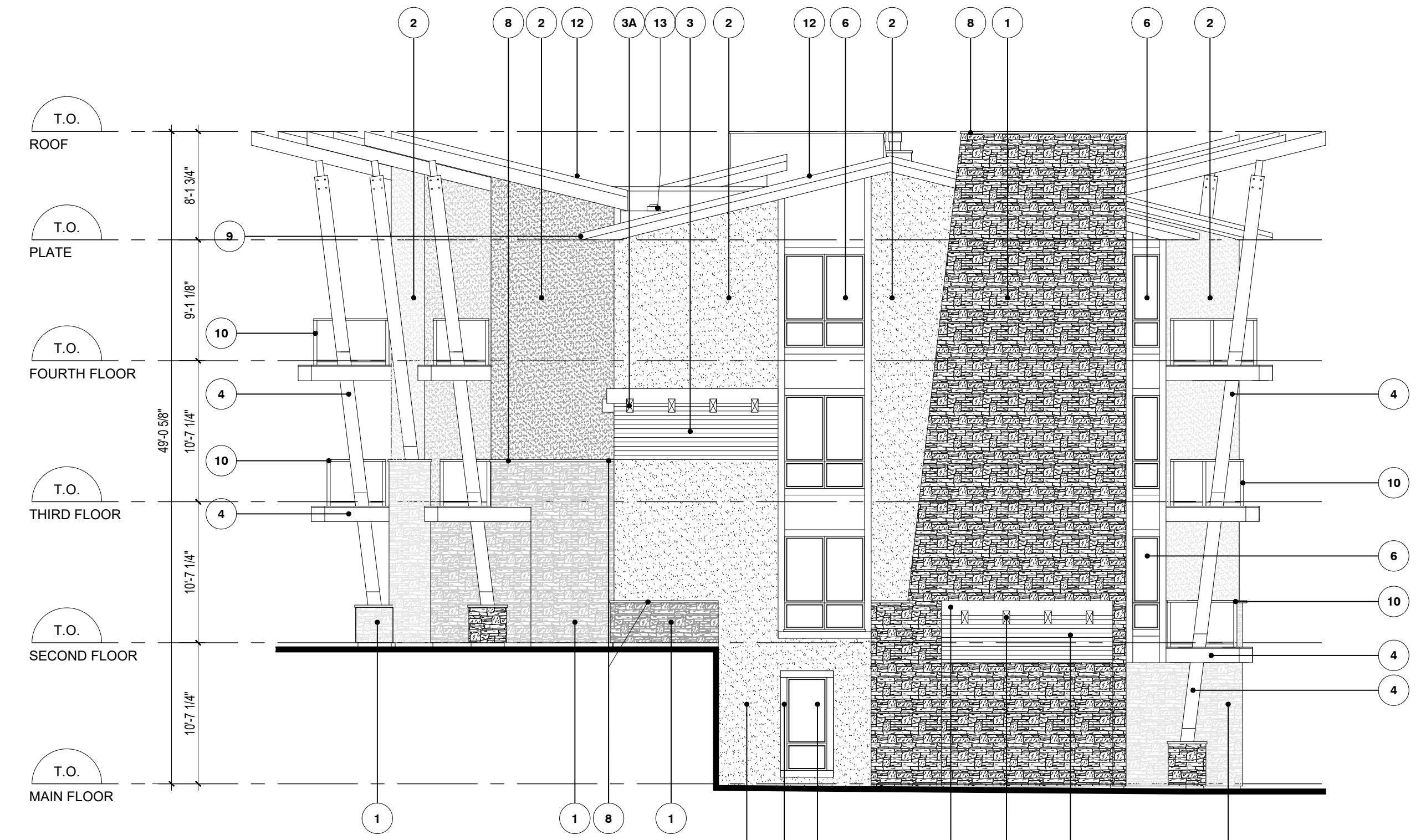
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Sheet Number: DP3-1



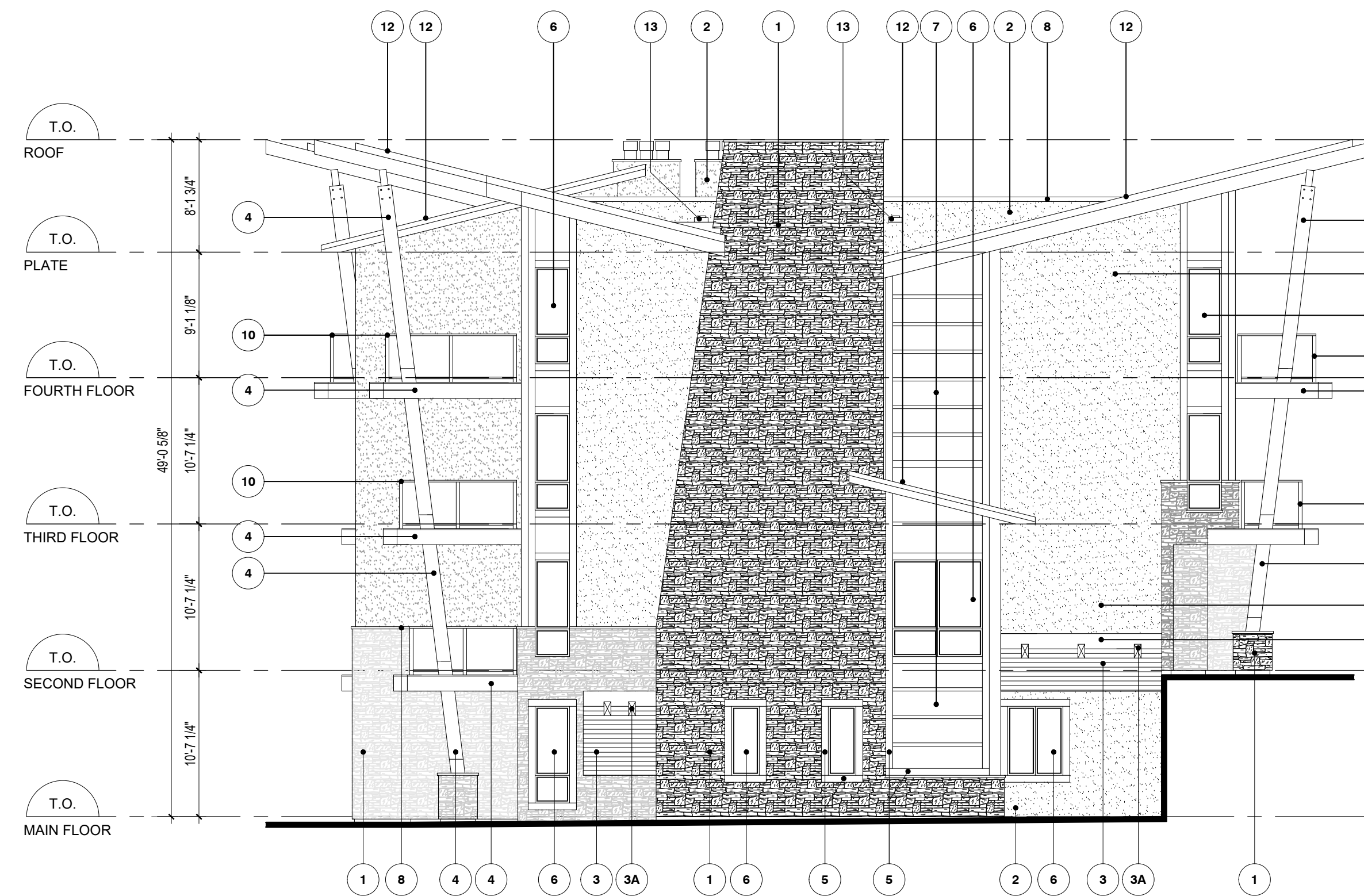
EAST BUILDING ELEVATION
1/8" = 1'-0"



NORTH BUILDING ELEVATION
1/8" = 1'-0"



WEST BUILDING ELEVATION
1/8" = 1'-0"



SOUTH BUILDING ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND		
No.	MATERIALS	HATCH
1	CULTURED STONE CLADDING 80% BUCKS COUNTRY SOUTHERN LEDGESTONE (CSV-2056) WITH 20% BUCKS COUNTRY DRESSED FIELDSTONE (CSV-2030)	
2	ACRYLIC STUCCO, PAINT COLOUR "BROWN SUGAR" 2112-20 BENJAMIN MOORE	
3	4" TONGUE AND GROOVE CLEAN CEDAR SIDING - TRANSLUCENT STAIN FINISH	
3A	DECORATIVE WOOD BEAM - TRANSLUCENT STAIN FINISH	
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12	ROOFING, BLACK ASPHALT LAMINATED ROOF SHINGLES (ARCHITECTURAL SERIES RATED 30 YEARS)	
13	EAVESTROUGH, DOWNSPOUTS AND GUTTERS	
14	6" HARDIE TRIM TO MATCH IRONGRAY (FLAT FINISH)	

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Project Title

ELBA & FIRENZE ELEVATIONS DIAMANTE SIMILAR/MIRRORED)

Renaissance Condo, Canmore, Alberta

Client

RENAISSANCE
THE RENAISSANCE IN CANMORE

Date: 2020-04-06

Project Number: 31492

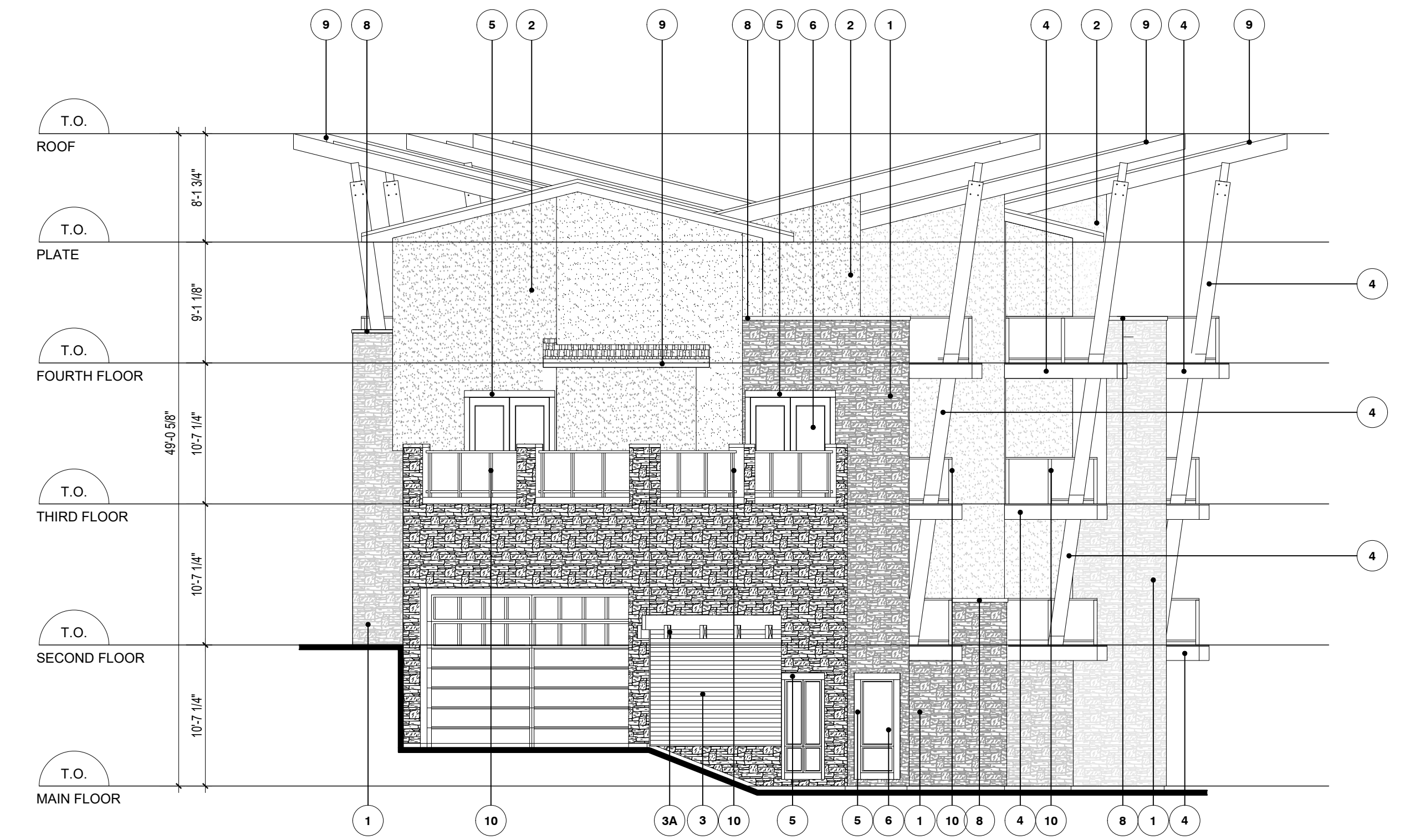
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Sheet Number

DP3-2



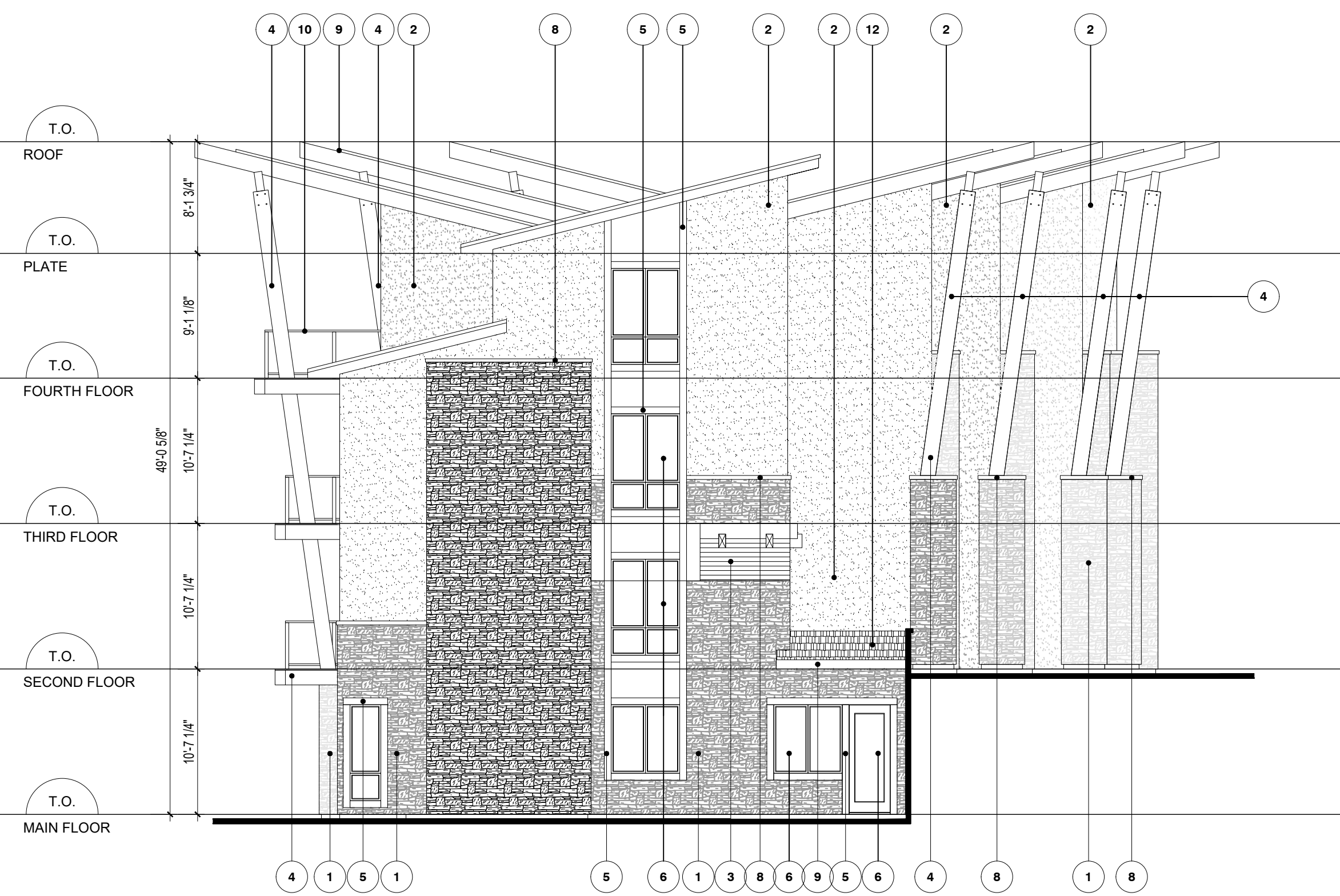
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1/8" = 1'-0"



EAST BUILDING ELEVATION
1/8" = 1'-0"



NORTH BUILDING ELEVATION
1/8" = 1'-0"



WEST BUILDING ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND		
No.	MATERIALS	HATCH
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3	4" TONGUE AND GROOVE CLEAN CEDAR SIDING - TRANSLUCENT STAIN FINISH	
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13	EAVESTROUGH, DOWNSPOUTS AND GUTTERS	
14	6" HARDIE TRIM TO MATCH IRONGRAY (FLAT FINISH)	

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Project Title

HORTUS ELEVATIONS

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THE RENAISSANCE IN CANMORE

Date: 2020-04-06

Project Number: 31492

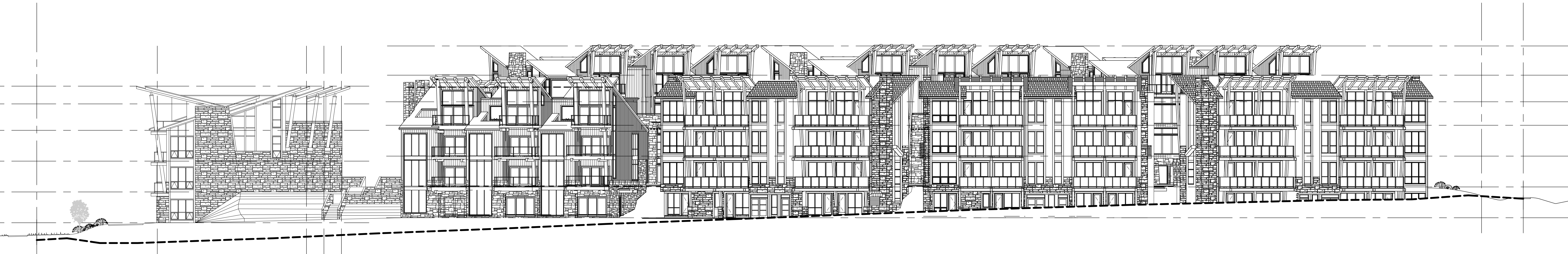
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Sheet Number

DP3-3



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

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IBI GROUP
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Calgary AB T2R 1R9 Canada
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ibigroup.com

Project Title

STREET ELEVATIONS

Renaissance Condo, Canmore, Alberta

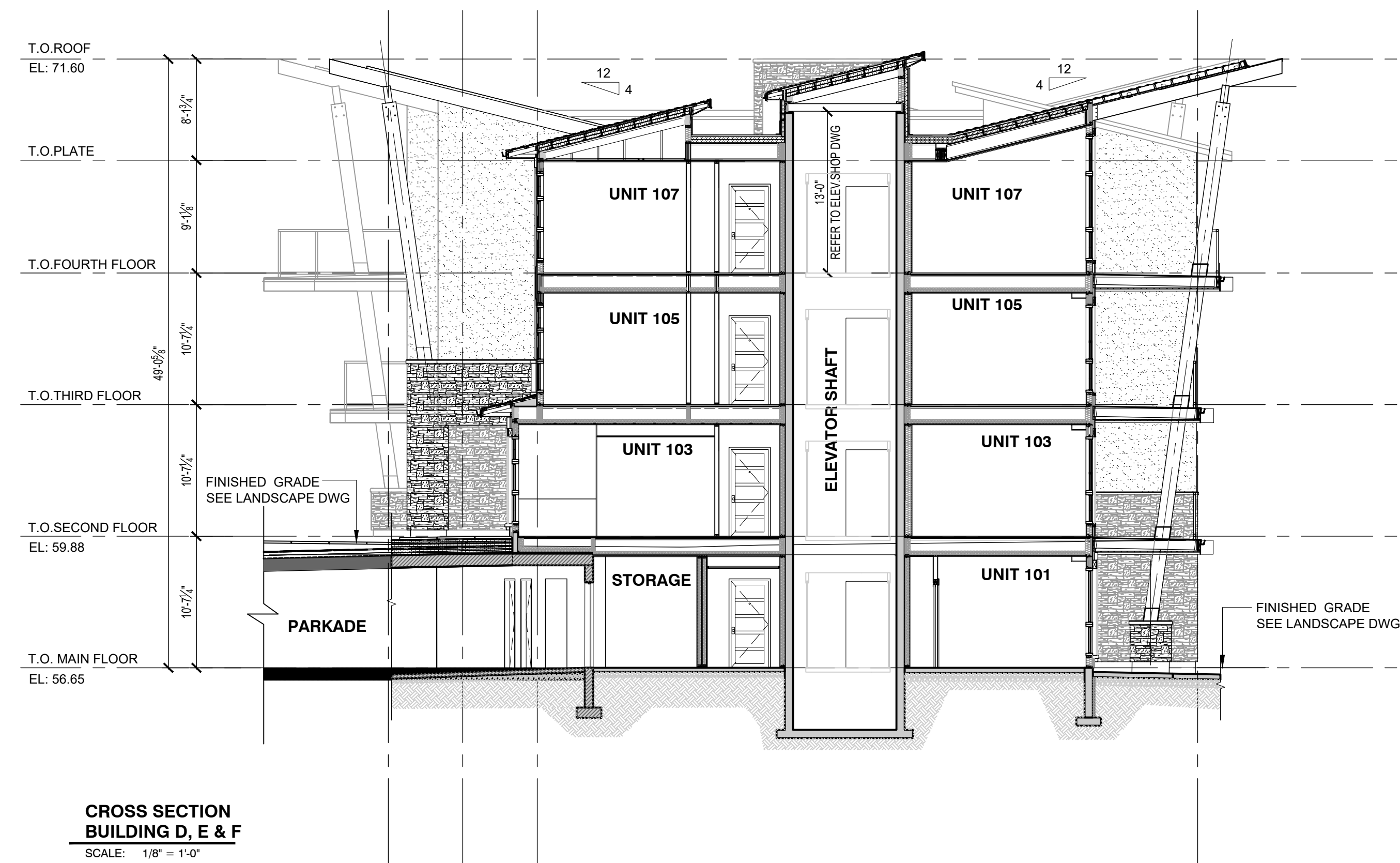
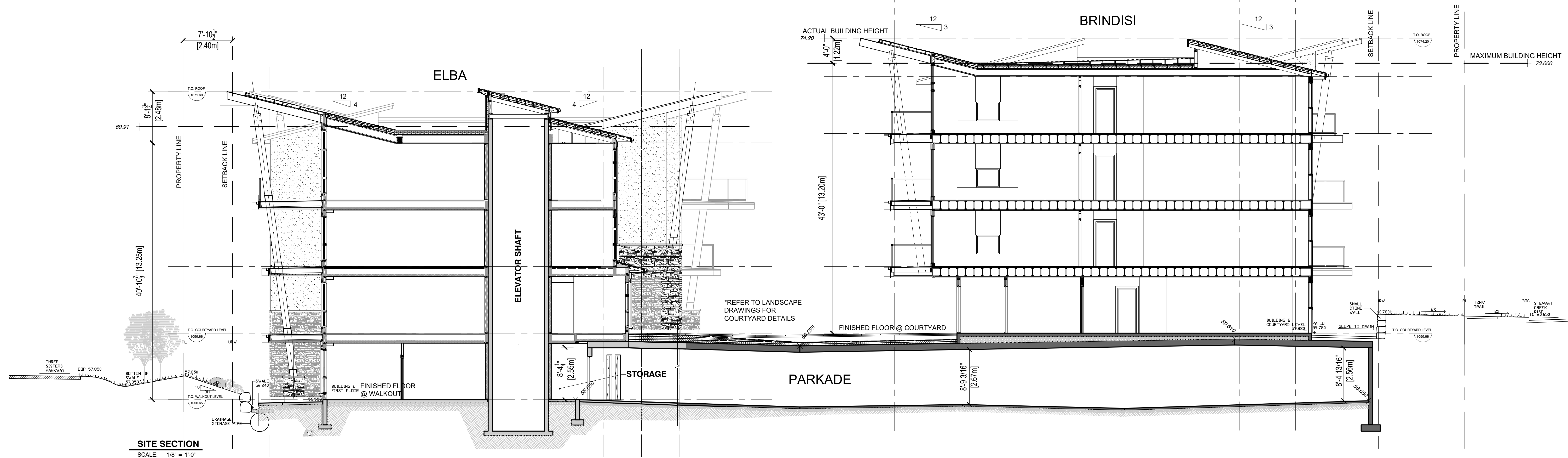
Client

RENAISSANCE
THE RENAISSANCE IN CANMORE

Date 2020-04-06
Project Number 31492
Scale AS SHOWN

Sheet Number

DP3-4



L1.1

- PROPERTY LINE
- - - EDGE OF PARKADE
- [Pattern] TREE/SHRUB PLANTING GREEN ROOF OVER DRAINAGE LAYER AND RIGID INSULATION
- [Pattern] LOW SHRUBS/GRASSES GREEN ROOF OVER DRAINAGE LAYER AND RIGID INSULATION
- [Pattern] SHRUB PLANTING AT GRADE
- [Pattern] NATIVE GRASS AT GRADE
- [Pattern] PRECAST PAVER WALKWAY AND PATIO
- [Pattern] WASHED GRAVEL MAINTENANCE PLINTH WITH OCCASIONAL LARGE ROCK
- [Pattern] RIVERSTONE
- [Pattern] PRIVACY SCREEN
- [Pattern] TSMV POST & RAIL FENCE C/W GUARDRAIL
- [Pattern] FENCE / TRELLIS AT SPA AREA
- [Pattern] PATIO GUARDRAIL / PARAPET GUARDRAIL
- [Pattern] STACKED WALL
- [Pattern] BOULDER WALL
- [Pattern] PLANTER WALL
- [Pattern] PLANTER WALL WITH TIMBER BENCH CAP
- [Pattern] BICYCLE RACK

ALL RETAINING WALLS, DRAINAGE LAYER, REINFORCED BACKFILL, AND SLOPES TO BE CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.

IF SITE CONDITIONS OR WALL HEIGHTS VARY FROM TYPICAL SECTIONS, THE RETAINING WALL DETAIL IS TO BE REVIEWED, PRIOR TO CONSTRUCTION.

SHRUB PLANTING AND MULCH, GRANULAR MULCH ONLY IN STORMPONDS

DETAILED PLANTING PLAN TO BE COMPLETED AT CONSTRUCTION DRAWING PHASE.

LARGE GROWING SHRUBS: QTY: 650
MINIMUM 600mm HEIGHT OR SPREAD, 5 GAL CONTAINER

- | | |
|------------------------|---------------------------------|
| ROCKY MOUNTAIN MAPLE | ACER GLABRUM |
| GREEN ALDER | ALNUS CRISPA |
| MOUNTAIN ALDER | ALNUS TENUFOLIA |
| BOG BIRCH | BETULA GLANDULOSA |
| WOLF WILLOW | ELAEAGNUS COMMUTATA |
| JUNIPER (VAR. SPECIES) | JUNIPEROUS |
| WATERTON MOCKORANGE | PHILADELPHUS LEWISII 'WATERTON' |
| NINEBARK | PHYSCARPUS SPP. |
| WHITE RHODODENDRON | RHODODENDRON ALBIFLORUM |

LOW GROWING SHRUBS: QTY: 650
MINIMUM 300mm HEIGHT OR SPREAD, 2 GAL CONTAINER

- | | |
|--------------------------|----------------------|
| POTENTILLA (VAR SPECIES) | POTENTILLA FRUTICOSA |
| LABRADOR TEA | LEDUM GROENLANDICUM |
| CREeping MAHONIA | MAHONIA REPENS |
| FALSE AZALEA | MENZIESIA FERRUGINEA |
| SPIREA | SPIRAEA SPP. |

TOTAL TREES PROPOSED: 163
TREES AT GRADE: 109
TREES OVER PARKADE: 54

CONIFEROUS TREES
QTY: 93

- 19 @ 4000mm HT.
- 27 @ 3000mm HT.
- 47 @ 2000mm HT.

- | | |
|------------------|-----------------------|
| ALPINE FIR | ABIES LASIOCARPA |
| LARCH/TAMARAK | LARIX LARICINA |
| SUBALPINE LARCH | LARIX LYALLII |
| ENGELMANN SPRUCE | PICEA ENGELMANNII |
| WHITE SPRUCE | PICEA CLAUCA |
| LIMBER PINE | PINUS FLEXILIS |
| DOUGLAS FIR | PSEUDOTSUGA MENZIESII |

DECIDUOUS TREES
QTY: 69

- 15 @ 85mm CAL.
- 20 @ 70mm CAL.
- 34 @ 50mm CAL.

- | | |
|-------------|---------------------|
| WATER BIRCH | BETULA OCCIDENTALIS |
| PAPER BIRCH | BETULA Papyrifera |
| ASPEN | POPULUS TREMULOIDES |

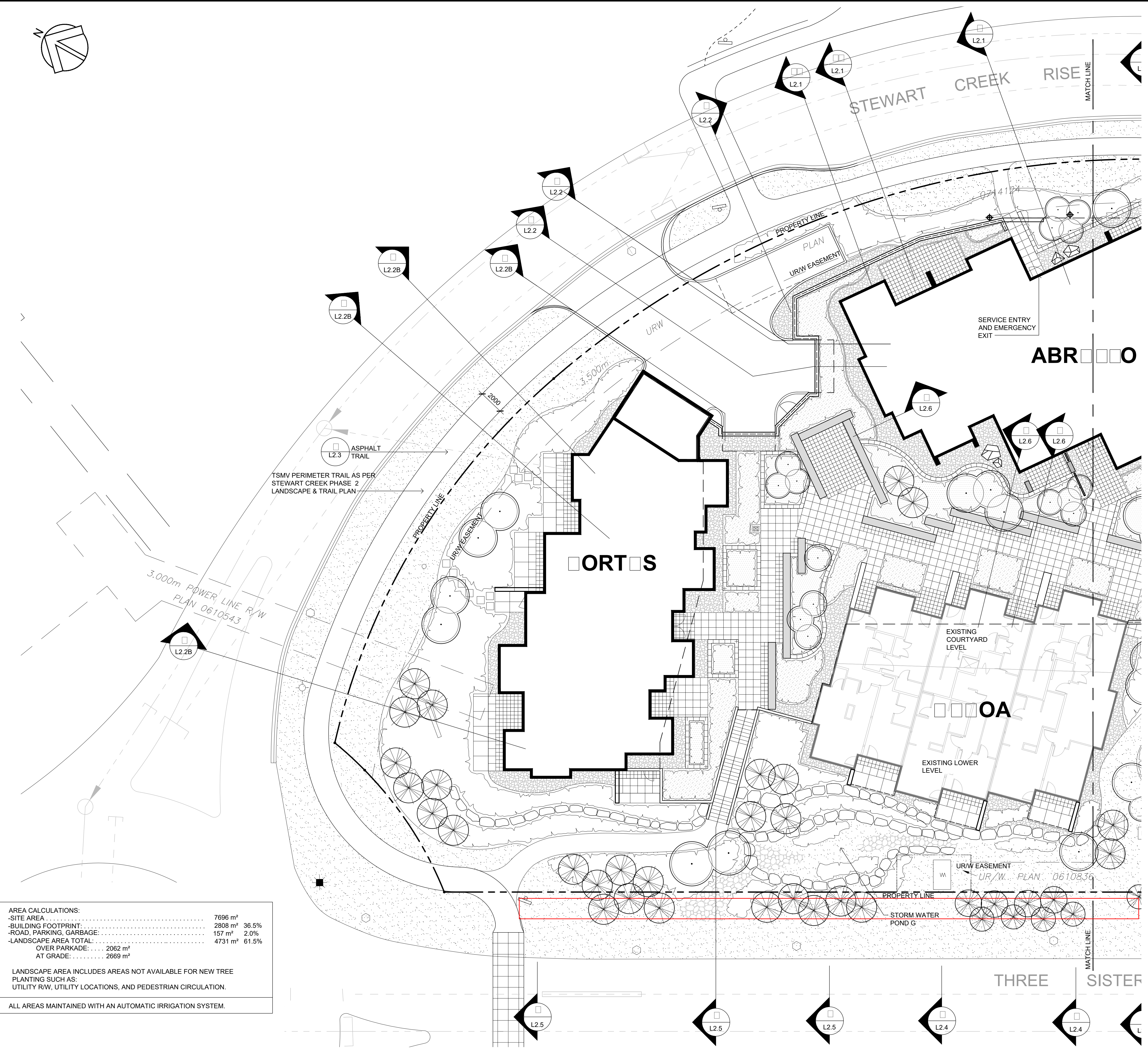
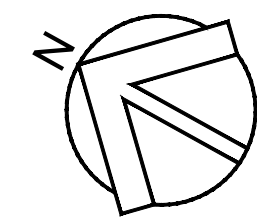
ALL PLANT MATERIAL IS OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CANMORE AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK

ALL PLANT SPECIES TO CONFORM TO THREE SISTERS MOUNTAIN VILLAGE WOODY PLANTS IN THE LANDSCAPE OR APPROVED BY THREE SISTERS MOUNTAIN VILLAGE.

AREA CALCULATIONS:	
-SITE AREA	7696 m ²
-BUILDING FOOTPRINT:	2808 m ² 36.5%
-ROAD, PARKING, GARBAGE:	157 m ² 2.0%
-LANDSCAPE AREA TOTAL:	4731 m ² 61.5%
OVER PARKADE:	2062 m ²
AT GRADE:	2669 m ²

LANDSCAPE AREA INCLUDES AREAS NOT AVAILABLE FOR NEW TREE PLANTING SUCH AS: UTILITY RW, UTILITY LOCATIONS, AND PEDESTRIAN CIRCULATION.

ALL AREAS MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.



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1	2013-04-03	BB Unit A Revisions	
No.	DATE	APPR.	DESCRIPTION

REVISIONS

G		
F	2020-04-06	DP Resubmission
E	2018-08-01	Drafting Corrections
D	2018-06-28	Revised With DP Comments
C	2018-02-21	Unit D,E,F Revisions
B	2012-09-07	Revised and Reissued for DP
A	2012-08-01	Issued for Review
No.	DATE	DESCRIPTION

ISSUES

SEALS

SUB-CONSULTANT

PRIME CONSULTANT

IBI IBI GROUP
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Calgary AB T2R 1R9 Canada
tel 403 270 5600 fax 403 270 5610
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PROJECT
The Renaissance
101 Stewart Creek Rise, Canmore, AB

PROJECT NO:	32378
DRAWN BY:	MM
CHKD BY:	BB
SCALE:	1:150
DATE:	2012-09-17

SHEET TITLE
Layout Plan North

L1.1

SHEET 1 OF 12



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REVISIONS

G		
F	2020-04-06	DP Resubmission
E	2018-08-01	Drafting Corrections & Revised Grading at Diamante
D	2018-06-28	Revised With DP Comments
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ISSUES

SEALS

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Calgary AB T2R 1R9 Canada
tel 403 270 5600 fax 403 270 5610
ibi.ro.com

PROJECT
The Renaissance
101 Stewart Creek Rise, Canmore, AB

PROJECT NO: 32378
DRAWN BY: MM
CHK'D BY: BB
SCALE: 1:150
DATE: 2012-09-17

SHEET TITLE
Layout Plan South

L1.2

SHEET 2 OF 12



LEGEND

---	PROPERTY LINE
- - - -	CONSTRUCTION BOUNDARY
- . - . -	EXISTING EDGE OF ASPHALT
- - - - -	EXISTING EDGE OF GRAVEL
- . - - -	PROPOSED EDGE OF GRAVEL
- - - - -	PROPOSED SIDEWALK
- - - - -	EXISTING DITCH TO BE REMOVED
- - - - -	PROPOSED DITCH
- - - - -	PROPOSED FINISHED GRADE
- - - - -	EXISTING GROUND ELEVATION

- NOTES:**
- DISTANCES AND ELEVATIONS ARE IN METRES. ELEVATIONS ARE REFERENCES TO ASCM 404251 (ELEV.=1377.27). ADD 1300.00 FOR GEODETIC ELEVATION.
 - CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, INVERTS AND ELEVATIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ENGINEER.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM MUNICIPAL AND PROVINCIAL JURISDICTIONS PRIOR TO CONSTRUCTION INCLUDING ESC.
 - REFER TO LANDSCAPE DRAWING & DETAILS FOR RETAINING WALL DESIGN.
 - EROSION AND SEDIMENT CONTROL (ESC) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED AND FOLLOWED AND TO ENSURE THEIR EFFECTIVENESS THROUGH THE CONSTRUCTION PERIOD.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF CANMORE'S CURRENT ENGINEERING STANDARDS AND OPEN SPACE GUIDELINES.
 - EXCAVATION PERMITS AND ROAD USE/CLOSURE PERMITS WILL BE REQUIRED FROM THE TOWN OF CANMORE FOR ALL WORK WITHIN ANY TOWN ROAD RIGHT-OF-WAY.

wsp WSP Canada Group Limited
729 10 Street, Suite 203
Canmore, AB, Canada T1W 2A3
t.403.678.3500 | f.403.678.3501
www.wsp.com

PERMIT: _____ ENGINEER: _____

APPROVED: _____ DRAWN: _____ DATE: 2020-10-02
Elevated Engineer (Elevated)
SCALE: **HORZ: 1:300**

MANAGER OF ENGINEERING: _____

TOWN OF CANMORE

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1	2020	10	09					
REV	YYYY	MM	DD	ISSUED FOR REVIEW	DESCRIPTION	EK	CC	BR
						DPS	CHK	ENG

CONSULTANT: WSP Canada Group Limited CONSULTANT FILE NUMBER: 20M-01279

Town of Canmore
ENGINEERING SERVICES
2020 RENAISSANCE DP
2020 RENAISSANCE PATHWAY
OVERALL PLAN - GRADING

SHEET NO: **C110** TOWN FILE NO: _____

Last Saved: 2020-10-09 8:10:07 AM, By: Kormany, Erin, Proj Style: WSP, CAL-2016.dwg
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